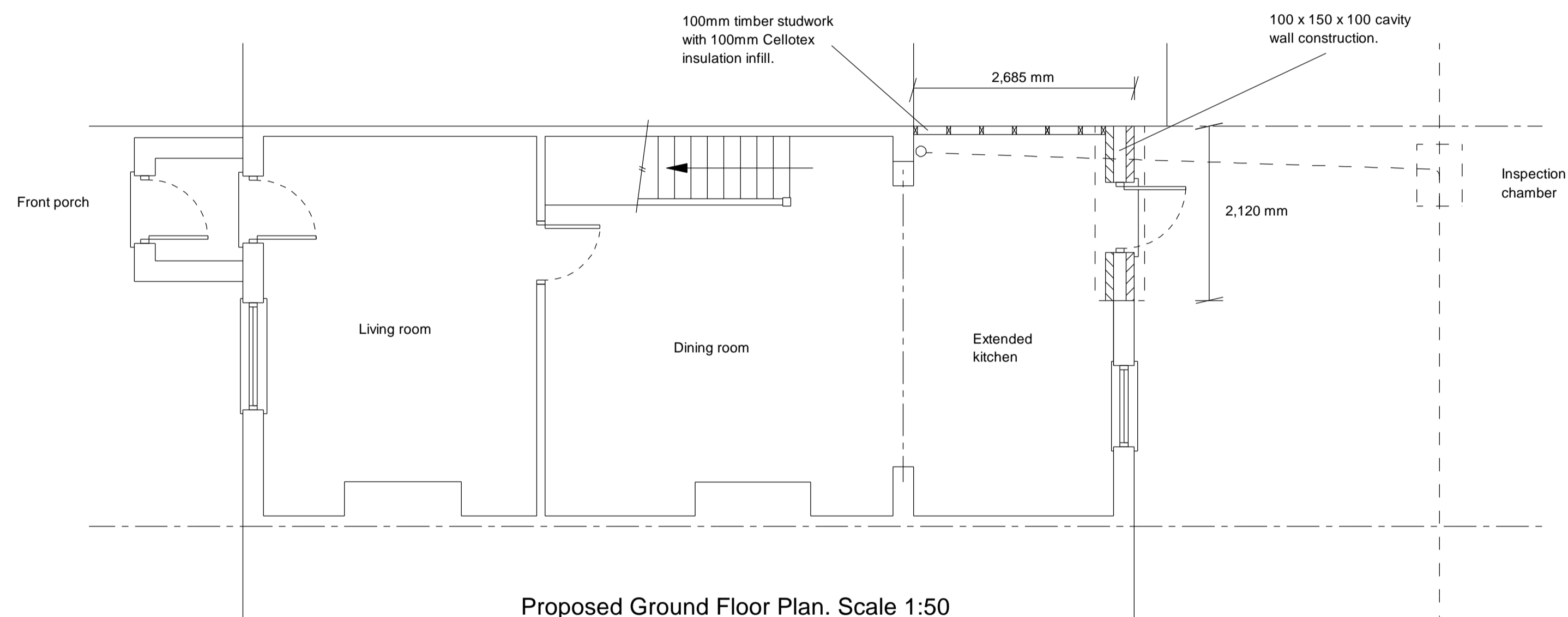
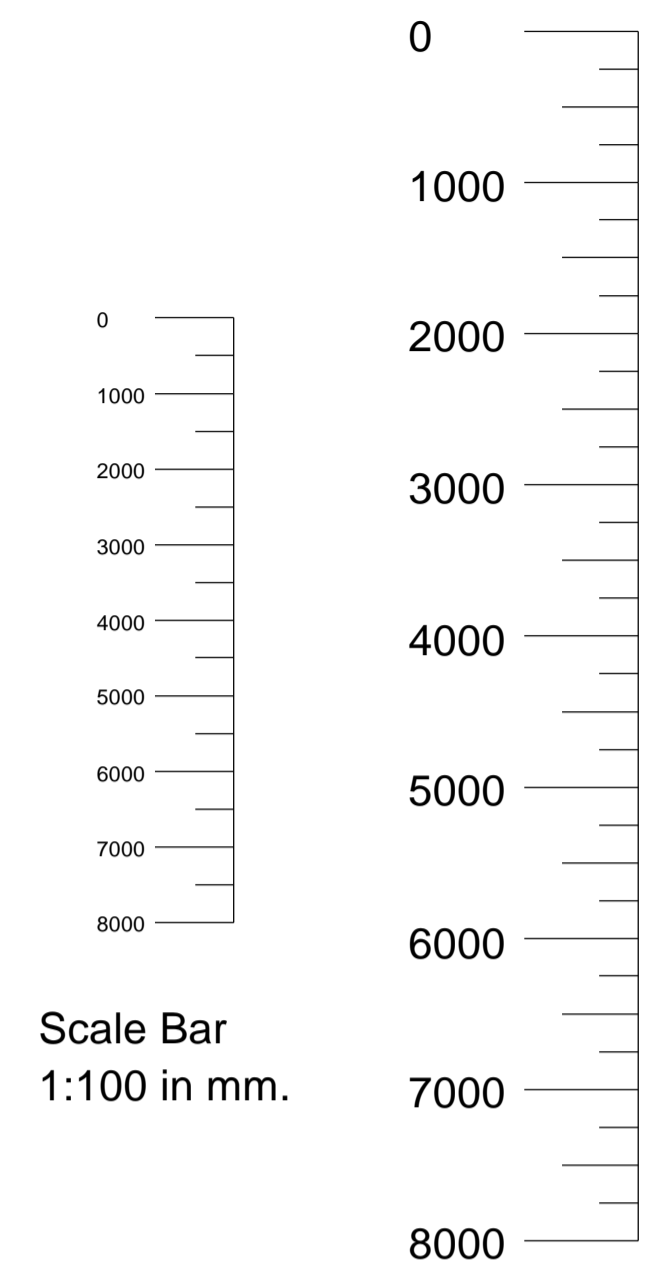


Existing Ground Floor Plan. Scale 1:50



Proposed Ground Floor Plan. Scale 1:50



Scale Bar
1:100 in mm.

Scale Bar
1:50 in mm.

Notes:

Foundations: 1000 mm deep x 600 mm wide trench, mass filled with 1:2:4 mix concrete to 400 mm below ground level.

Existing drain pipe bridged by 2 no. reinforced concrete lintols. Min end bearing 150 mm.

Structure: 100 x 150 x 100 mm cavity wall construction. Cavity filled with insulation batts. Brickwork and blockwork must not be bonded to neighbouring brickwork but a tied movement joint provided using Firfix or similar proprietary profiles. Damp proof course to ground level 150 mm min. Damp proof course to comply with BS743. Stainless steel wall ties. Cavity walls to extend below damp proof course and cavity filled with lean concrete mix to 225 mm below damp proof course. New damp proof course to lap over existing damp proof course.

Catnic lintel CG150/100 or similar above door with 150 mm min bearing.

Ground bearing slab: 150 mm clean hardcore blinded with soft sand. 1200 gauge polythene membrane. Visqueen or sillar. 80 mm floor insulation. Kingspan Thermafloor TF70 or Cellotex GA3000Z. Insulation turned up at edges to prevent cold bridging. 100 mm 1:2:4 mix concrete slab. 75 mm sharp sand and cement floor screed 1:3 mix.

Internal timber floor to be ventilated through slab.

Internal stud wall adjacent to neighbouring wall: 100 x 50 C16 grade upright timbers at 400 centres. 100 x 50 noggings. Wall built off 100 x 50 sole plate bolted to floor slab. 100 mm Cellotex infill. 12.5 mm foil backed plasterboard and skimmed.

Pitched roof: 50 x 150 mm softwood rafters at 400 centres. Slates to match existing and suitable for pitch of roof. 38 x 25 tanalised softwood battens over breathable felt. 100 mm Cellotex insulation between rafters. Roof slates to interlock with slates from neighbouring property.

All existing ground floor lintels, structure and foundations to be exposed as requested by the Building Control Engineer.

Attention is drawn to the obligations of the home owners to the provisions of The Party Wall etc. Act 1886.

3 Lower Green
Tewin
Welwyn
Hertfordshire
AL6 0JS

Site:

3 Lower Green
AL6 0JS

Planning application for
a single storey rear
extension and conversion
of the existing loft void
into habitable space.

Scale 1:50 @ A1

Ref: PEN.JAN.24AA