

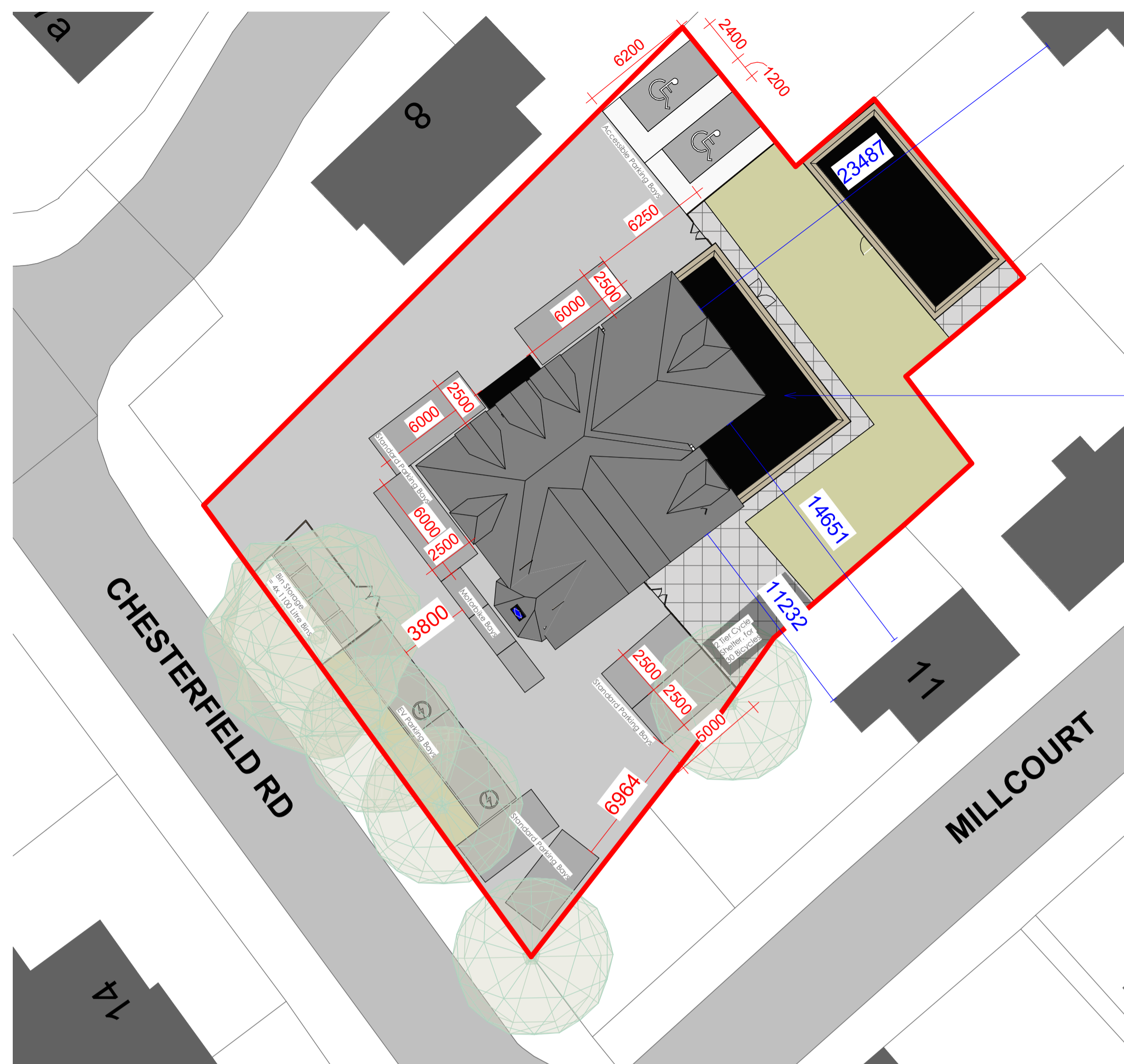


Site_Location Plan (Scale 1-500)

Scale 1 : 500 @ A1

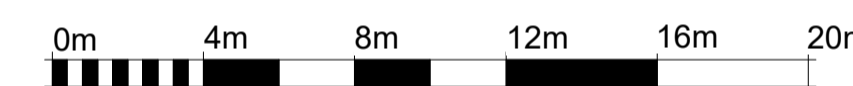


SCALE 1:500 @ A1



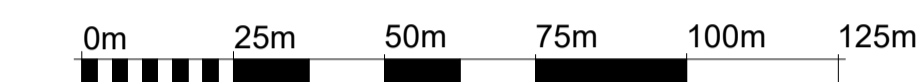
Main Site Plan

Scale 1 : 200 @ A1



SCALE 1:200 @ A1

Roof Terrace option to be exploited to leverage loss outdoor amenity space, Case officer to confirm



SCALE 1:1250 @ A1



Site_Block Plan (Scale 1-1250)

Scale 1 : 1250 @ A1



FRONT AERIAL VIEW | (GOOGLE MAPS)

Landscaping Takeoffs

Count	Area	Type	Comments
1	500 m ²	External - Tarmac	
1	72 m ²	External - Footpath	
1	145 m ²	External - Grass	Amenity Space
1	20 m ²	External - Grass	Existing Front vegetation

While there is no risk of flooding in this flood zone 1, it's important to note that all external surfaces comprise permeable materials.

The amenity space falls short at 69% of the recommended guidance (10m² per occupant) due to the inclusion of the outbuilding, cycle storage & additional Parking Spaces which all play a crucial role in enhancing the social and mental well-being of the tenants hence why these standards have been exceeded

The SPD calls for the outdoor spaces to act as an area for residents for informal recreation, gardening, drying clothes and socialising. We have catered for this as seen on "NH-231118-PL-012 - Communal Spaces", as we have introduced above normal spaces for recreation and socialising. Furthermore, as outlined in the SPD, every opportunity to maximize space has been taken, and this application demonstrates our commitment to optimising communal lifestyle satisfaction for tenants.

This proposal uniquely caters to "co-working spaces", "meeting rooms", "two games rooms" (totaling 75m² additional socialising space) + an "additional storage cellar" in the basement. Which are all rare inclusions & mainly only adopted within new build apartment blocks. Based on this comprehensive approach, we are confident that we have exploited every opportunity, making the current design satisfactory.

Parking Schedule

Qty.	Parking Bay Type	Dimensions
2	Disabled Parking Bay	2.40m x 5.00m
2	EV Parking Bay	2.50m x 6.00m (Tarmac)
3	MotorCycle Parking_Bay	1.30m x 2.80m
4	Standard Parking_Bay	2.50m x 5.00m
3	Standard Parking_Bay	2.50m x 6.00m
Grand total: 14		

Access and parking and cycling

Our proposal suggests allocating 50% parking space per HMO room, resulting in 10 spaces for 20 rooms. However, we have optimised this allocation to ensure uninterrupted parking for visitors and have incorporated designated spaces for both electric vehicles and accessibility.

- One secure cycle parking space should be provided for every flat within the proposal, plus one additional visitor cycle parking space for every ten units. Details should be provided as part of any planning application

We have allowed for a cycle shelter that fits 30 bicycles - which is more than the recommended guidance

External Bin Store

- The SPD states that a suitable space for refuse and recycling bins should be provided, and it should be within 25m of a publicly accessible pavement for ease of collection.
- Where possible, the bin store should be to the side or rear of the property out of public view and where it will not be a nuisance. Where it is necessary for bins to be stored at the front of the property, the bin store should be designed to fit in with the street scene. Bin stores should not create dark recessed areas which could encourage misuse, vandalism or pest control problems

The proposal aims to position the Bin Store (Waste & Recyclable waste) discreetly at the property's front, concealed behind modern and contemporary fencing. Placing it elsewhere would incur longer travel distances, exceeding the 25-meter limit stipulated in the SPD

Outlook, Prospect & Privacy

- Each habitable room should have at least one window with a reasonable outlook and prospect. There should be a minimum distance of 12 metres between a main window in a habitable room on the ground floor and a blank wall (or a wall with a window of a non-habitable room) of a property opposite. To ensure privacy there should be a minimum distance of 18 metres between a main window in a habitable room and another window of a habitable room in a property opposite
- We will also consider the previous use of the rooms with a conversion scheme and determine whether the proposal will have any greater harm, for example if a room was previously a habitable room. However, if new windows are proposed to be added we will be less flexible. We will assess each case on its merits

Looking at "Main Site Plan", it is evident that the existing dwelling does not satisfy these conditions. Although we are adding more windows to the elevations to ensure that each habitable room has at least one window - we believe that our proposal does not have a detrimental impact or harm.

P1 02/01/2024 Submission to Planning GN

Rev	Date	Description	Drawn
Revision Schedule			

Stage 03 - Planning

Location + Block Plan

NH-231118-PL-001

Project Name:

Project no:

Scale:

As indicated

Drawn by:

GN

Date:

02/01/2024

Rev:

P1