



Site_Location Plan (Scale 1-500) Copy 1

Scale 1 : 500 @ A1

While there is no risk of flooding in this flood zone 1, it's important to note that all external surfaces comprise permeable materials.

The amenity space falls short at 69% of the recommended guidance (10m² per occupant) due to the inclusion of the outbuilding, cycle storage & additional Parking Spaces which all play a crucial role in enhancing the social and mental well-being of the tenants hence why these standards have been exceeded

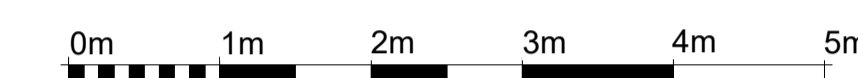
The SPD calls for the outdoor spaces to act as an area for residents for informal recreation, gardening, drying clothes and socialising. We have catered for this as seen on 'NH-231118-PL-012 - Communal Spaces', as we have introduced above normal spaces for recreation and socialising. Furthermore, as outlined in the SPD, every opportunity to maximize space has been taken, and this application demonstrates our commitment to optimising communal lifestyle satisfaction for tenants.

This proposal uniquely caters for "co-worksharing spaces", "meeting rooms", "two games rooms" (totaling 75m² additional socialising space) + an "additional storage cellar" in the basement. Which are all rare inclusions & mainly only adopted within new build apartment blocks. Based on this comprehensive approach, we are confident that we have exploited every opportunity, making the current design satisfactory.

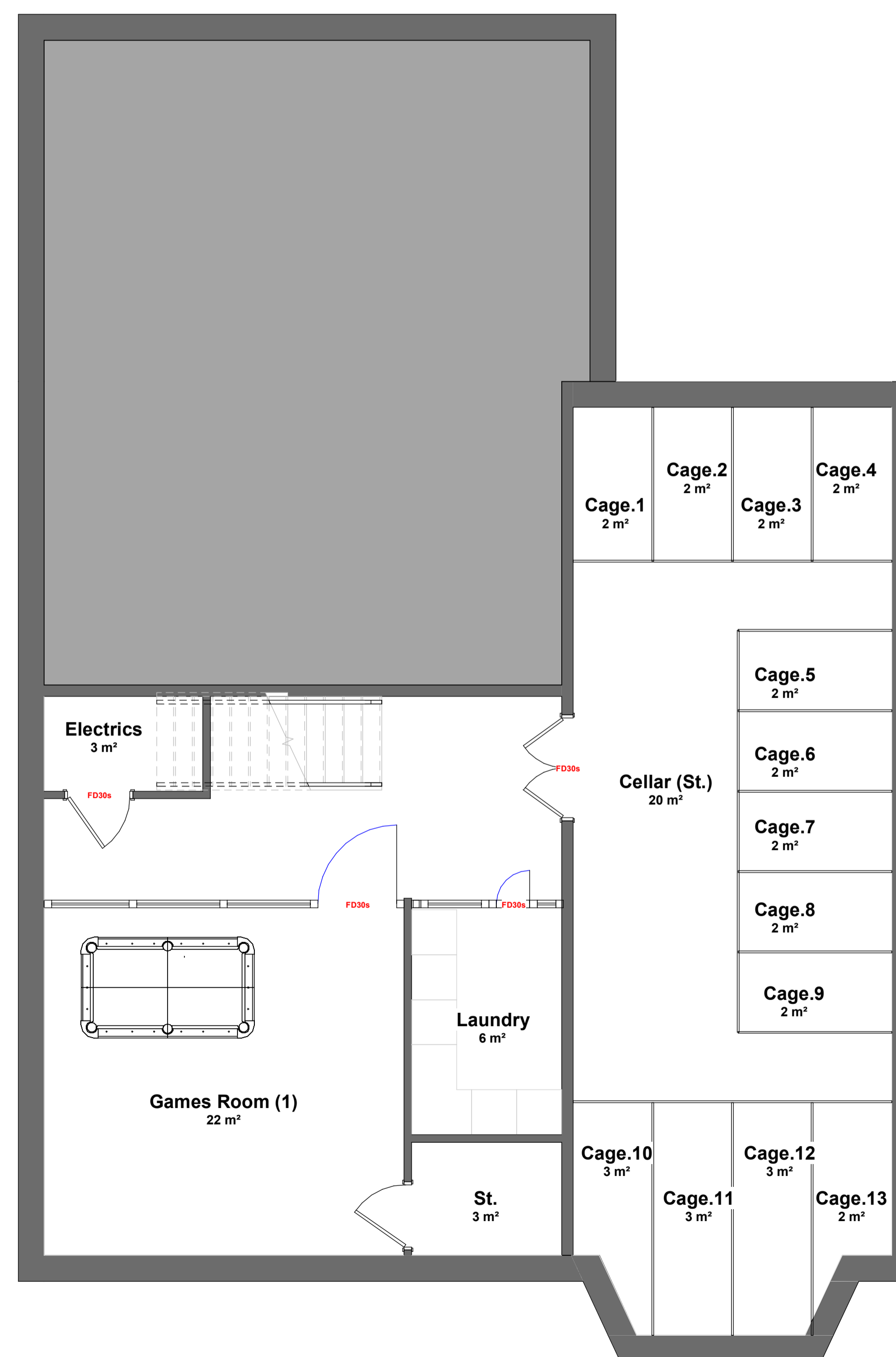
For more info on Basement & Outbuilding - see Planning Statement: **"Communal Spaces"**

Fire Precautions

There must be a minimum of 30 minutes fire resistance between the basement and ground floor. This will be achieved by under-drawing the basement ceiling / underside of the floor (joists) with minimum 12.5 mm thick fire-rated plasterboard, fixed with staggered joints each backed by timber and then 3mm skim coat of plaster. The stair soffit and spandrel will likewise be underdrawn and access to the basement should be via an FD30S door-set.

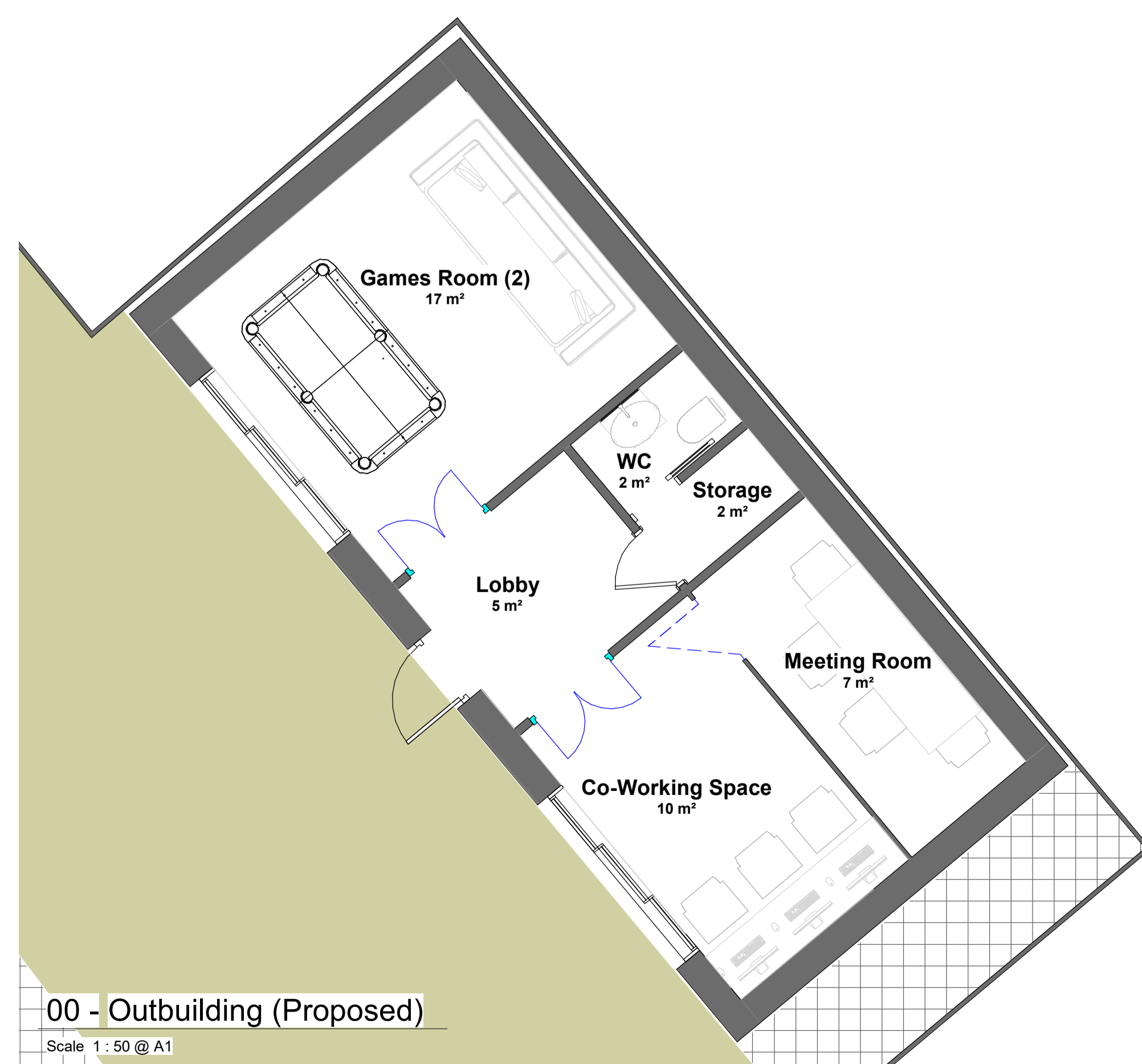


SCALE 1:50 @ A1



B1 - Basement (Proposed)

Scale 1 : 50 @ A1



00 - Outbuilding (Proposed)

Scale 1 : 50 @ A1

P1 02/01/2024 Submission to Planning GN

Rev	Date	Description	Drawn
Revision Schedule			

Stage 03 - Planning

Communal Spaces

NH-231118-PL-012	Scale: As indicated
Project Name: Chesterfield - HMO	Drawn by: GN
Project no: NH-MN-231118	Date: 02/01/2024
	Rev: P1

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