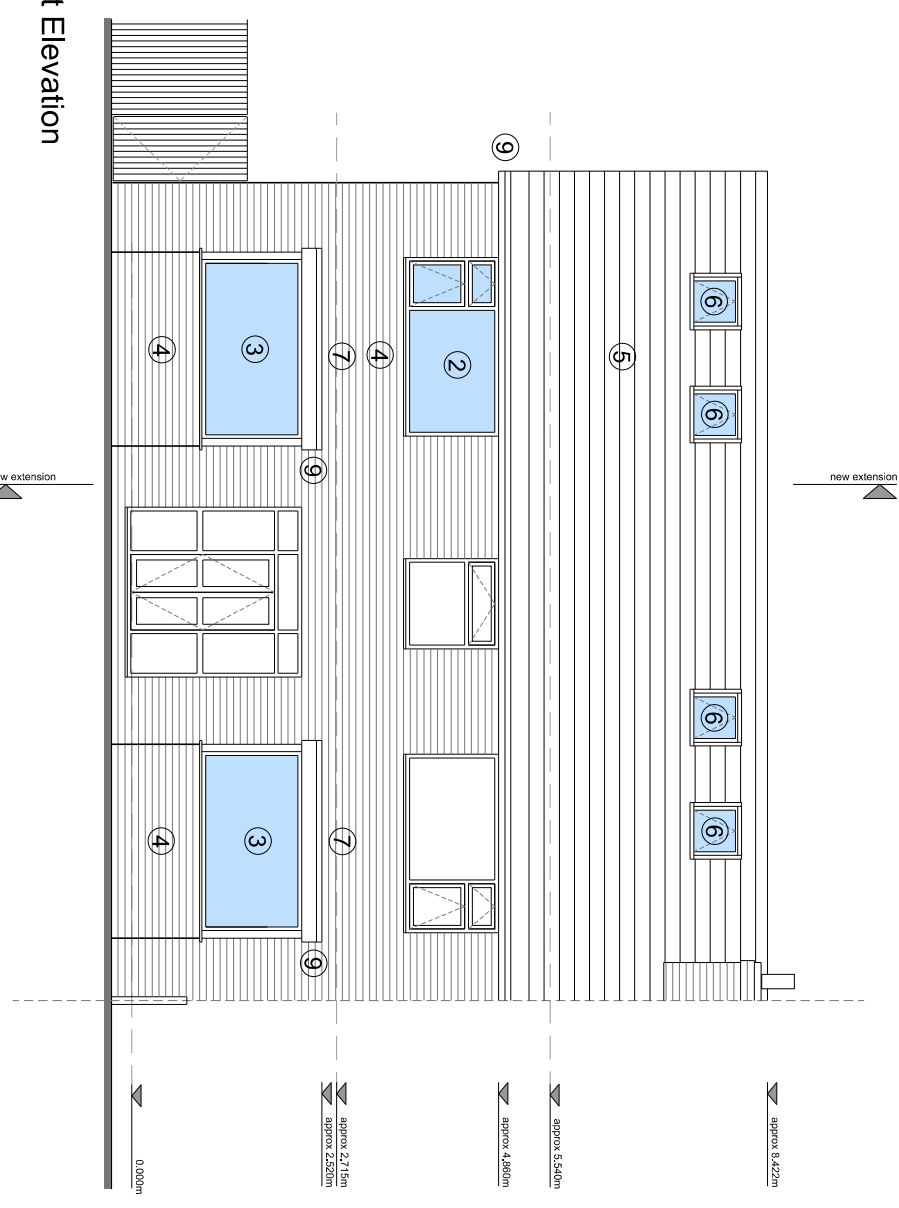


NOTES

ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE
 ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT
 BEFORE ANY WORK COMMENCES
 THIS DRAWING SHALL NOT BE SCALED TO ASCERTAIN ANY
 DIMENSIONS WORK TO FIGURED DIMS ONLY
 THE DRAWING SHALL NOT BE REPRODUCED WITHOUT EXPRESS
 WRITTEN PERMISSION FROM THE ARCHITECT
 READ IN CONJUNCTION WITH ALL RELEVANT DRAWINGS,
 PARTICULARLY PARTS, SPECULISTS, SUBCONTRACTORS
 DRAWINGS / SPECIFICATION.
 THESE DRAWINGS ARE FOR PLANNING AND BUILDING CONTROL
 PURPOSES ONLY.

PARTY WALL ACT 1996
 The Owner should they need to do so under the requirements
 of the Party Wall Act 1996, should give notice to the adjoining
 owner or any adjoining owner of the building works involved work on or
 to an existing Party Wall including:
 - Support beams
 - Excavation within 3m of the Party Wall
 - Raising of wall or cutting of projections
 - Demolition and rebuilding
 - Underpinning
 - Repairs and redecoration
 - Excavation within 3m of an existing structure where the new
 foundations will go deeper than the adjoining foundations or
 within 6m of an existing structure where the new foundations
 are within 2m of the adjoining foundations.
 A PARTY WALL AGREEMENT IS TO BE IN PLACE BEFORE
 ANY WORKS START ON SITE. IF REQUIRED.
ASBESTOS
 PROPERTIES BUILT PRIOR TO 2000 SHOULD HAVE AN
 ASBESTOS SURVEY AND REMEDIATION PLAN TO ANY WORK START
 ON SITE. IF REQUIRED.

new extension

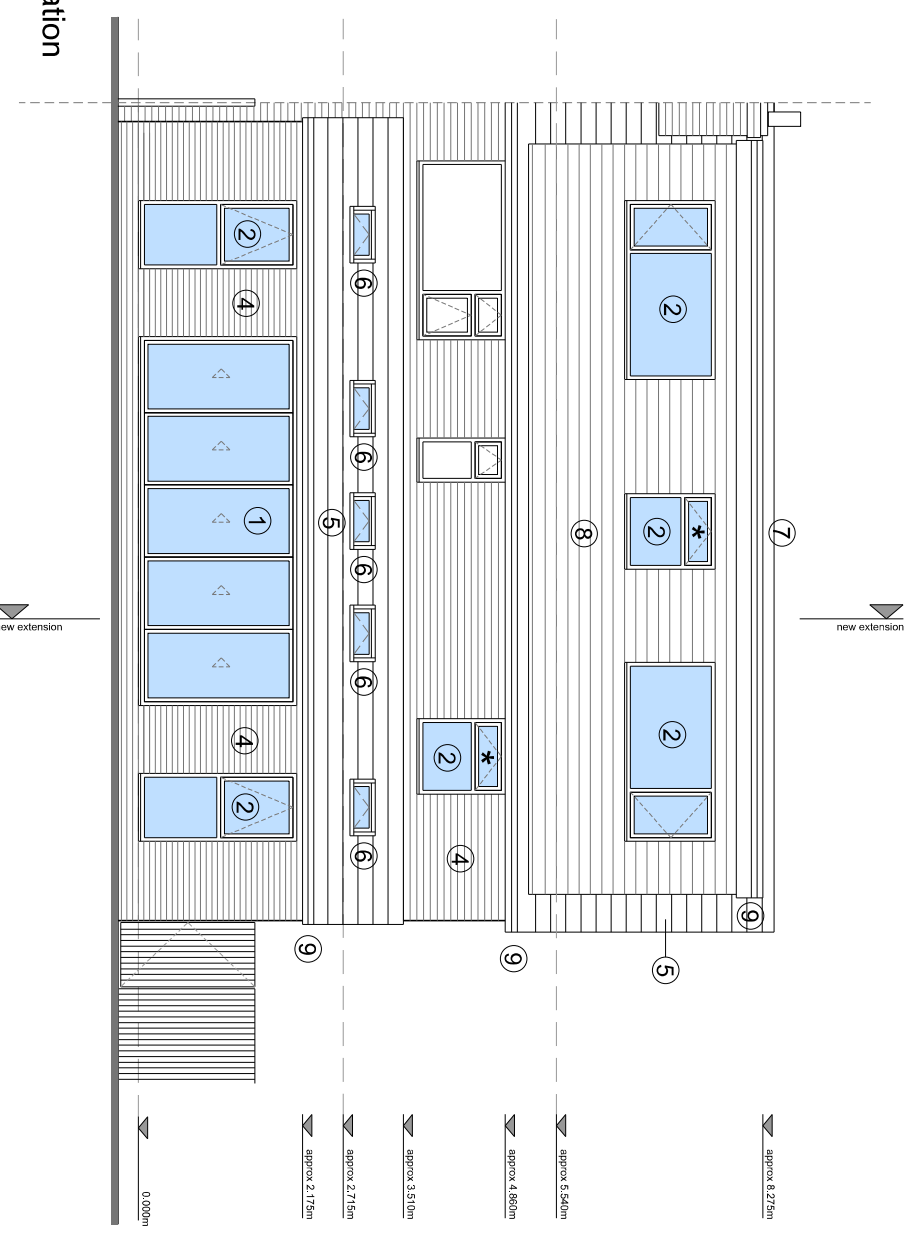


Proposed West Elevation
 scale 1:100

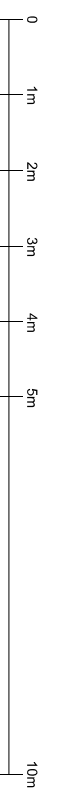
KEY

- ① New double glazed bi-folding doors
- ② New double glazed windows
- ③ New double glazed bay window
- ④ New facing brick to match existing
- ⑤ New pitched roof with concrete roof tile
- ⑥ New velux rooflight
- ⑦ New single ply membrane flat roof
- ⑧ New dormer cladding to match roof tile
- ⑨ New UPVC fascias and soffits
- * Opaque glazing

new extension



Proposed East Elevation
 scale 1:100



PLANNING PURPOSE
PLANNING ISSUE
 scale 1:100
 @sheet size A3
 2023030
 job number

drawn AJS checked AJS
 rev date 01/24
 008 P1
 drawing number revision

Project: 8 ASHCROFT ROAD
 location: FORMBY - LIVERPOOL - L37 6BH
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 Liverpool Road Studios
 113 Liverpool Road
 Crosby, Liverpool
 L23 5TD
 Mobile: 07376491079
 Email: info@huisdesign.co.uk

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