



NEW HOUSE | LAND BEHIND THE STAGERS, REDGRAVE PLANNING STATEMENT

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Issue 1

1.0 Introduction

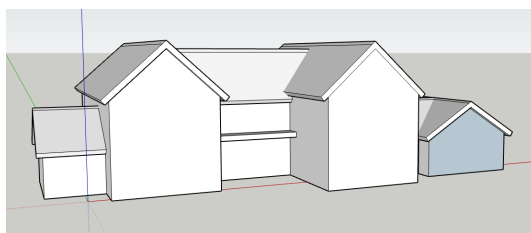
Application for a new 4 bedroom house, with annexe and cartlodge.

2.0 Existing Setting

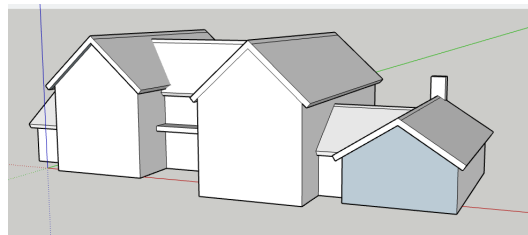
- The site is a residential garden within the village of Redgrave, Mid Suffolk.
- The site sits to the west of the village's main road 'The Street' and is situated within the heart of the village.
- The site is situated within the village settlement boundary.
- The driveway to the site is within the conservation area, however the site for the proposed development is outside of the conservation area.
- The site is within Flood Zone 1, so is considered to have a low probability of flooding.
- On the area of site in question there are a number of rudimentary stores and sheds.
- The below photo shows the site looking back to The Stagers and the street (looking north and west)



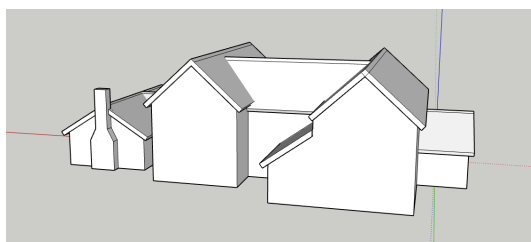
3.0 Proposals, Scale and Layout



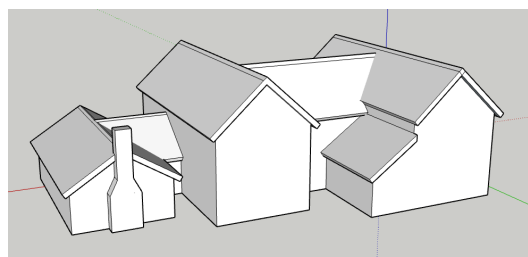
Front (viewed from east)



Front (viewed from west)



Rear (viewed from east)



Rear (viewed from west)

Sketch Illustrations

- The proposal is for a 4-bedroom house, with 2 en-suites.
- The annexe accommodation is to provide 2 bedrooms, to facilitate the mobility issues of the users/client.
- The ground floor accommodation comprises of 2 reception rooms, with a kitchen/dining room and a utility room.
- The proposed house has been designed to meet the local Suffolk vernacular and respect the housing types within Redgrave.
- The house is proposed to be a mix of two storey and one storey elements. This includes a mix of gables and cross wing, with lean-tos and low roofs, to help in breaking the eaves line and reducing the overall mass of the house.
- The roof pitches are proposed to be 45 degrees.
- Eaves heights will be a maximum of 3.95m, which will provide a 1 ¾ storey house. This is proposed to ensure that the house will not dominate neighbouring properties, nor be out of proportion with these houses.
- The highest ridge height will be 7.2m whilst the lowest will be 4.3m.
- A variety of lower roofscapes help to reduce the buildings overall scale and add interest.
- The wall materials are proposed to be a mix of traditional with render on brick plinths and weatherboarding.
- The roof materials are to be a mix of clay pantiles to the lower roof elements and plain tiles to the main roofs.
- An open oak framed, weatherboarded double cart lodge is proposed to the front of the site.
- The entire development is proposed to be situated within the village settlement boundary.



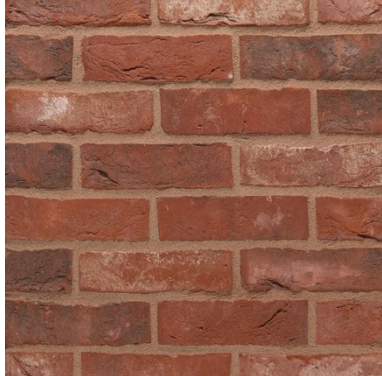



- The more traditional design of the property is respectful towards the conservation area and nearby listed buildings.

3.1 Use

The proposed use is to be private residential.

3.2 Appearance & Materials

A mix of the proposed materials are proposed as show on the elevations

Render		Plain Tiles	
Red Brick		Pantiles	
Weatherboarding		Slate	

3.3 Heritage Impact

- Within 150m of the centre of the site there are 89 listed properties. These are listed below, along with an assessment of the impact of the proposed dwelling on their setting.

Property Name	Grade	Distance from Site	Physical Impact	Setting Impact	Visual Impact
Dunromin The Gables	2	85	None	minimal	minimal
Cartref With Attached Outbuilding	2	95	None	none	minimal
The Old Bakery	2	100	None	none	minimal
Red House	2	104	None	none	none
Street Farm	2	120	None	none	none
The Cross Keys Public House	2	120	None	none	none
Tudor Limes With Forecourt Walls	2	130	None	none	none
Former Maltings Immediately North Of Street Farm House	2	135	None	none	none
Knoll Cottage	2	140	None	none	none

- The only listed property impacted by the works on a setting and visual impact is “Dunromin The Gables.” This however will be minimal, as the property is already within a cluster of buildings, with fleeting views of the site. The principal setting of “Dunromin” is from the street scene and this will remain unaffected.
- Cartref With Attached Outbuilding and The Old Bakery will both have minimal visual links to the new house but these will not affect the heritage assets.
- The site is located adjacent to the Conservation Area, however sits in line with an established precedent of development.
- The Stagers sits to the front of the site. This is not a listed building but contributes to the street scene of Redgrave. A new dwelling to the rear will have minimal impact on this.
- The proposed dwelling has a ridge height of 7.2m
- “Dunromin The Gables” Has a ridge height of circa 7.5m
- The Stagers has a ridge height of circa 6.22m.
- New build houses to the south east of the site and set directly behind “Dunromin The Gables.” Have ridge heights of circa 8.4m.
- As a result it is clear that the dwelling has considered its surroundings and adequately responds to its adjacent scale. There is already precedent for taller, more dominant houses to the rear of the existing housing on The Street but this new dwelling has sought to remain

subservient in spite of this precedent by 0.9m in height. This new house ridge will sit 0.3m lower than “Dunromin The Gables.” And whilst it will project above The Stagers, this increased height will not be visible due its set back nature from the road.

3.4 Access

- A new access is proposed onto The Street, as the current route is narrow and unsuitable for large vehicles such as fire appliances.
- The new access will meet Suffolk County Council DM01.
- The road has a 30mph speed limit and as such the required visibility splays are 43m x 2.4m. This has been achieved on highways or applicant owned land.

3.5 Landscaping

No detailed Landscaping is proposed as part of this application.

3.6 Consultation

- A pre-application under reference DC/21/03317 supported the principle of the application and stated that:

“The proposal has the potential to be considered acceptable in accordance with local and national policies.

However careful consideration must be given to the design of the site. Particularly careful consideration must be given to the scale of the dwelling, ideally being one and a half storey in height to match the nearby back land development, as well as protecting the nearby conservation area and designated Heritage Asset. As such any design will need to be carefully considered to respect the site and the wider character of the area.

In conclusion the principle of development on this site is likely to be acceptable, however careful consideration must be given to the design and scale of the proposal to ensure that these do not have impacts on the neighbouring properties as well as the character of the surrounding area.”

- A further re-application under reference DC/21/03317 supported the principle of the application further and stated that:

“Based on the submitted information and above assessment, the proposal is likely to gain officer’s support for a residential unit in Redgrave in principle, the overall support is highly subject to design details and support of the Heritage Team and also Highways Authority.

As noted within officer’s report, it is recommended that overall scale is significantly reduced to ensure the dwelling would not appear prominent in the Conservation Area or would compete with GII listed buildings along The Street.”

- Based on these two enquiry’s it is considered that the proposal is suitable and the concerns raised are addressed in the design and this statement

3.7 Planning Policy & Precedent

- Within Redgrave there is strong precedent within the village and in respect of development in line with the proposed house. In the image below the site signified by the red circle is in line with the pattern of development, highlighted by the blue line.



- The following applications within the settlement boundary of Redgrave have all been granted, within the last 5 years.

DC/18/03950 | Planning Application. Erection of a dwelling and creation of a new vehicular access. | The Mill House The Street Redgrave Diss Suffolk IP22 1RY

DC/18/05289 | Planning Application. Construction of 9 dwellings with associated access and landscaping | Land West Of Hall Lane, Hall Lane Redgrave Suffolk IP22 1RT

DC/22/05936 | Application for Permission in Principle - Erection of 1No dwelling | Land South Of Oak House The Green Redgrave

DC/22/05380 | Planning Application. Erection of 1No dwelling and garage. | Land Adjacent To The Cottage The Green Redgrave IP22 1RR

DC/19/00008 | Outline Planning Application - Erection of 1No dwelling and new access. | Reed House The Knoll Churchway Redgrave Diss Suffolk IP22 1RW

DC/19/05371 | Planning Application - Erection of 1no detached dwelling (existing Nissen hut to be demolished). | Ivy House Farm The Street Redgrave Diss Suffolk IP22 1RY

- The following planning policy is all relevant within current planning policy.

NPPF - National Planning Policy Framework

GP01 - Design and layout of development

CS01 - Settlement Hierarchy

CS05 - Mid Suffolk's Environment

FC01 - Presumption in Favour of Sustainable Development

FC01_1 - Mid Suffolk Approach to Delivering Sustainable Development

H15 - Development to reflect local characteristics

H16 - Protecting existing residential amenity

H17 - Keeping residential development away from pollution

- We consider that the proposal can be viewed to be in accordance with the above policies.
- The design and position of the dwelling will maintain the character of the site and settlement and respect the scale and density of surrounding development.
- The proposal is consistent with the pattern and form of local development. H15
- The development will not materially reduce the amenity or privacy of adjacent dwelling, nor will it erode the character of the surrounding area, as it will respect the layout and patterns of the local area.
- The location is considered to be a sustainable site, with access to local services within the village and regular bus links to the nearby village of Botesdale and Ricklinghall, with a wider range of services and to Diss and Bury St Edmunds, along with footpath links to Botesdale and Ricklinghall
- The site is situated within the settlement boundary and there is an established line of development which this proposal sits into.
- The emerging local plan is also relevant and in particular policy LP01 which sets out that infill development within a row of 10 or more houses is appropriate. Other relevant policies are listed in the pre-app response.

3.8 Ecology

An ecology report of the site has been undertaken. A number of ecology mitigations have been proposed for Biodiversity Net Gain and these will all be implemented as part of the application.