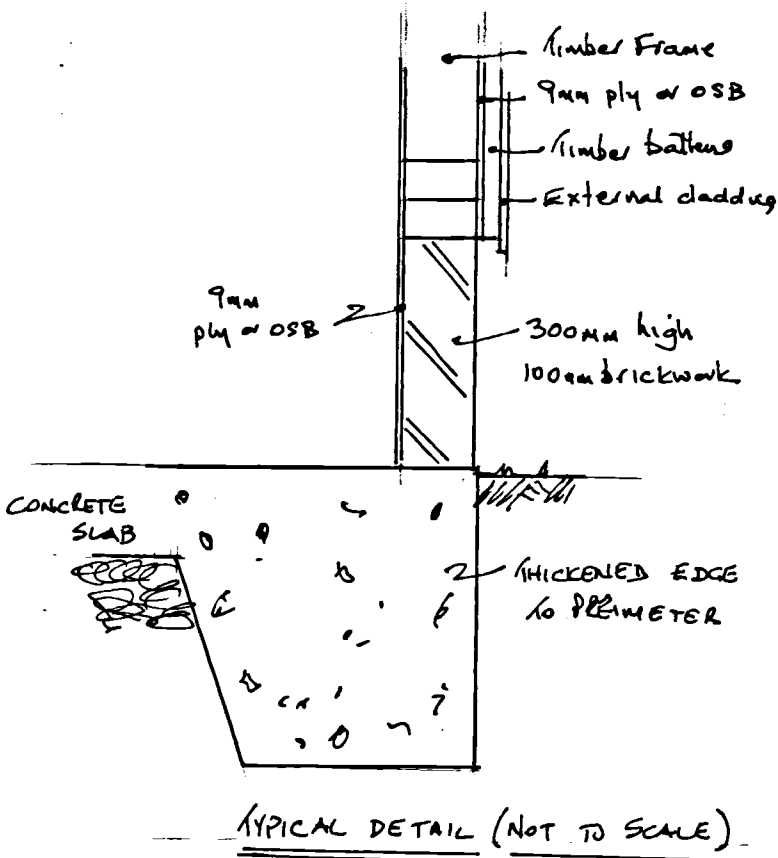
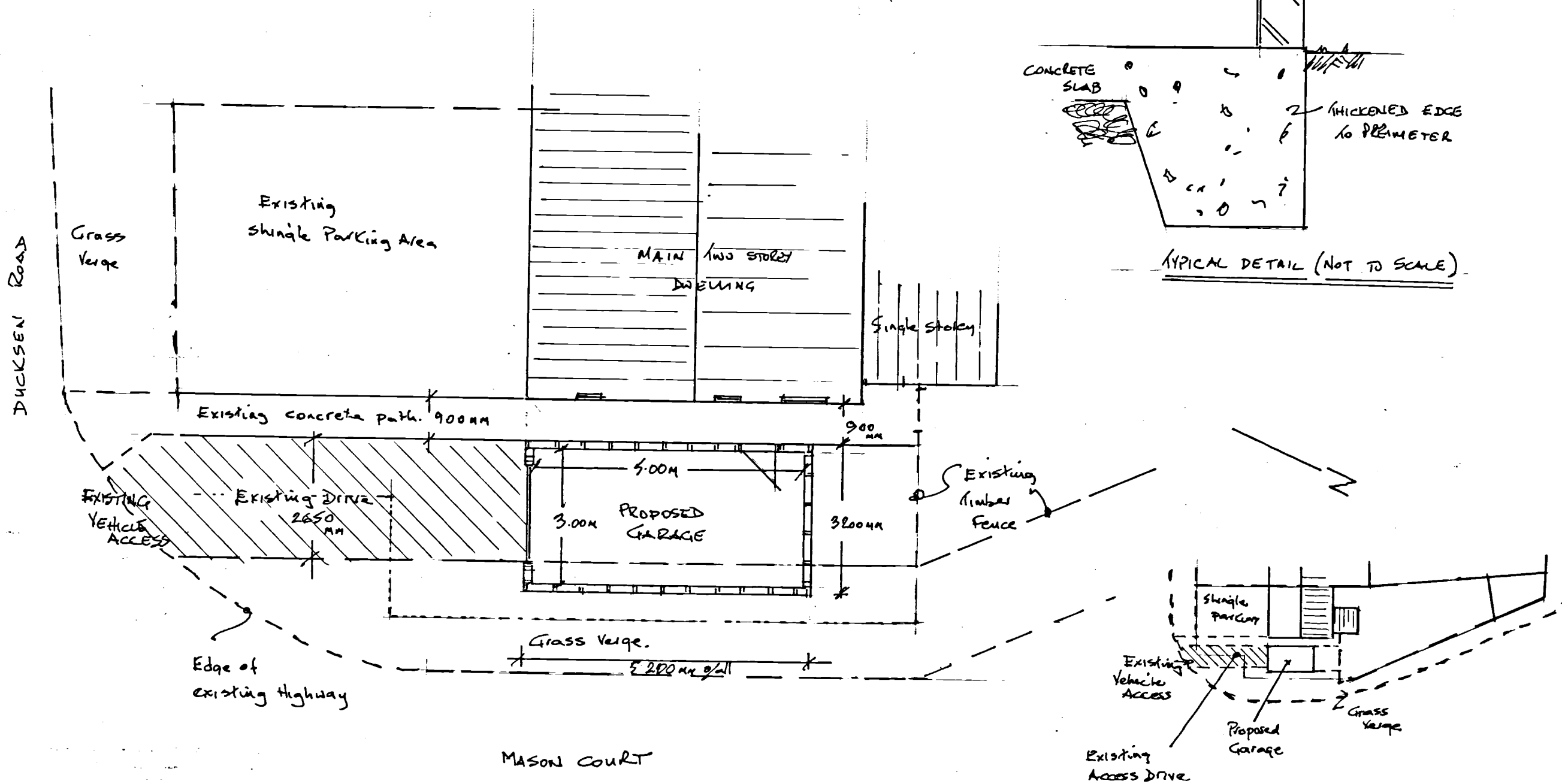


front
proposed elevations 1:100



TYPICAL DETAIL (NOT TO SCALE)



proposed plan 1:100

block plan 1:500

General Construction Notes

THESE ARE NOT WORKING DETAILS. they have been produced solely for the purpose of making Local Authority Applications and do not form part of any CDM requirements.

Notes are to be read in conjunction with the details shown on this Drawing 2024.03; Manufacturer's Specifications and on any separate Structural Engineer's Calculations and Design Details.

All work must be carried out in a proper workmanlike manner and in accordance with all British Standards, Codes of Practice and Manufacturers' specifications.

All details and Dimensions to be checked and verified on site BEFORE commencement. DO NOT SCALE

Ground Floor Slab.

Fill, spread, level and compact crushed hardcore under new floor slab.
Cover with 1200g polythene DPM well lapped at joints
Min. 125mm thick concrete sub-floor.

External Walls

100mm brickwork plinth built off concrete slab in facings to match those on the existing dwelling to 300mm above garage floor level. Incorporate dpc min 150mm above external ground levels. External Walls above brick plinth be timber framed comprising- 100x50mm timber studs at 600mm centres. Bottom plate to comprise two 100x50mm timbers securely fixed down to the new blockwork below. Provide horizontal central timber rails and double top plate. Full height studs fixed to sole plate and head plate. Provide double 175x50 lintels over openings supported on cripple studs. Cripples fixed to full height studs. Timber wallplate fixed to top of wall and secured with galv straps at max. 1800mm centres.

Timber frame to be built in accordance with Accredited Construction Detail TFW-EW-01

Line timber frame with 9mm sheathing plywood or OSB. Provide 25mm vertical batten to provide air gap between boarding and external cladding. Ventilation mesh to low level and under cill.

External and Internal Finishes

Provide breather membrane between boarding and vertical battens. Hardie-plank Cedar weatherboarding externally - Colour Anthracite.

Line internal face of timber frame with 9mm OSB or Plywood. Incorporate insulation between studs of timber frame.

Flat Roof to Garage.

New 47 x 150mm C24 flat roof joists at 400mm centres. Joists to be securely fixed to new wallplates on new walls. Fix firing pieces to tops of new joists to provide min 1:80 falls for rainwater to discharge to new gutter. Provide 18mm plywood decking. Cover over new with high performance roofing all in accordance with manufacturer's specifications and details including timber angle fillets and drips. Provide decorative fascias.

New upvc gutter and rainwater pipe connected to existing drain or discharge into water butt. Rainwater will not discharge on to the highway.



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THIS IS NOT A WORKING DRAWING. It has been produced solely for the purpose of submitting to the Local Authority. Build to Plans Partnership Ltd Are Not the CDM Appointed Principal Designer, the details therefore Do Not Form Part Of CDM Refer Also to Construction Notes, Manufacturer's Specifications and any Separate Structural Engineer's Design Details

All details and dimensions to be checked and verified on site BEFORE commencement. DO NOT SCALE

Client:	Mr and Mrs Kohn
Site Address:	16 Ducksen Road, Mendlesham IP14 5SE
Job Title:	Construction of New Detached Garage over Existing Driveway/Parking Area
Drawing Title:	Plan, Elevations and Block Plan.
Drawing No:	2024.03
Scales:	As Shown @ A2
Date:	22nd January 2024