

GENERAL NOTES:

- DO NOT SCALE FROM THIS DRAWING UNLESS FOR PLANNING PURPOSES
- ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO ANY WORKS BEING COMMENCED AND ANY DISCREPANCIES TO BE REPORTED TO WALK-IN ARCHITECTURE.
- ANY DISCREPANCIES BETWEEN THE DRAWING AND ANY WRITTEN SPECIFICATION IS TO BE REPORTED TO WALK-IN ARCHITECTURE.
- THIS DRAWING TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANTS AND SPECIALIST DRAWINGS.
- ALL WORKS TO COMPLY WITH THE RELEVANT BRITISH STANDARDS, CODES OF PRACTICES AND BUILDING REGULATIONS.

NOTE:

- For all post-tension positions and sizes refer to SLEng details
- The Project Manager is to ensure that the Building Contractor is provided with the latest set of drawings and structural engineers drawings prior to works commencing on site
- It is the responsibility of the contractor to ensure that the latest drawing revision is being worked to. If in doubt please check with Walk-in Architecture prior to commencement of works
- For any clarification on the structural engineers design consult structural engineer
- It is the responsibility of the Contractor to notify building control 48 hours prior to works commencing on site

General Notes:

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- Any discrepancies between the drawing and any written specification is to be reported to WIA.
- This drawing is to be read in conjunction with relevant consultants and specialist drawings.
- All works to comply with the relevant British Standards, Codes of Practice and Building Regulations.
- If in doubt about any of the works, please ask!
- This drawing is the copyright of WIA and is not to be reproduced in any form without prior written consent.
- Any work done on the party wall or boundary line needs to have a Party Wall Award in place.
- Boundary lines and boundary line measurements are approximate and need to be confirmed.

Legend:

- SVP wall & vent pipe
- RWP rain water pipe
- B boiler
- F.F. fridge freezer
- T.D. tumble dryer
- D.W. dish washer
- M.H. main hole
- IC inspection chamber
- G gully
- Carbon Monoxide detector
- Smoke detector
- Heat detector

Acoustic insulation provided within timber stud partitions between wet rooms and living areas

Kitchen to be ventilated by Cooker Hood extract vent providing intermittent ventilation of 30l/s minimum

Utility to be ventilated by extract vent providing intermittent ventilation of 30l/s minimum

Extract vent to be ceiling mounted and ducted through floor joist zone to external wall

SVP boxed with 2x12.5mm plasterboard. Void to be packed with Fibreglass quilt insulation

Boiler flue outlet to be min 300mm from door/window opening

Beam/rafter over as per Structural Engineer design

Beam underneath as per Structural Engineer design

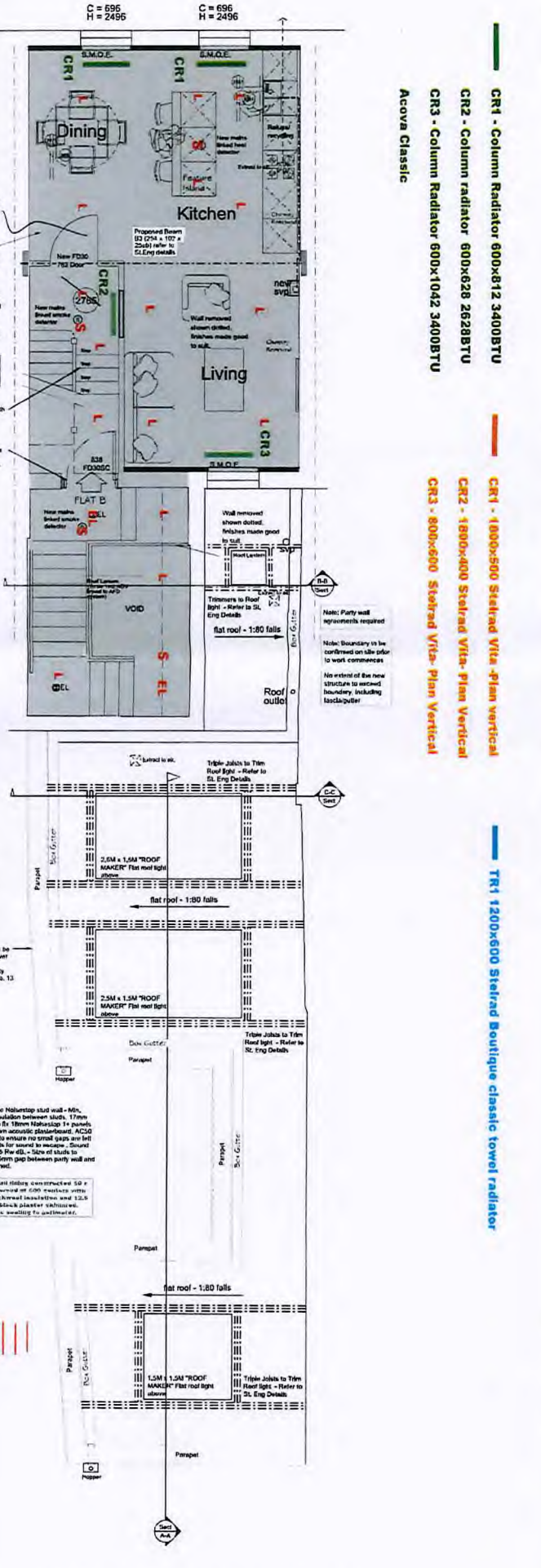
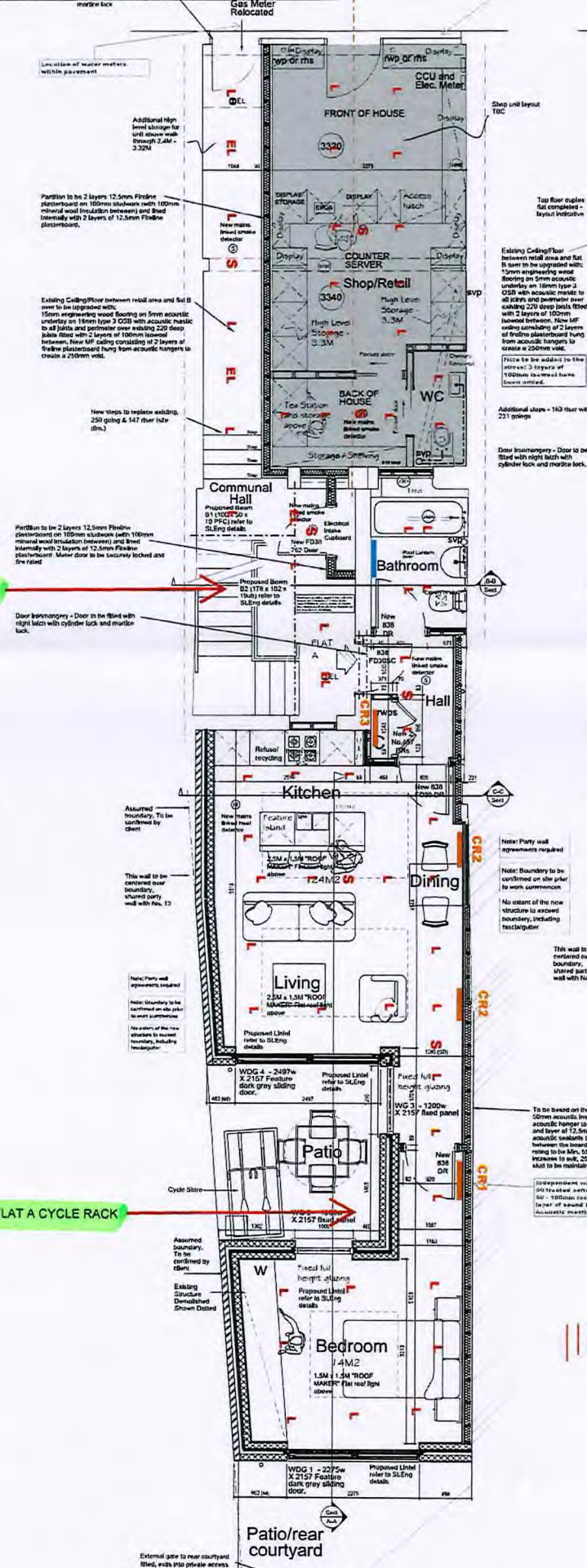
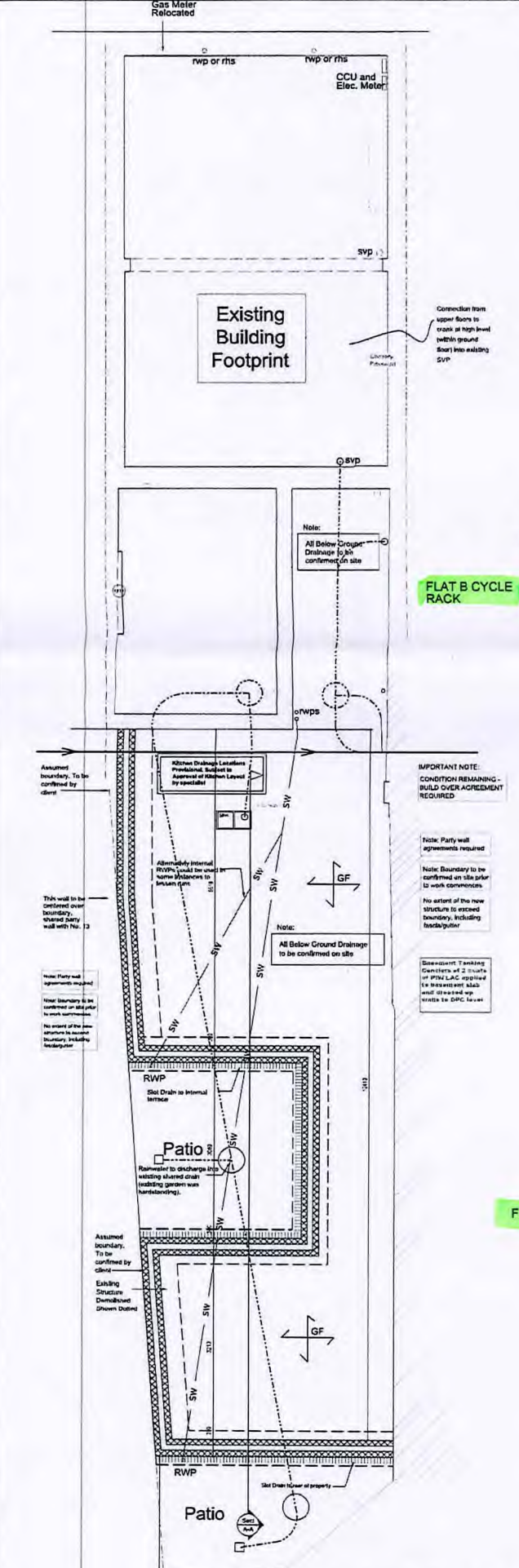
New foundations as per Structural Engineer design

Existing walls to be removed

Brickwork

Blockwork

Scale: 0 2.5m 5m



REV.	DATE	REVISIONS:	REV.	DATE	REVISIONS:	REV.	DATE	REVISIONS:
P	010221	ISSUED PRELIMINARY TO CLIENT						
A	011121	ISSUED TO STRUCTURAL ENGINEER						
B	190122	REVISED TO SUIT S.E. DETAILS						
C	240522	REVISED TO SUIT CLIENT COMMENTS AND BCO COMMENTS						
D	220722	POST BUILDING CONTROL PRIOR CONDITIONAL APPROVAL ISSUE						

CLIENT: Mr Martin Pratt
 ADDRESS: 11 Brocley Rise, Forest Hill, London, SE23 1JG

SCALE: 1:50 @ A1

DRAWN: AC

DATE: 01/02/2021

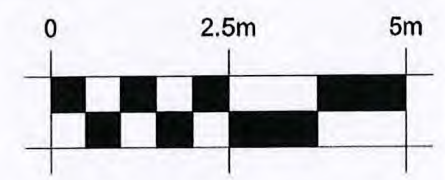
PROJECT: PROPOSED SINGLE STOREY REAR EXTENSION AND INTERNAL ALTERATIONS TO FORM TWO APARTMENTS

DRAWING TITLE: PROPOSED SUBFLOOR, GROUND AND FIRST FLOOR PLANS

ISSUED FOR: B.REGS

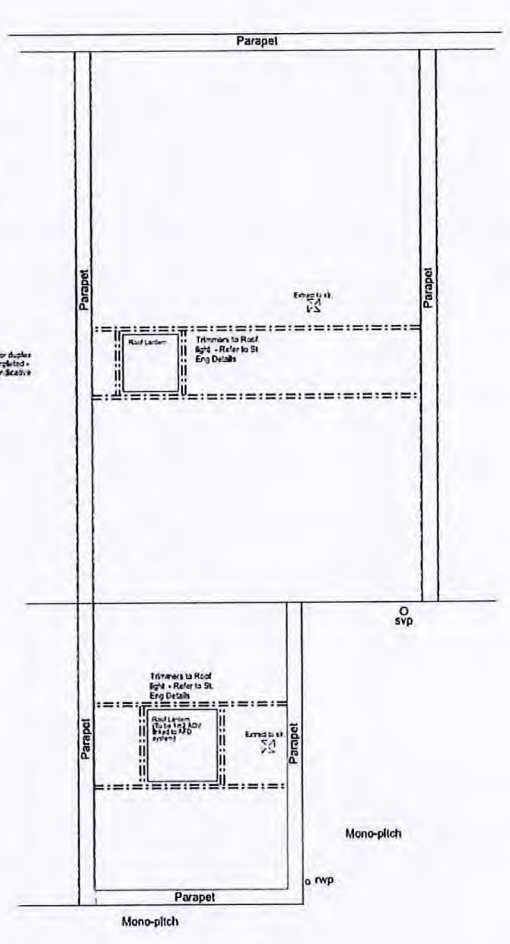
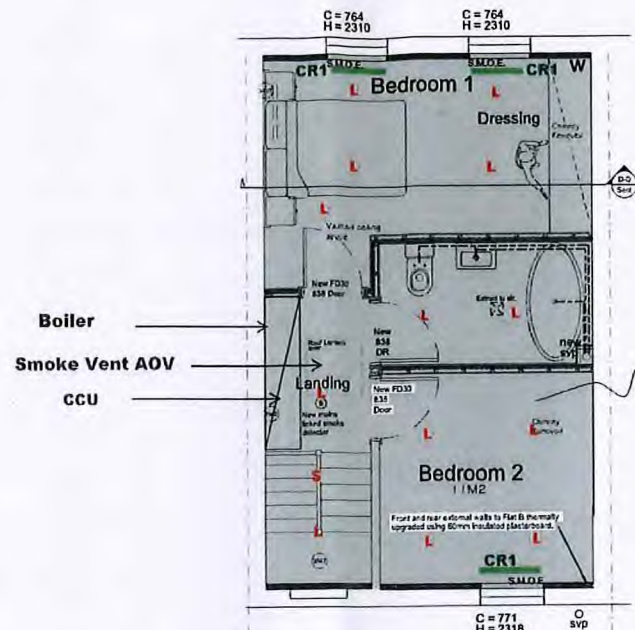
DRAWING NUMBER: 355-104

EL= Emergency Lighting
 L= Lighting
 S= Heat/ Smoke detectors

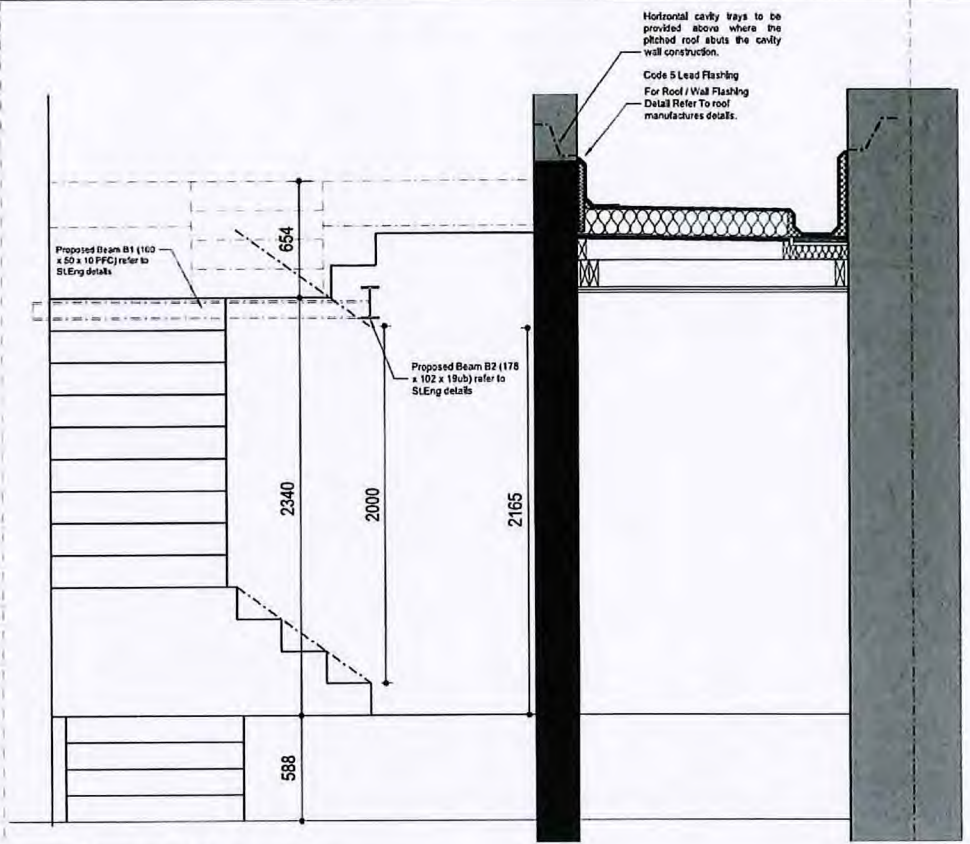


PROPOSED SECOND FLOOR PLAN SCALE 1:50 @ A1

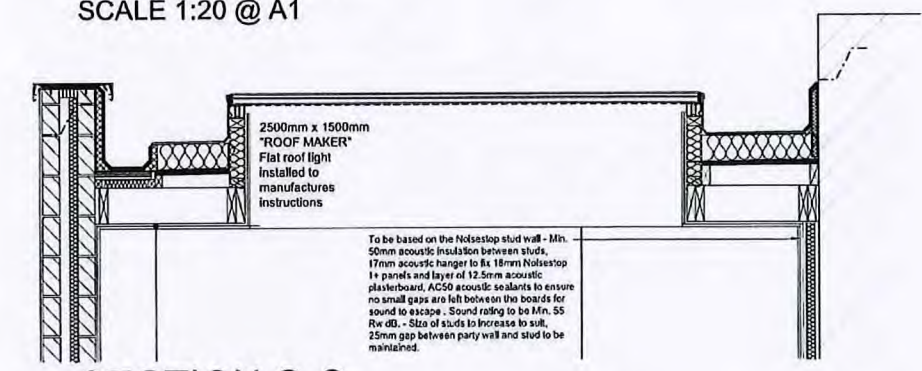
PROPOSED ROOF PLAN SCALE 1:50 @ A1



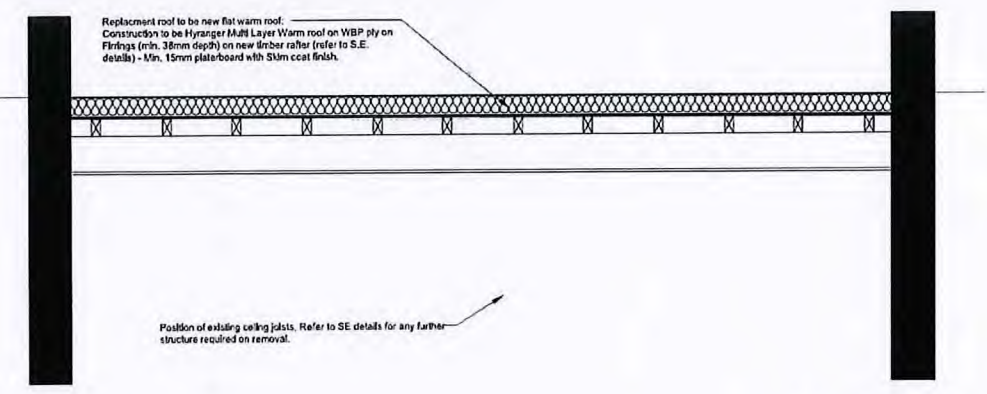
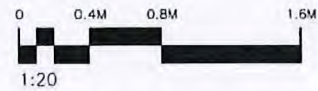
FLAT B



SECTION B-B SCALE 1:20 @ A1



SECTION C-C SCALE 1:20 @ A1



SECTION D-D SCALE 1:20 @ A1



- NOTE:**
- For all padstone positions and sizes refer to St.Eng details
 - The Project Manager is to ensure that the Building Contractor is provided with the latest set of drawings and structural engineers drawings prior to works commencing on site
 - It is the responsibility of the contractor to ensure that the latest drawing revision is being worked to. If in doubt please check with Walk-In Architecture prior to commencement of works
 - For any clarification on the structural engineers design consult structural engineer
 - It is the responsibility for the Contractor to notify building control 48 hours prior to works commencing on site
 - All goods, materials and workmanship to conform with current Building Regulations, British Standards and Codes of Practice
 - It is imperative that all site levels are to be checked and determined on site before work commences
 - It is the responsibility for the Contractor to arrange for the building control inspector to visit site at each stage of the project
 - It is imperative that all drawing dimensions are checked on site by the Building Contractor before work commences
 - No extent of the proposed works/extension (inc. Fascias & guttering) to exceed boundary.
 - Subject to any local conditions imposed by the inspecting authority.
 - Contractor is to hold full responsibility of any discrepancies found without checking prior to work commencing.
 - For any clarification on the structural engineers design consult structural engineer
 - Refer and implement any planning conditions applicable
 - All site boundaries to be confirmed on site.
 - Refer and implement any requirements from SAPS compliance Summary
 - Refer and implement any Building regulation Conditions
 - Party walls awards required to be acquired prior to works commencing
 - This drawing is to be read in conjunction with the Structural Engineers drawings and calculations

- General Notes:**
- Do not scale from this drawing.
 - All dimensions to be verified on site prior to any works being commenced and any discrepancies to be reported to WIA.
 - Any discrepancies between the drawing and any written specifications is to be reported to WIA.
 - This drawing to be read in conjunction with relevant consultants and specialist drawings.
 - All works to comply with the relevant British Standards, Codes of Practice and Building Regulations.
 - If in doubt about any of the works, please ask!
 - This drawing is the copyright of WIA and is not to be reproduced in any form without prior written consent.
 - Any work done on the party wall or boundary line needs to have a Party Wall Award in place.
 - Boundary lines and boundary line measurements are approximate and need to be confirmed.
- Legend:**
- SVP - vent & soil pipe
 - RWP - rain water pipe
 - B - boiler
 - F.F - ridge fin
 - W.M - washing machine
 - T.D - tumble dryer
 - D.W - dish washer
 - M.H - man hole
 - I.C - inspection chamber
 - g.a.f - gully
 - Carbon Monoxide detector
 - Smoke detector
 - Heat detector

- Acoustic Insulation provided within timber stud partitions between wet rooms and living areas**
- Kitchen to be ventilated by Cooker Hood extract vent providing intermittent ventilation of 30l/s minimum**
- Utility to be ventilated by extract vent providing intermittent ventilation of 30l/s minimum**
- Extract vent to be ceiling mounted and ducted through floor joist zone to external wall**
- SVP boxed with 2x12.5mm plasterboard. Void to be packed with Fibreglass quilt insulation**
- Boiler flue outlet to be min 300mm from door/window opening**
- Beam/infel over as per Structural Engineer design**
- Beam underneath as per Structural Engineer design**
- Header foundations as per Structural Engineer design**
- Existing walls to be removed**
- Brickwork**
- Blockwork**

GENERAL NOTES		REVISIONS:		REVISIONS:		REVISIONS:		CLIENT: Mr Martin Pratt ADDRESS: 11 Brockley Rise, Forest Hill, London, SE23 1JG		PROJECT: PROPOSED SINGLE STOREY REAR EXTENSION AND INTERNAL ALTERATIONS TO FORM TWO APARTMENTS		83 High Street, Caterham, Surrey CR3 5UF	
1. DO NOT SCALE FROM THIS DRAWING, UNLESS FOR PLANNING PURPOSES	6. IF IN DOUBT ABOUT ANY OF THE WORKS, PLEASE ASK	P	010221	ISSUED PRELIMINARY TO CLIENT	REV.	DATE	REVISIONS:	SCALE: 1:50 @ A1	ISSUED FOR:	REVISION	ISSUED FOR:	DRAWING NUMBER:	WALK-IN ARCHITECTURE Tel. 01883 345 558 www.walkinarchitecture.com info@walkinarchitecture.com
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4. THIS DRAWING TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANTS AND SPECIALIST DRAWINGS.	9. BOUNDARY LINES AND BOUNDARY LINE MEASUREMENTS ARE APPROXIMATE AND NEED TO BE CONFIRMED.	C	240922	REVISED TO SUIT CLIENT COMMENTS AND BCO COMMENTS									
5. ALL WORKS TO COMPLY WITH THE RELEVANT BRITISH STANDARDS, CODES OF PRACTICES AND BUILDING REGULATIONS.		D	220722	POST BUILDING CONTROL PRIOR CONDITIONAL APPROVAL ISSUE									

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- NOTE:**
- For all pedestal positions and sizes refer to SLEng details
 - The Project Manager is to ensure that the Building Contractor is provided with the latest set of drawings and structural engineers drawings prior to works commencing on site
 - It is the responsibility of the contractor to ensure that the latest drawing revision is being worked to. If in doubt please check with Walk-In Architecture prior to commencement of works
 - For any clarification on the structural engineers design consult structural engineer
 - It is the responsibility for the Contractor to notify building control 48 hours prior to works commencing on site
 - All goods, materials and workmanship to conform with current Building Regulations, British Standards and Codes of Practice
 - It is imperative that all site levels are to be checked and determined on site before work commences
 - It is the responsibility for the Contractor to arrange for the building control inspector to visit site at each stage of the project
 - It is imperative that all drawing dimensions are checked on site by the Building Contractor before work commences
 - No extent of the proposed work/extension (No. Partdas & gate) to exceed boundary.
 - Subject to any local conditions imposed by the inspecting authority.
 - Contractor is to hold full responsibility of any discrepancies found without checking prior to work commencing.
 - For any clarification on the structural engineers design consult structural engineer
 - Refer and implement any planning conditions applicable
 - All site boundaries to be confirmed on site.
 - Refer and implement any requirements from BAPS compliance Summary
 - Refer and implement any Conditions
 - Party walls onwards required to be acquired prior to works commencing
 - This drawing is to be read in conjunction with the Structural Engineers drawings and calculations

- General Notes:**
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 - Boundary lines and boundary line measurements are approximate and need to be confirmed.
- Legend:**
- SVP soil & vent pipe
 - WVP rain water pipe
 - B boiler
 - F.F. floor finish
 - W.M. washing machine
 - T.D. tumble dryer
 - D.W. dish washer
 - M.H. man hole
 - R.I. inspection chamber
 - G gully
 - Carbon Monoxide detector
 - Smoke detector
 - Heat detector

Acoustic insulation provided within timber stud partitions between wet rooms and living areas

Kitchen to be ventilated by Cooker Hood extract vent providing intermittent ventilation of 30l/s minimum

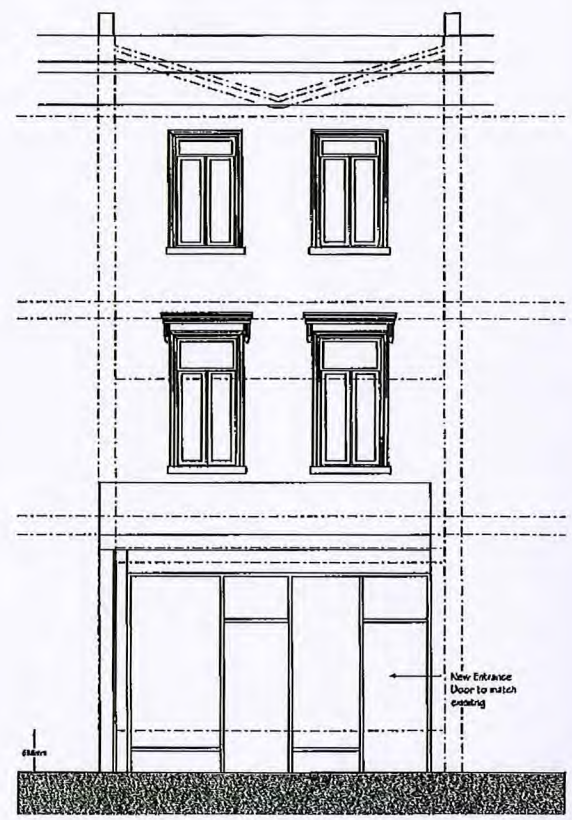
Utility to be ventilated by extract vent providing intermittent ventilation of 30l/s minimum

Extract vent to be ceiling mounted and ducted through floor joist zone to external wall

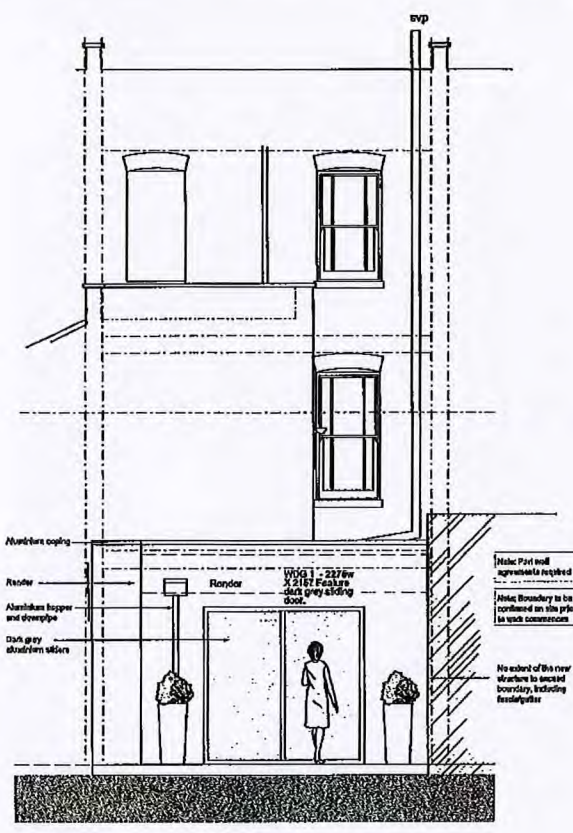
SVP boxed with 2x12.5mm plasterboard. Void to be packed with Fibreglass quilt insulation

Boiler flue outlet to be min 300mm from door/window opening

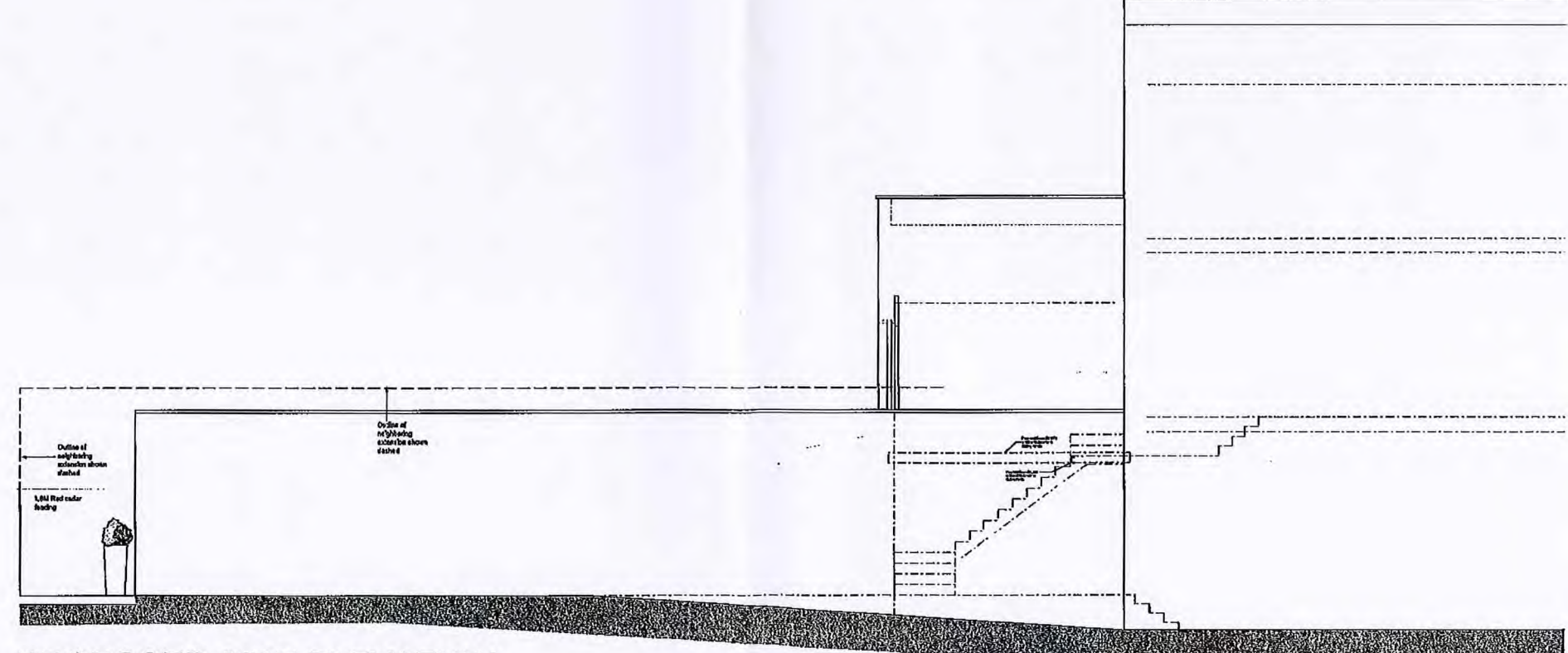
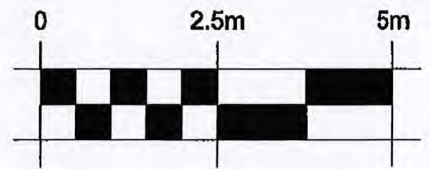
- Beam/fintel over as per Structural Engineer design
- Beam underneath as per Structural Engineer design
- New foundations as per Structural Engineer design
- Existing walls to be removed
- Brickwork
- Blockwork



PROPOSED FRONT ELEVATION
SCALE 1:50 @ A1



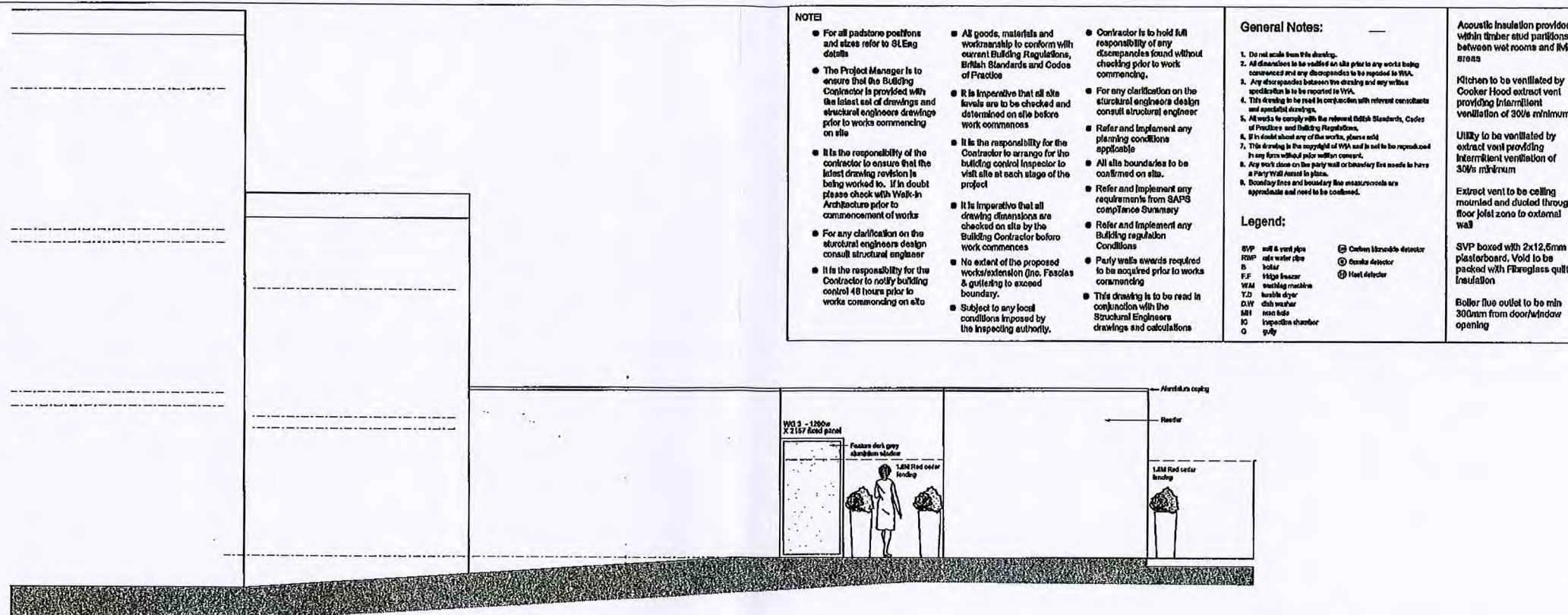
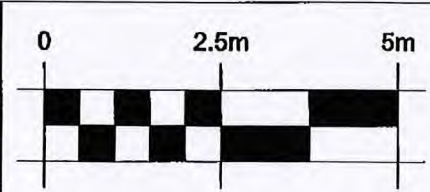
PROPOSED REAR ELEVATION
SCALE 1:50 @ A1



PROPOSED SIDE ELEVATION
SCALE 1:50 @ A1

<p>GENERAL NOTES:</p> <ol style="list-style-type: none"> DO NOT SCALE FROM THIS DRAWING, UNLESS FOR PLANNING PURPOSES ALL DIMENSIONS TO BE MARKED ON SITE PRIOR TO ANY WORKS BEING COMMENCED AND ANY DISCREPANCIES TO BE REPORTED TO WALK-IN ARCHITECTURE. ANY DISCREPANCIES BETWEEN THE DRAWING AND ANY WRITTEN SPECIFICATION IS TO BE REPORTED TO WALK-IN ARCHITECTURE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH RELEVANT CONSULTANTS AND SPECIALIST DRAWINGS. ALL WORKS TO COMPLY WITH THE RELEVANT BRITISH STANDARDS, CODES OF PRACTICE AND BUILDING REGULATIONS. IF IN DOUBT ABOUT ANY OF THE WORKS, PLEASE ASK THIS DRAWING IS THE COPYRIGHT OF WALK-IN ARCHITECTURE AND IS NOT TO BE REPRODUCED IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT. ANY WORK DONE ON THE PARTY WALL OR BOUNDARY LINE NEEDS TO HAVE A PARTY WALL AWARD IN PLACE. BOUNDARY LINES AND BOUNDARY LINE MEASUREMENTS ARE APPROXIMATE AND NEED TO BE CONFIRMED. 		<p>REV. DATE REVISION:</p> <p>P 010221 ISSUED PRELIMINARY TO CLIENT</p> <p>A 011121 ISSUED TO STRUCTURAL ENGINEER</p> <p>B 100122 REVISED TO SUIT S.E. DETAILS</p> <p>C 240922 REVISED TO SUIT CLIENT COMMENTS AND BOC COMMENTS</p> <p>D 220722 POST BUILDING CONTROL PRIOR CONDITIONAL APPROVAL ISSUE</p>	<p>REV. DATE REVISION:</p>	<p>CLIENT: Mr Martin Pratt ADDRESS: 11 Brockley Rise, Forest Hill, London, SE23 1JG</p> <p>SCALE: 1:50 @ A1</p> <p>DRAWN: AC DATE: 01/02/2021</p>	<p>PROJECT: PROPOSED SINGLE STOREY REAR EXTENSION AND INTERNAL ALTERATIONS TO FORM TWO APARTMENTS</p> <p>DRAWING TITLE: PROPOSED FRONT, REAR AND SIDE ELEVATIONS</p> <p>ISSUED FOR: B.REGS</p> <p>DRAWING NUMBER: 355-106</p>	<p>83 High Street, Caterham, Surrey CR3 5JF</p> <p>WALK-IN ARCHITECTURE</p> <p>Tel. 01883 345 558</p> <p>www.walkinarchitecture.com info@walkinarchitecture.com</p>
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PROPOSED (PART) SIDE ELEVATION
SCALE 1:50 @ A1

NOTES

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- It is the responsibility of the contractor to ensure that the latest drawing revision is being worked to. If in doubt please check with Walk-In Architecture prior to commencement of works
- For any clarification on the structural engineers design consult structural engineer
- It is the responsibility of the Contractor to notify building control 48 hours prior to works commencing on site

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- Any discrepancies between the existing and any written specifications is to be reported to WIA.
- All works to comply with the relevant British Standards, Codes of Practice and Building Regulations.
- If in doubt about any of the work, please seek clarification from WIA.
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- Any work done on the party wall or boundary line needs to have a Party Wall Award in place.
- Downfall lines and boundary line measurements are approximate and need to be confirmed.

Legend:

- SVP self vent pipe
- FWP fire water pipe
- B boiler
- F.F. floor finish
- WM window mullion
- Z.S. zinc sheet
- D.W. down pipe
- M.I. metal insulator
- IC insulation chamber
- GC gypsum concrete
- AS smoke detector
- HD heat detector

Acoustic insulation provided within fabric stud partitions between wet rooms and living areas

Kitchen to be ventilated by Cooker Hood extract vent providing intermittent ventilation of 300% minimum

Utility to be ventilated by extract vent providing intermittent ventilation of 300% minimum

Extract vent to be ceiling mounted and ducted through floor joist zone to external wall

SVP boxed with 2x12.5mm plasterboard. Void to be packed with Fibreglass quilt insulation

Boiler flue outlet to be min 300mm from door/window opening

Beam/infill over as per Structural Engineer design

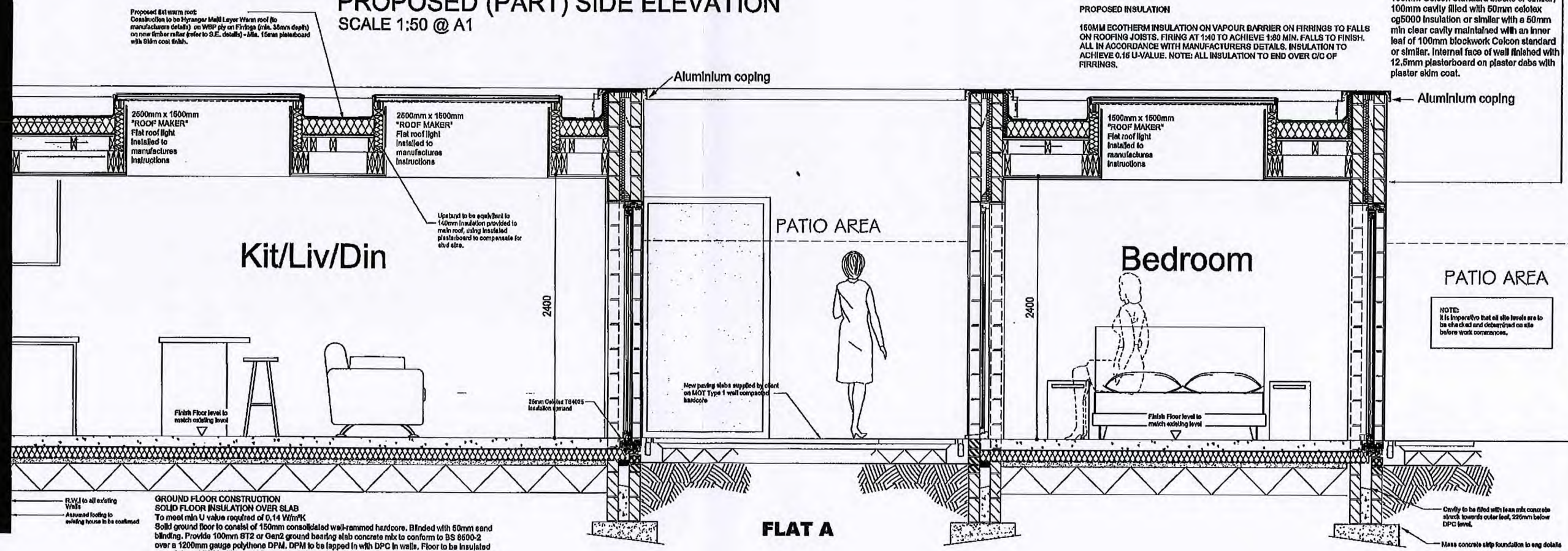
Beam underneath as per Structural Engineer design

New foundations as per Structural Engineer design

Existing walls to be removed

Brickwork

Blockwork



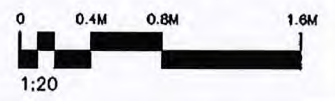
NOTE: For all Padstone positions refer to SLEng Details

NOTE: All dimensions are to be confirmed on site

NOTE: All Window/door head heights to match existing where possible

NOTE: Refer to SLEng details for all structural information

SECTION A-A
SCALE 1:20 @ A1



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