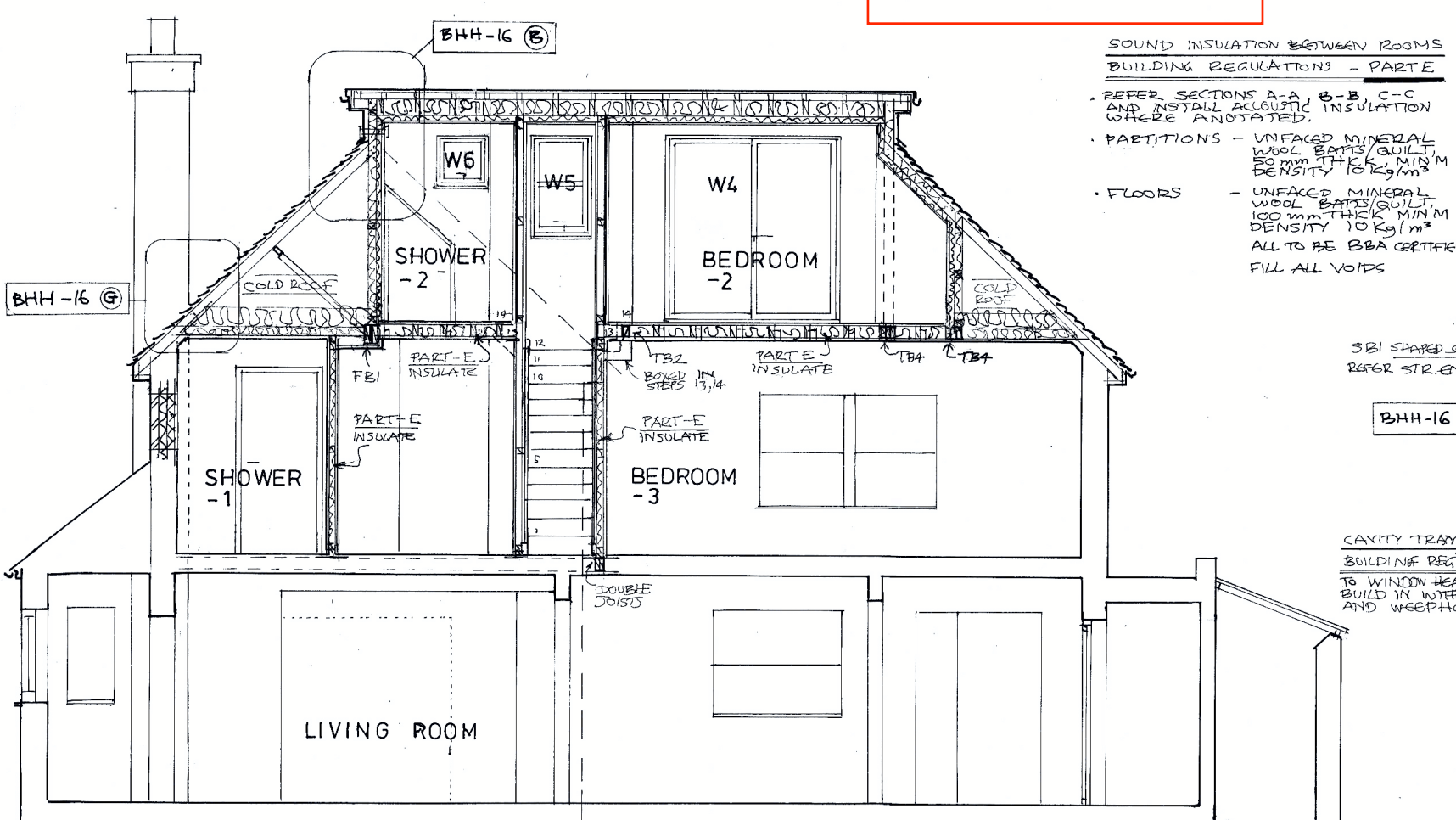
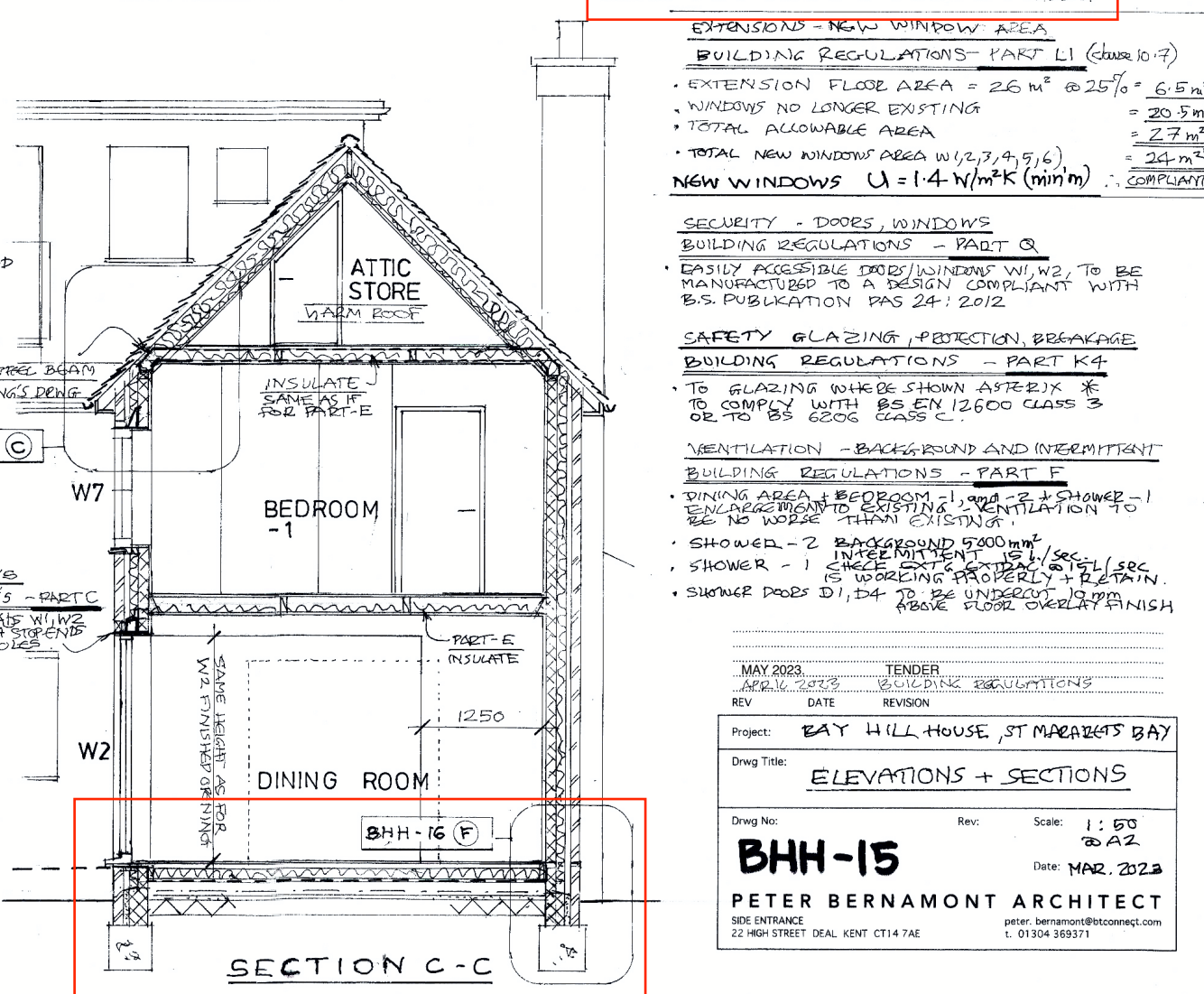


SECTION B - B

REAR ELEVATION



SECTION A - A



SECTION C - C

ALL WORKS ON DRAWINGS TO BE UNDERTAKEN IN REFERENCE TO THE WRITTEN SPECIFICATION

DO NOT SCALE OFF DRWGS FOR CONSTRUCTION

EXTENSION - NEW WINDOW AREA
BUILDING REGULATIONS - PART L1 (clause 10.7)
 • EXTENSION FLOOR AREA = 26 m² @ 25% = 6.5 m²
 • WINDOWS NO LONGER EXISTING = 20.5 m²
 • TOTAL ALLOWABLE AREA = 2.7 m²
 • TOTAL NEW WINDOWS AREA W1,2,3,4,5,6 = 24 m²
NEW WINDOWS U = 1.4 W/m²K (min/m) ∴ COMPLIANT

SECURITY - DOORS, WINDOWS
BUILDING REGULATIONS - PART Q
 • EASILY ACCESSIBLE DOORS/WINDOWS W1, W2, TO BE MANUFACTURED TO A DESIGN COMPLIANT WITH B.S. PUBLICATION PAS 24: 2012

SAFETY GLAZING - PROTECTION, BREAKAGE
BUILDING REGULATIONS - PART K4
 • TO GLAZING WHERE SHOWN ASTRIX * TO COMPLY WITH BS EN 12600 CLASS 3 OR TO BS 6206 CLASS C.

VENTILATION - BACKGROUND AND INTERMITTENT
BUILDING REGULATIONS - PART F
 • DINING AREA + BEDROOM -1, and -2 + SHOWER -1 ENLARGEMENT TO EXISTING - VENTILATION TO BE NO MORE THAN EXISTING.
 • SHOWER - 2 BACKGROUND 5000 mm³/sec INTERMITTENT 15 l/sec.
 • SHOWER - 1 BACKGROUND 1500 mm³/sec (IS WORKING PROPERLY + RETAIN).
 • SHOWER DOORS D1, D4 TO BE UNDERCUT 10mm ABOVE FLOOR OVERLAY FINISH

REV	DATE	REVISION
MAY 2023		TENDER BUILDING REGULATIONS
APR 2023		

Project: **BAY HILL HOUSE, ST MARABETS BAY**
 Drwg Title: **ELEVATIONS + SECTIONS**
 Drwg No: _____ Rev: _____ Scale: **1:50 @ A2**
BHH-15 Date: **MAR. 2023**
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