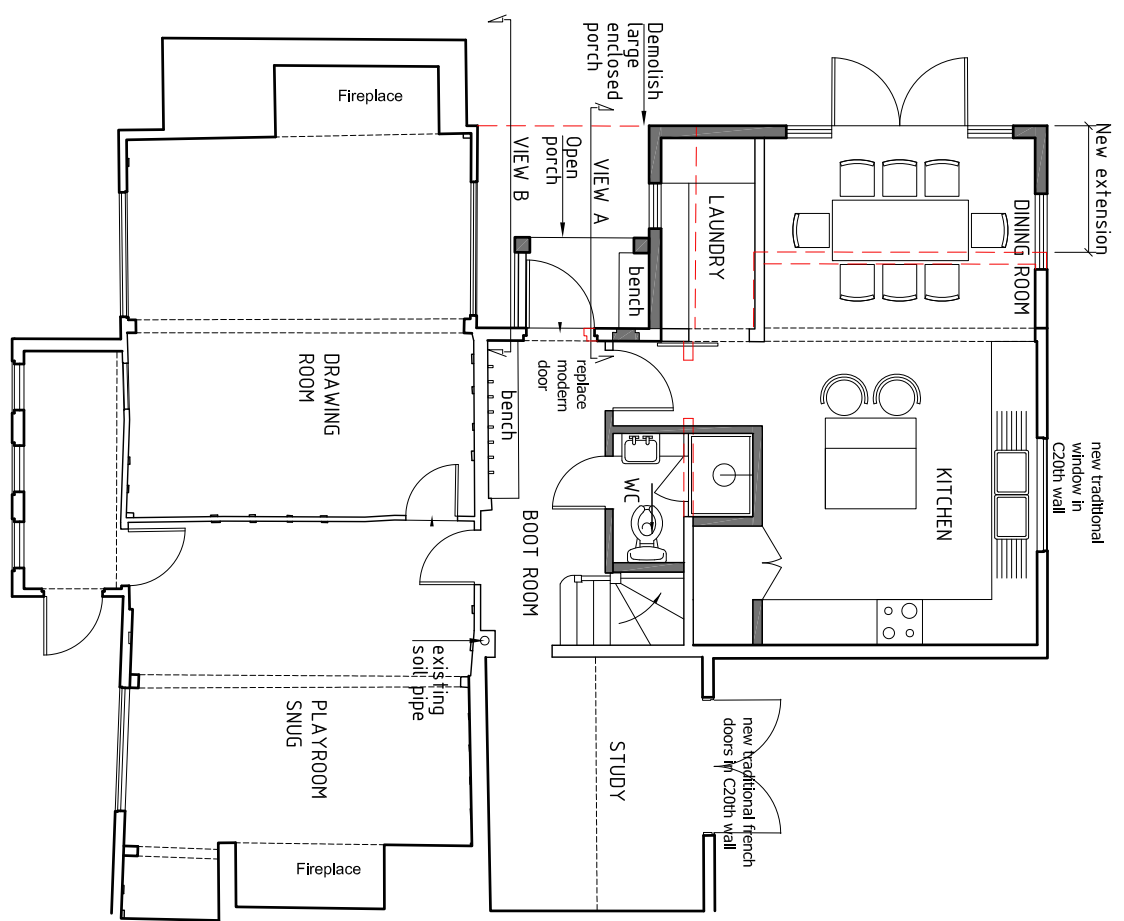
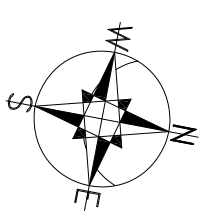
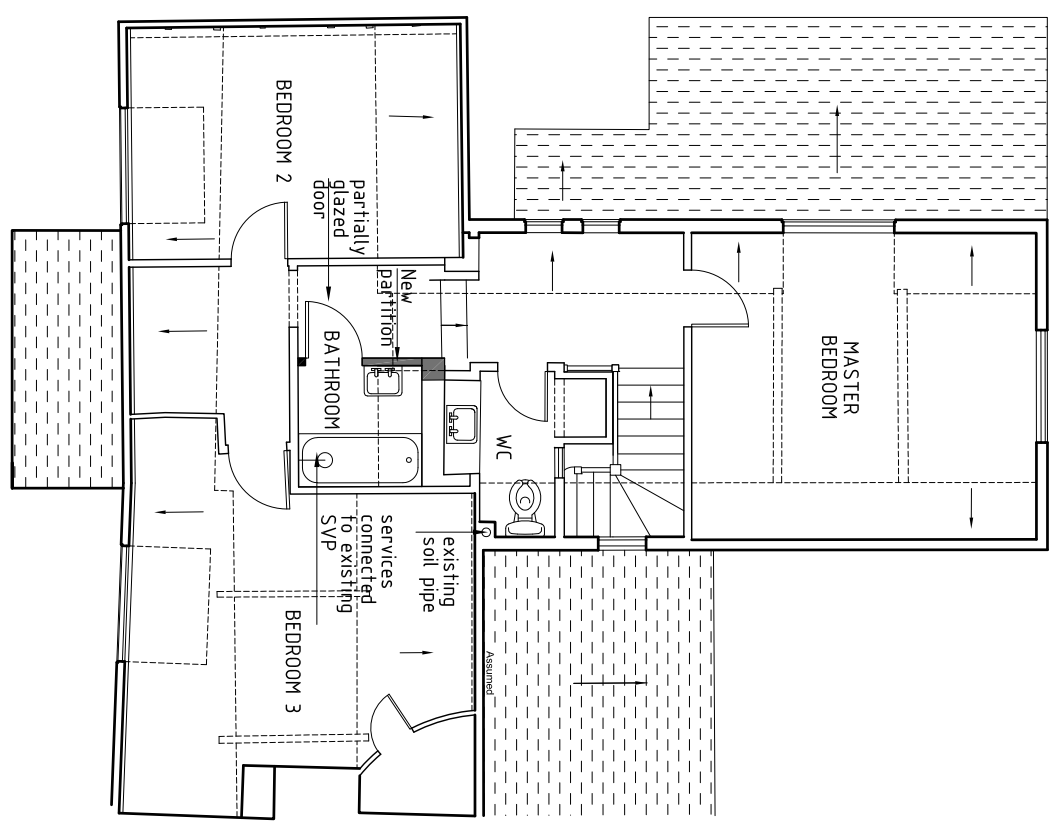


- NOTES
1. THIS IS A PLANNING DRAWING NOT TO BE USED FOR CONSTRUCTION
  2. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

**Notes Generally**

**Existing Walls and Roof**  
Existing external walls are timber frame with a cement render finish. Repairs works shall include removal of the cement render to be replaced with a traditional insulating lime render.

Long straw thatch roof with block ridge scallop detail to Cottage range and C20 extension rear wing.

**Proposed Walls and Roof of Extension**  
Render finish to new external walls. The extension, porch and replacement roof to have natural slate finish.

**External Windows and Doors**  
The existing windows to the front of the property are old single glazed leaded casements and are to be retained.

Windows and doors to the rear and side elevation of the cottage are all C20th single glazed timber. Replacement windows and shall be painted hardwood casements with narrow double glazed panes.

**Rainwater goods**  
Existing gutters and downpipes are minimal due to the extent of thatch, however any new gutters and downpipes to the rear will be back UPVC.

**Services**  
Remain the same connecting to the existing system.



REV	BRIEF DETAILS	DATE
A	Notes added and red lines/hatch added	11/01/24

PROPOSED PLANS  
for  
WAYSIDE  
CHURCH HILL  
HEMPSTEAD  
SAFFRON WALDEN  
CB10 2PA

NO	2322 / PD / 201	REV	A	CHECKED
SCALE	1 : 100 @ A3	DATE	OCT '23	DRAWN
AY PILSBURY THOMAS ARCHITECTS		TEL: 01799 599208 FAX: 01799 599965 www.apit.co.uk info@apit.co.uk HONEYLANDS, RADWINTER, SAFFRON WALDEN, ESSEX, CB10 2TJ		

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