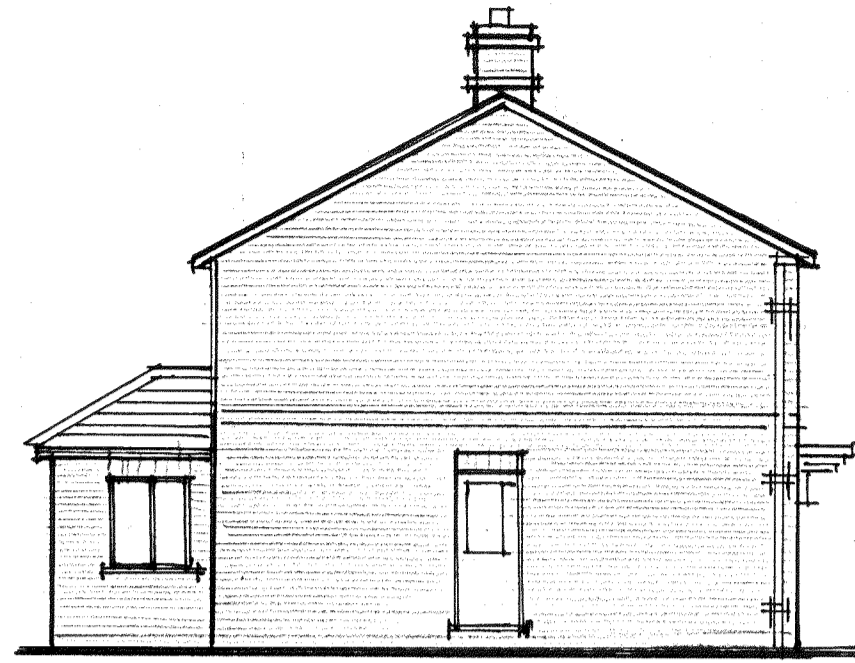
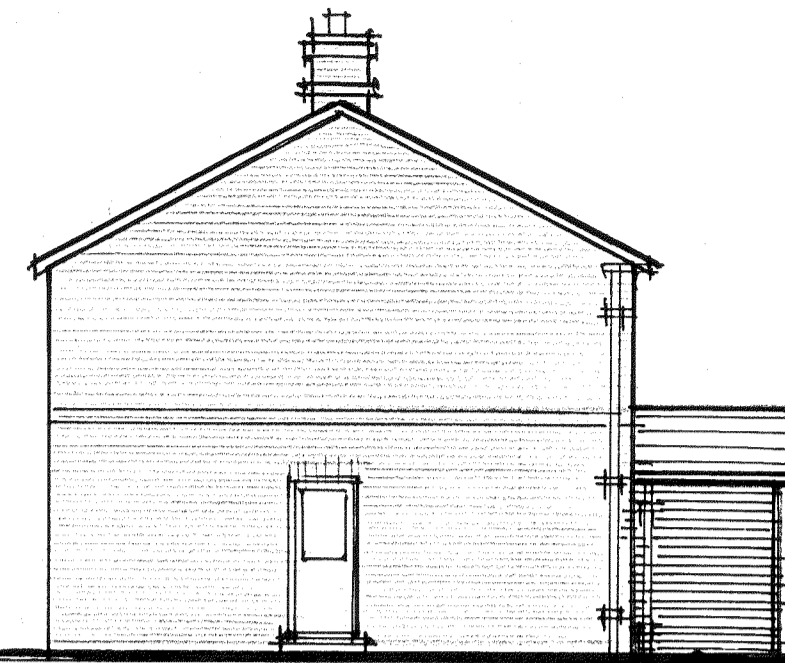




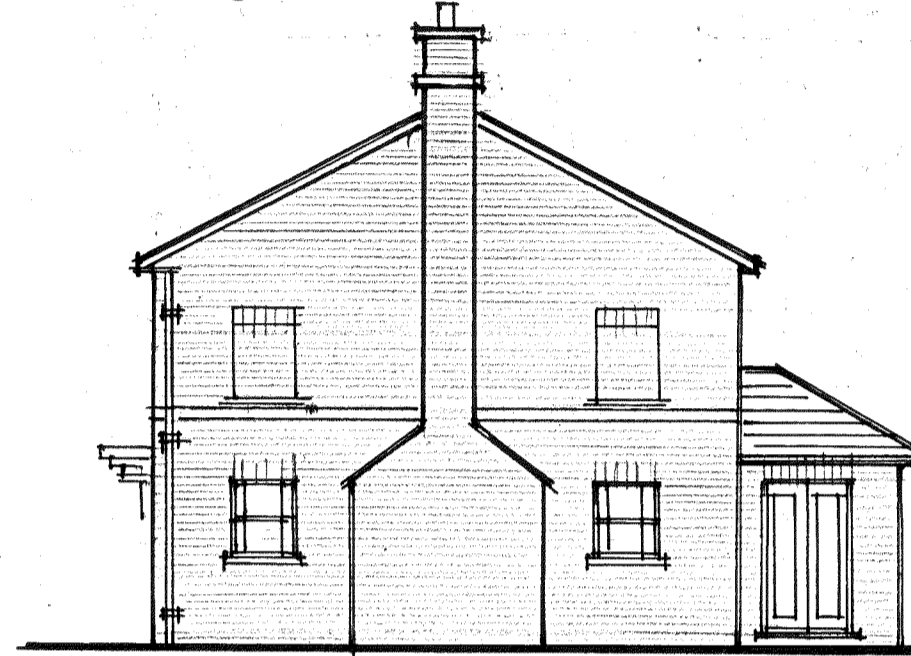
Existing Front Elevation



Existing South East Elevation



Proposed South East Elevation



Existing North West Elevation



Proposed Front Elevation



Proposed North West Elevation

Roof Construction

Roof construction to be of slates to match existing on 25x38mm timber battens on Tyvek breathable membrane on 10x50mm rafters at 400 centres with 100x50mm ceilings joists at 400mm centres 150mm Rockwool insulation between rafters with 150mm over at right angles 9.5mm Duplex plasterboard to ceiling finished with Gypsum plaster. Joists to be supported on 100x50mm wall plates. All components to be fixed in strict accordance with manufacturer's instructions and details. 150mm upvc fascia and soffit. 100mm upvc half round guttering to be connected to new 62mm diameter downpipes.

Wall Construction

Wall construction to be of 106mm face brickwork to match existing with 100mm cavity filled with Drytherm insulation. Stainless steel wall ties at 900mm horizontally and 450mm vertically staggered, 100mm Durox Supablocks internally finished with 40mm Celotex and 12.5mm Duplex plasterboard. Felt DPC to BS 743 150mm above ground level and lapped to existing. Suitable Catnic lintel to be provided over door and windows with 150mm bearings. Cavity brickwork below DPC. Bricks and blocks to be bonded in accordance with manufacturer's instructions using 1:1.6 mortar mix with all necessary expansion and contraction joints. Furfix profiles to bond new walls to existing.

Door windows and Ventilation

8000mm² background ventilation (three tickle vents per room). Door to be double glazed (uValue 1.4).

Floor Construction

Ground floor to be of 40mm sand and cement screed on 100mm Gen 1 concrete on 1000g polythene sheeting on 100mm Celotex insulation on 1200g polythene vapour barrier on 150mm sand blinded, well consolidated hardcore.

Plumbing and Drainage

100mm uPVC half round rainwater guttering to be connected to existing 62mm diameter downpipes to back inlet gullies. Connected to 100mm Osma underground quality upvc pipes at 1:40 with 150mm pea shingle bed and surround to existing surface water drainage system. Any redundant drains to be sealed with concrete.

Foundations

Foundations to be a minimum of 460mm wide Gen 1 concrete taken down a minimum of 1m to solid undisturbed Lowestoft formation. Foundations not to impose any loads on new or existing drainage.

Electrical

All electrical work required to meet the requirements of Part P (Electrical Safety) must be designed, installed, inspected and tested by a person competent to do so.

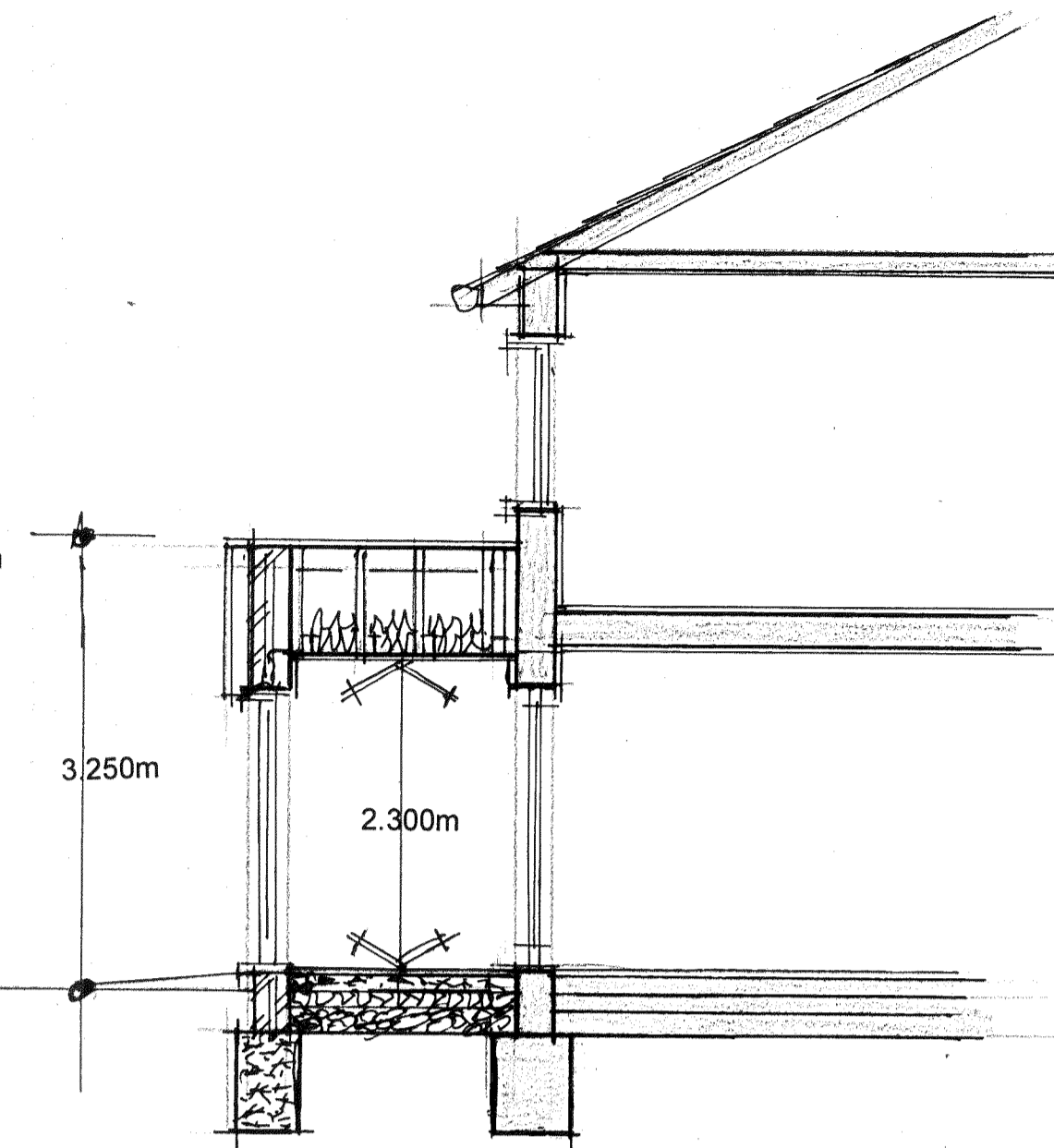
Prior to completion, the Council should be satisfied that Part P has been complied with. This may require an appropriate BS7671 electrical installation certificate to be issued for the work by a person competent to do so.

General

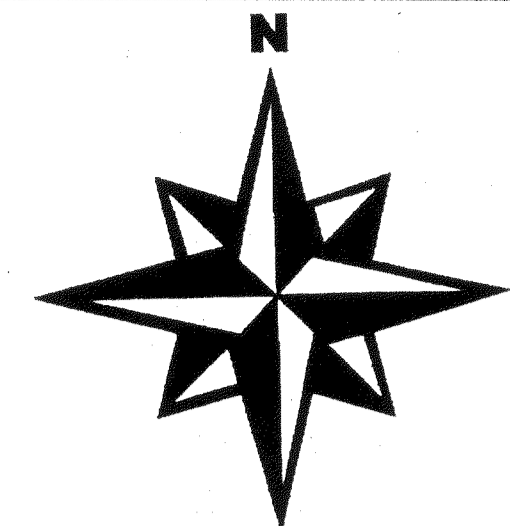
Code 4 lead flashings to be used throughout.

Provide all lights as fixed low energy efficient fittings to be capable of only taking lamps with a luminous efficiency of 75 lumens of circuit watts minimum in accordance with ADL 1(b)

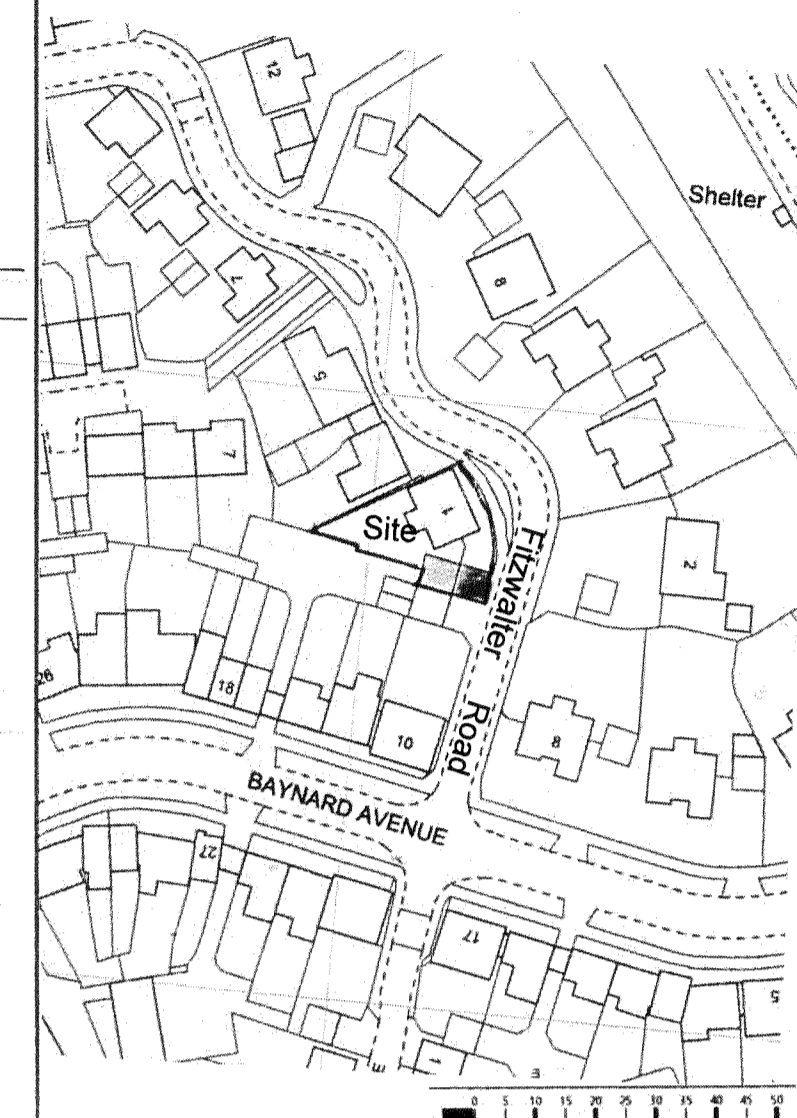
Number, type and position of radiator (fitted with TRV) along with socket outlets, light fittings and switches to be agreed with client prior to commencement of work.



Section



LEGEND



Site Location Plan Scale 1:1250

REV.	AMENDMENTS	INTLS.	DATE
A	Completed for planning	EJS	22/01/24

FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK. THE COPYRIGHT OF THIS DRAWING IS RESERVED AND THE DRAWING MUST NOT BE DISCLOSED WITHOUT AUTHORITY.

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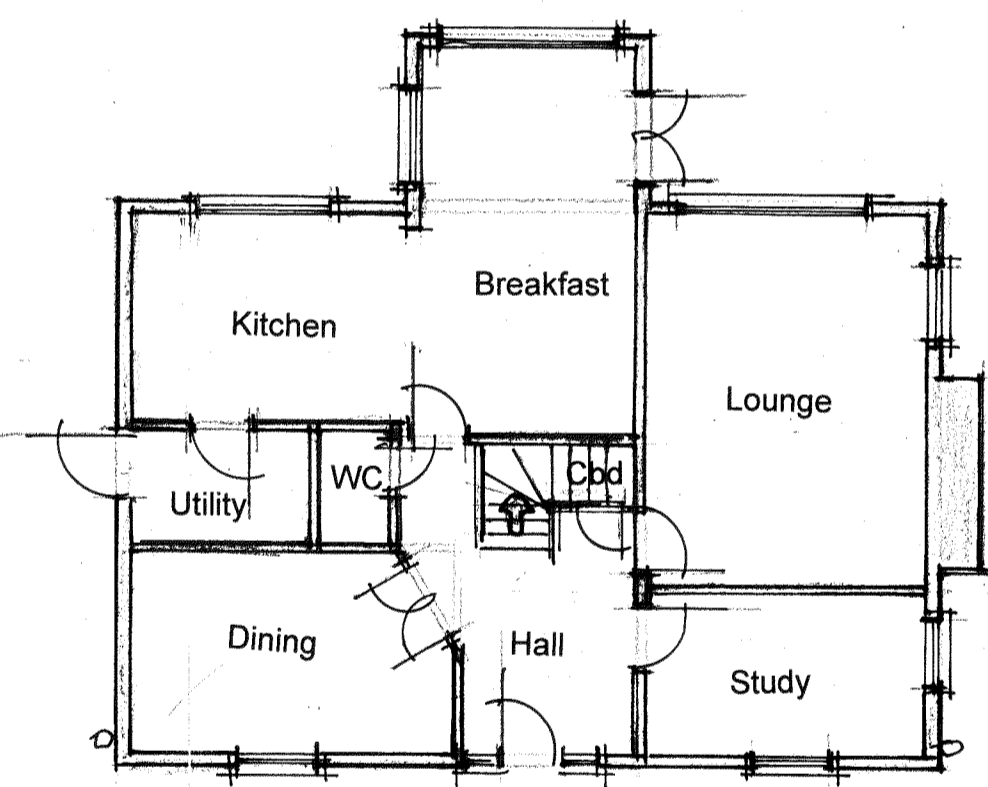
TITLE
 Proposed front porch
 at 1 Fitzwaller Road,
 Fitch Green,
 CM6 3FQ.

CUSTOMER
 Nikki Phillips

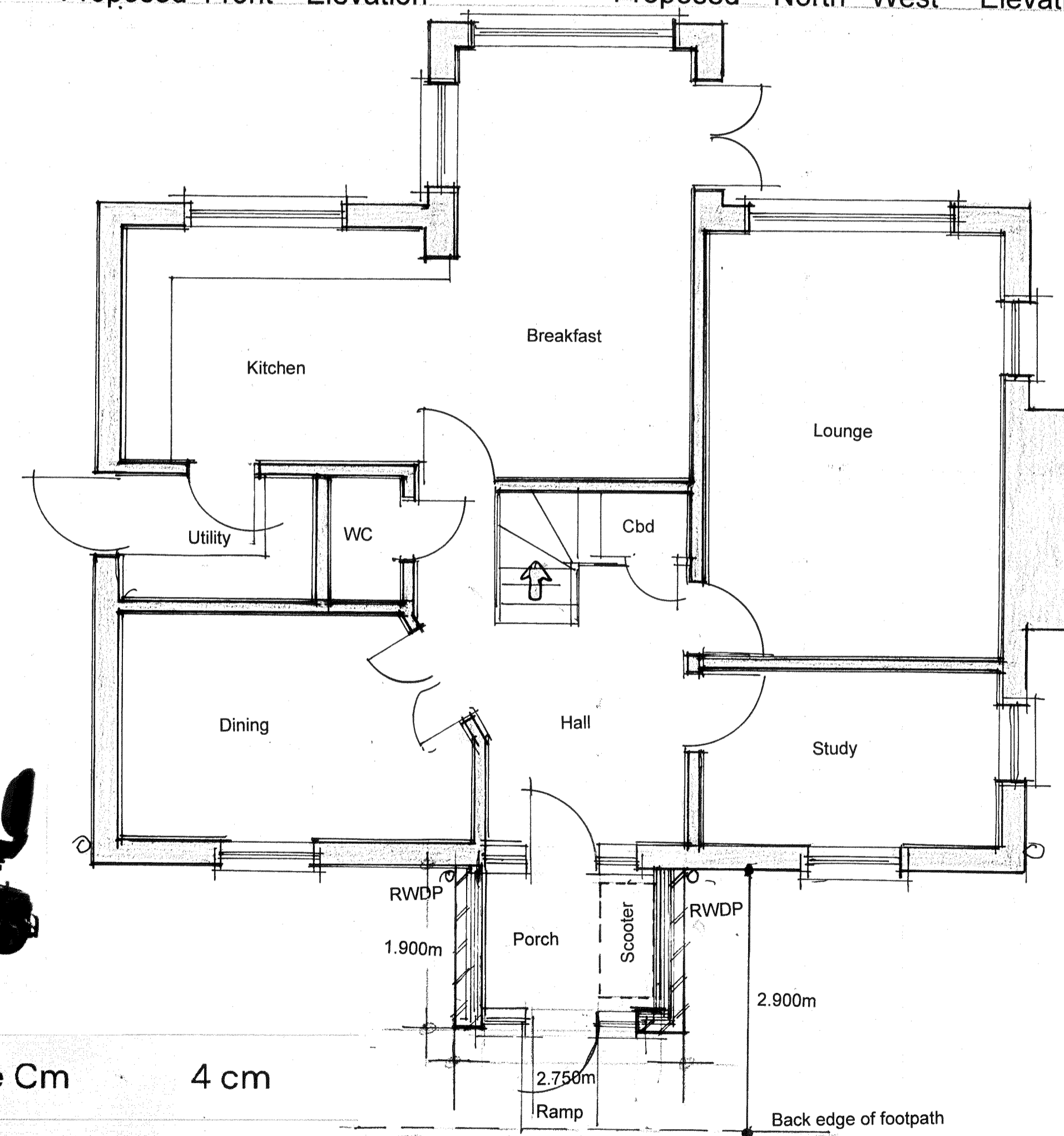
DRAWING No.
 FR:01

SCALE
 1:100 1:50 SHEET 1 OF 1

DRAWN BY EJS **DATE** 17 January 2024



Existing Ground Floor Plan

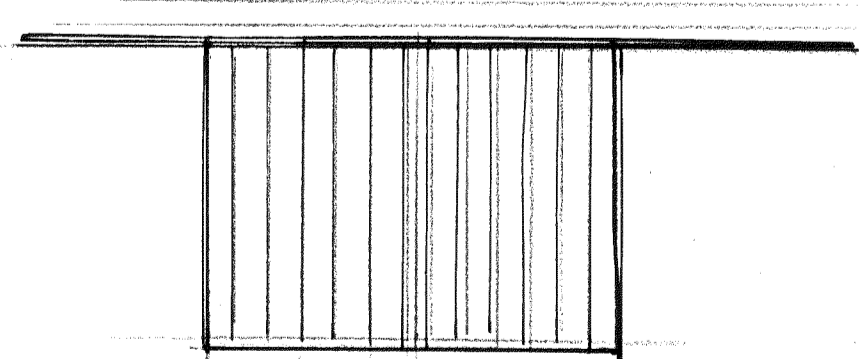


Proposed Ground Floor Plan

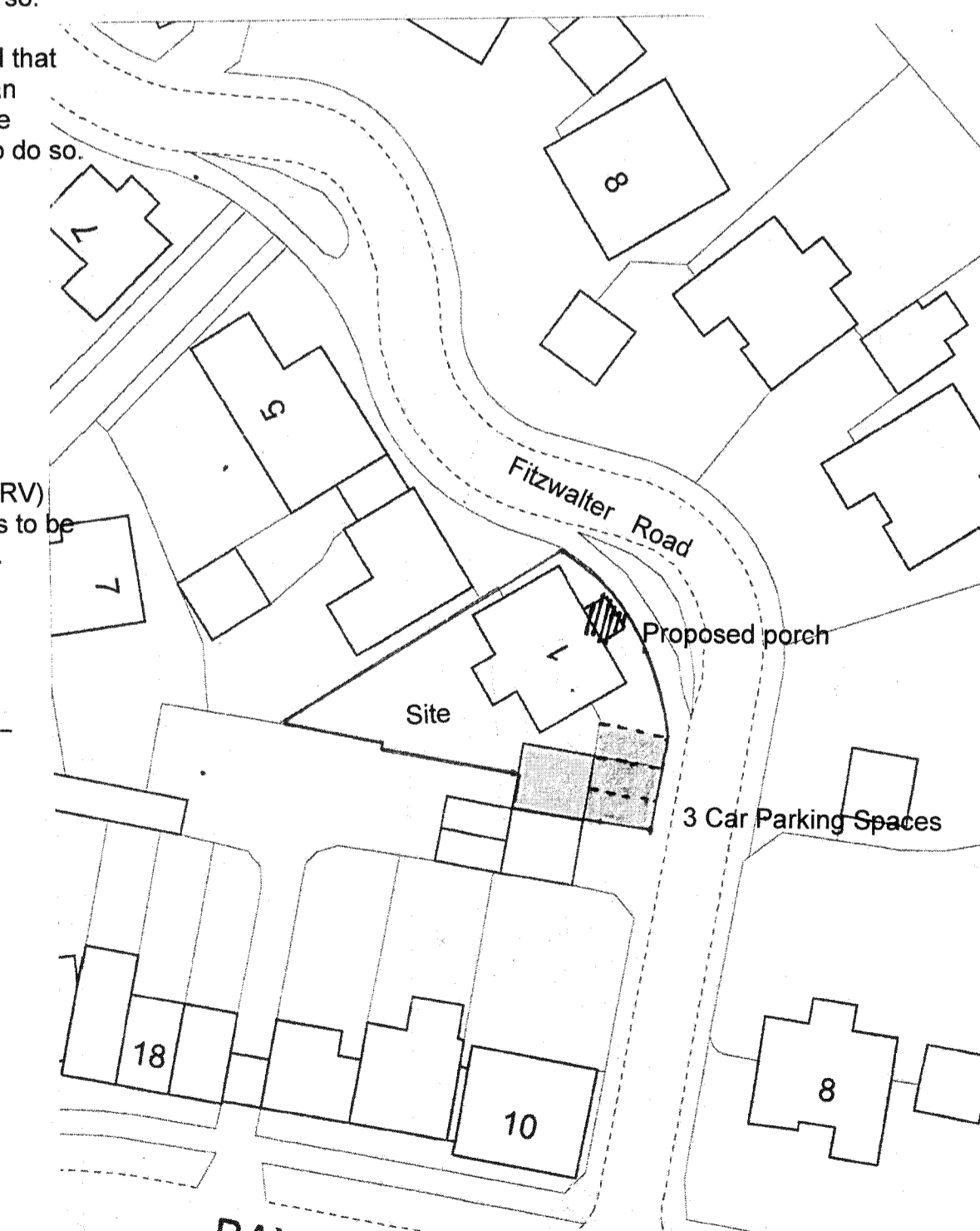


Measurements

Length Cm	126 cm	Clearance Cm	4 cm
Length Inches	49.6 in	Clearance Inches	1.57 in
Width Cm	70.7 cm		
Width Inches	27.8 in		



Roof Plan



Block Plan Scale: 1:500

