

**PART F, VENTILATION**

Provide extract ventilation en suites and bathrooms at rate of not less than 15 litres per second with 15mins overrun.  
 Provide extract ventilation to the utility at rate of not less than 30 litres per second.  
 Provide extract ventilation to the kitchen at rate of not less than 60 litres per second.  
 Purge ventilation to habitable rooms to be 1/20th of floor area. Based on footprint and number of bedrooms, provide trickle vents with a total area of not less than 8000mm<sup>2</sup> (or 10,000mm<sup>2</sup> for single storey dwellings). Open plan kitchen diners need minimum of 3 trickle vents in a room providing 8000mm<sup>2</sup> each (or 10,000mm<sup>2</sup> for a single storey dwelling).  
 Exposed Façades in busy areas (main road etc.) will require noise attenuating trickle vents.

**PART J, CARBON MONOXIDE ALARMS**

Where a new or replacement fixed solid fuel appliance is installed in a dwelling, a carbon monoxide alarm should be provided in the room where the appliance is located.  
 Carbon monoxide alarms should comply with BS EN 50291:2001 and be powered by a battery designed to operate for the working life of the alarm. The alarm should incorporate a warning device to alert users when the working life of the alarm is due to pass. Mains-powered BS EN 50291 Type A carbon monoxide alarms with fixed wiring (not plug-in types) may be used as alternative applications, provided they are fitted with a sensor failure warning device.  
 The carbon monoxide alarm should be located in the same room as the appliance: a. on the ceiling at least 300mm from any wall or, if it is located on a wall, as high up as possible (above any doors and windows) but not within 150mm of the ceiling; and b. between 1m and 3m horizontally from the appliance

**NOTE:**  
 CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

**NOTE:**  
 PLEASE DO NOT SCALE FROM THIS DRAWING.

**Party Wall Act**  
 Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com  
 For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

**Building Contract**  
 It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT.  
 For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

**CDM 2015 Regulations**  
 The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations.  
 For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

**GENERAL NOTES**  
 Materials to match existing.  
 These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.  
 Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

Rev.D	Added building regulations notes (subject to change). Removed sun tunnels, gas meter & chimney. Added side facing landing window. Reduced living room and master bedroom windows to North elevation, master bedroom window to west elevation. Removed east elevation playroom window. Omitted Bay window glazing bars. Changed en suite and bathrooms doors to pocket doors. All to suit clients comments.	12.12.23
Rev.C	Added bay windows to Senior Planners comments.	07.09.23
Rev.B	Added bay windows to Senior Planners comments.	24.04.23
Rev.A	Updated fenestration to Senior Planners comments.	01.02.23
REV		



www.masdesignconsultants.com  
 1 Oxford Street, Guiseley, Leeds, LS20 9AX

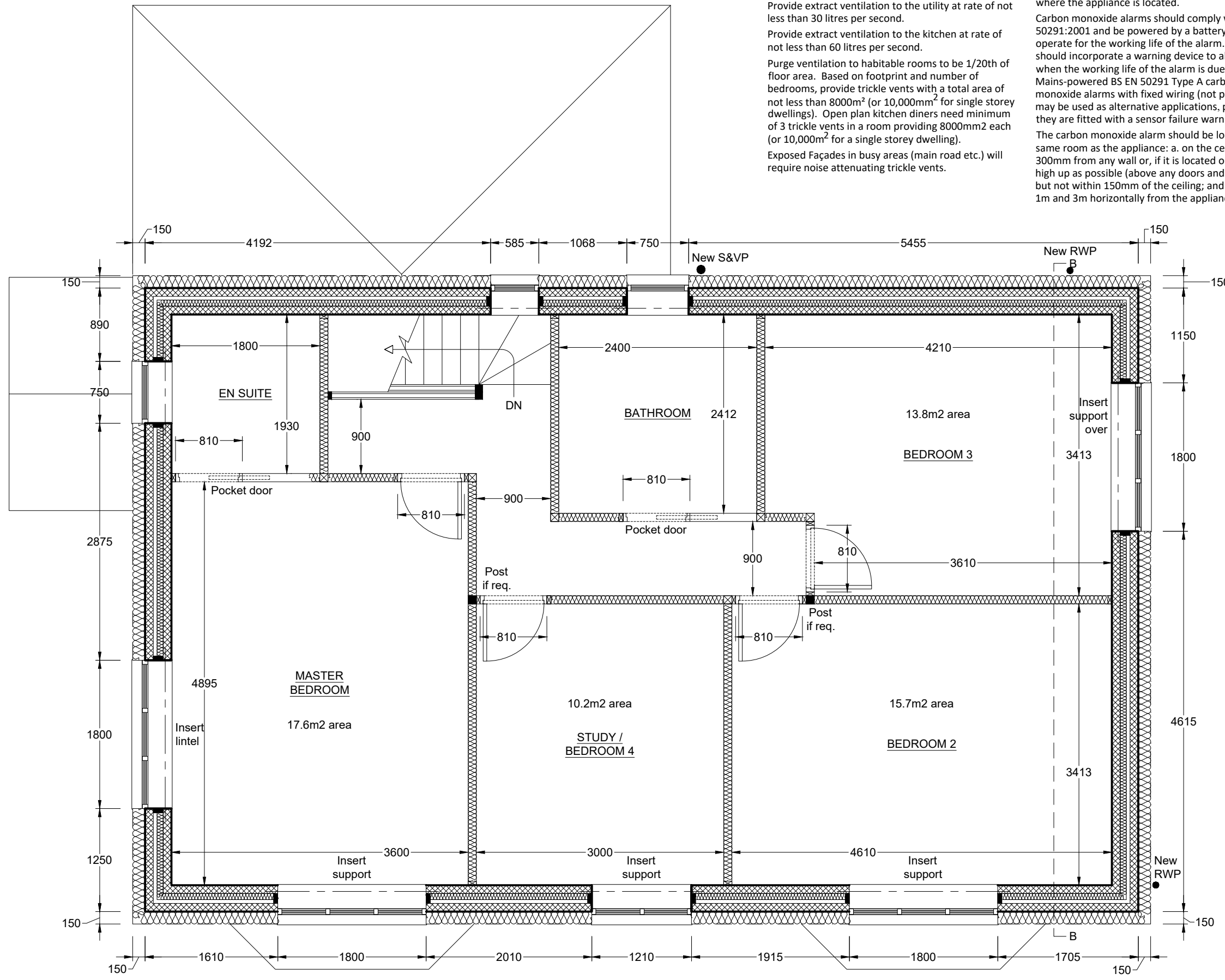
**PROPOSED**

**EXTENT OF PROJECT:**  
 PROPOSAL: PROPOSED GROUND FLOOR PORCH EXTENSION.  
 PROPOSED FIRST FLOOR EXTENSION.  
 PROPOSED REFURBISHMENT OF DWELLING.  
 PROPOSED NEW INSULATED RENDER EXTERNAL FINISH.

**CLIENT DETAILS:**  
 MR S JARVIS.  
 1 POOL ROAD,  
 OTLEY,  
 LS21 1HL.

**DRAWING TITLE:**  
 PROPOSED FIRST FLOOR PLAN.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:50	11/22	M3905/04/103	D



**PROPOSED FIRST FLOOR PLAN**