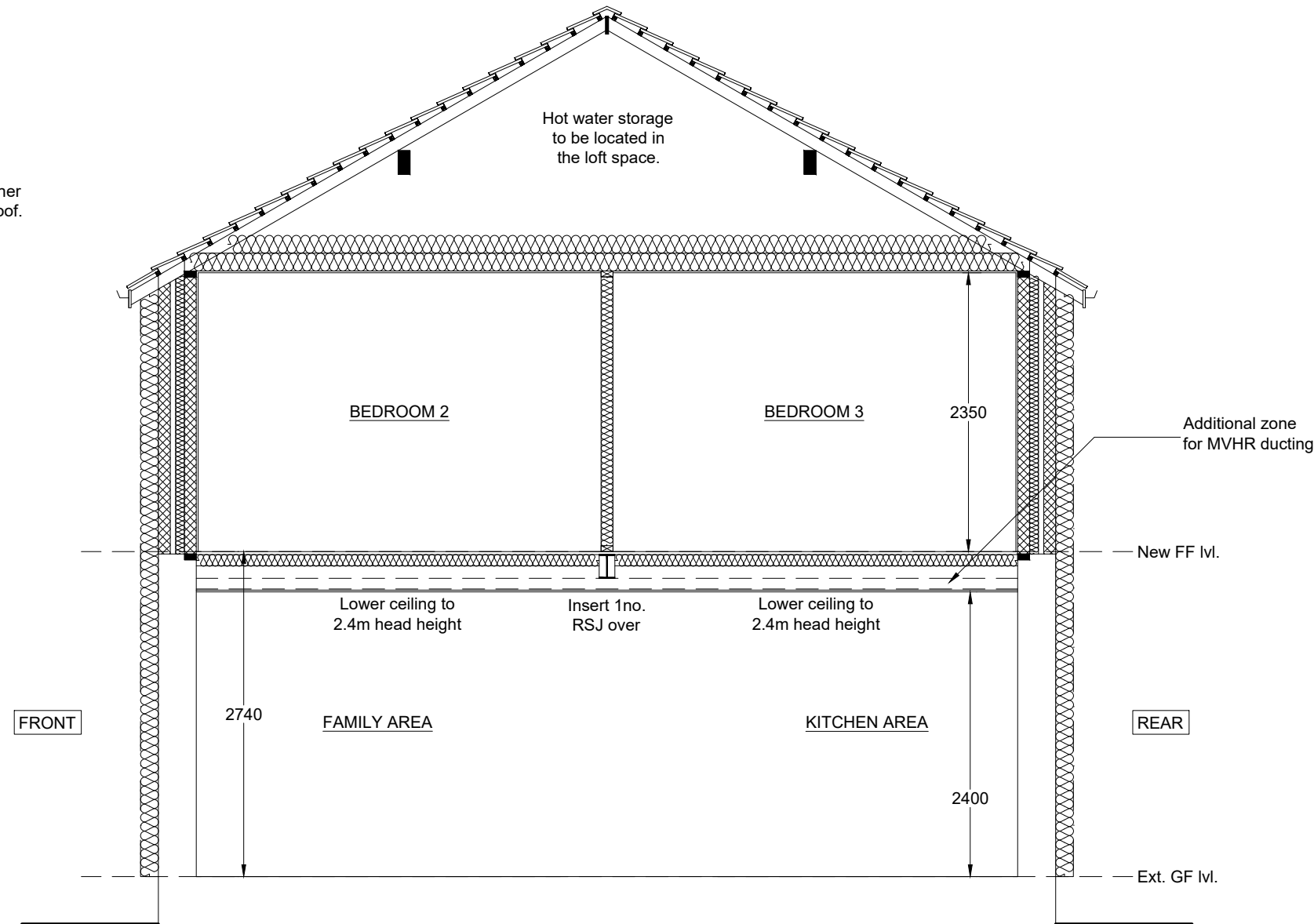


New roof 2.4m higher than existing roof.



## PROPOSED SECTION B-B

Existing walls, lintels and foundations to be exposed and checked for adequacy to support additional loads.

### ROOF GENERAL

Roof voids to have min. 25mm eaves ventilation with ridge tile vents.

Ridge system should be a dry fix system or mechanically fixed and wet system. System to be installed in accordance with BS8612.

### MAIN ROOF

Provide ridge beam to support roof structure.

New purlins to structural engineers design and calculations.

New rafters @ 400mm centres to structural engineers design and calculations.

New ceiling joists @ 400mm centres to structural engineers design and calculations.

Install 2 x 150mm Superglass Contract Mat 44 mineral insulation laid in 2 no. perpendicular layers of 150mm.

Min. 50mm air gap to top of insulation to be maintained.

### TILING

Red roof tiles to match existing and neighbouring properties either by using the existing red roof tiles or by using a similar tile such as Marley red ashmore tiles with 10 gauge 65mm x 3.75mm flat headed aluminium alloy nails to 38 x 25 treated SW battens on Kingspan Nilvent Breathable membrane underlay laid to allow water to drain to B.S. 13707:2013. Tiles to be installed as per manufactures guidance.

Battens to suit tile dimensions in accordance with BS 5534 2014. Tiles to be fixed or clipped at eaves and verge to suit prevailing wind conditions.

Provide 25mm eaves vents to ensure roof ventilation.

### CEILING

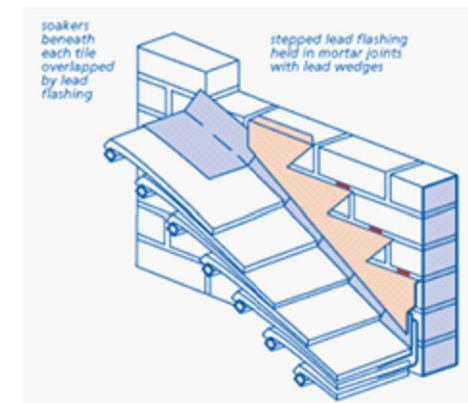
New flat ceilings to be 12.5mm Vapour check plasterboard fixed at 450mm centres with drywall screws to ceiling joists. To receive 3mm skim finish.

### SINGLE STOREY SIDE EXTENSION ROOF

New purlins to structural engineers design and calculations. 50 x 100mm treated softwood rafters C24 at max. 400mm ctrs. (max. span 2.02m) supported at eaves on wall plates fixed with ms galvanised straps 30 x 5 x 1200mm at 2m centres to at least 3 rafters turned down the inner leaf of the cavity wall. Rafters to be supported at abutment to existing dwelling via wall plate; rawl bolted to blockwork at 400mm centres. (max. clear rafter span 2820mm) (MIN.15° pitch).

47 x 145mm C24 ceiling joists at max. 400mm centres (3.34m). All wall plates to be treated C16 softwood 100 x 50mm unless specified differently by the Engineer.

All abutments should be weatherproofed with code 4 lead flashings, and code 3 soakers. Flashings should be no more than 1500mm in length and dressed 25mm into a mortar joint.



Where a pitched roof abuts the wall at an angle, a stepped cavity tray linked to a stepped flashing should be used. At roof abutments new joists to be supported on masonry walls with 47 x 150mm timber wall plate. Plate to be fixed to masonry with M10 resin anchors or thunderbolts at 450mm centres.

Install 2 x 150mm Superglass Contract Mat 44 mineral insulation laid in 2 no. perpendicular layers of 150mm.

Min. 50mm air gap to top of insulation to be maintained.

Roof void to be ventilated and provide min. 25mm eaves ventilation.

All roofs to achieve min. U-value of 0.15 W / m<sup>2</sup> K.

**NOTE:**  
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

**NOTE:**  
PLEASE DO NOT SCALE FROM THIS DRAWING.

### Party Wall Act

Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

### Building Contract

It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

### CDM 2015 Regulations

The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

### GENERAL NOTES

Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

Rev.	Description	Date
Rev.D	Added building regulations notes (subject to change). Removed sun tunnels, gas meter & chimney. Added side facing landing window. Reduced living room and master bedroom windows to North elevation, master bedroom window to west elevation. Removed east elevation playroom window. Omitted Bay window glazing bars. Changed en suite and bathrooms doors to pocket doors. All to suit clients comments.	12.12.23
Rev.C	Added bay windows to Senior Planners comments.	07.09.23
Rev.B	Added bay windows to Senior Planners comments.	24.04.23
Rev.A	Updated fenestration to Senior Planners comments.	01.02.23
REV		



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## PROPOSED

### EXTENT OF PROJECT:

**PROPOSAL: PROPOSED GROUND FLOOR PORCH EXTENSION. PROPOSED FIRST FLOOR EXTENSION. PROPOSED REFURBISHMENT OF DWELLING. PROPOSED NEW INSULATED RENDER EXTERNAL FINISH.**

### CLIENT DETAILS:

**MR S JARVIS.  
1 POOL ROAD,  
OTLEY,  
LS21 1HL.**

### DRAWING TITLE:

**PROPOSED SECTION B-B.**

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:50	11/22	M3905/04/301	D