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PAIR OF COTTAGES PROPOSED TO BE BUILT IN

LOWER PADDOCK ROAD, BUSHEY.

for

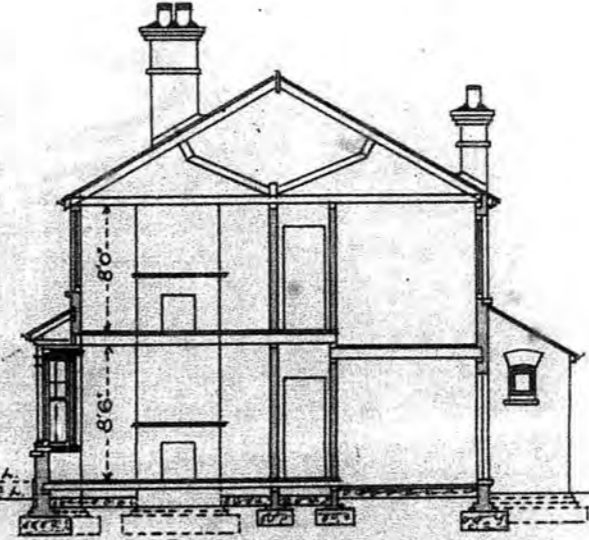
SCALE 8 FEET TO 1 INCH — MR FRANK PARGETER — Butcher — BUSHEY — FEBRUARY 1908.



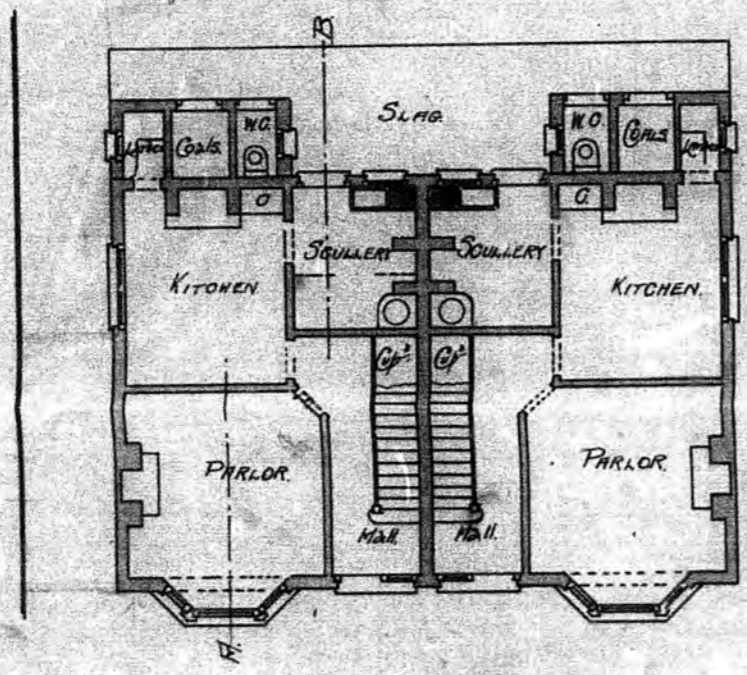
FRONT ELEVATION.



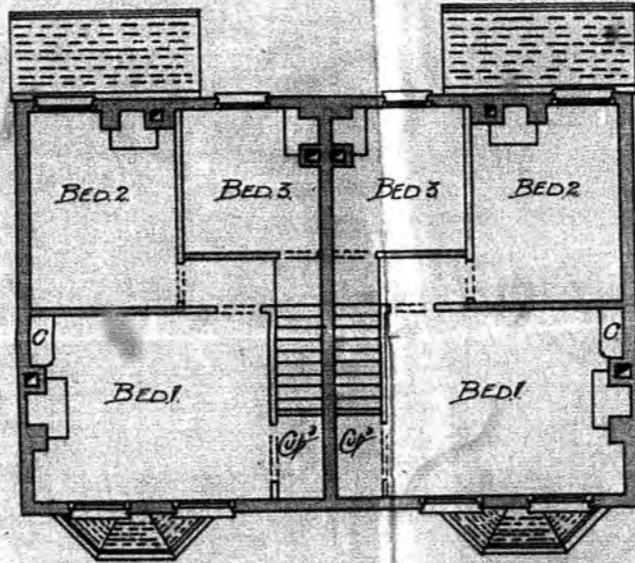
BACK ELEVATION.



SECTION ON LINE A.B.



GROUND FLOOR PLAN.



FIRST FLOOR PLAN.

*Approved
25. Master P.
Watson.
March 21. 08*

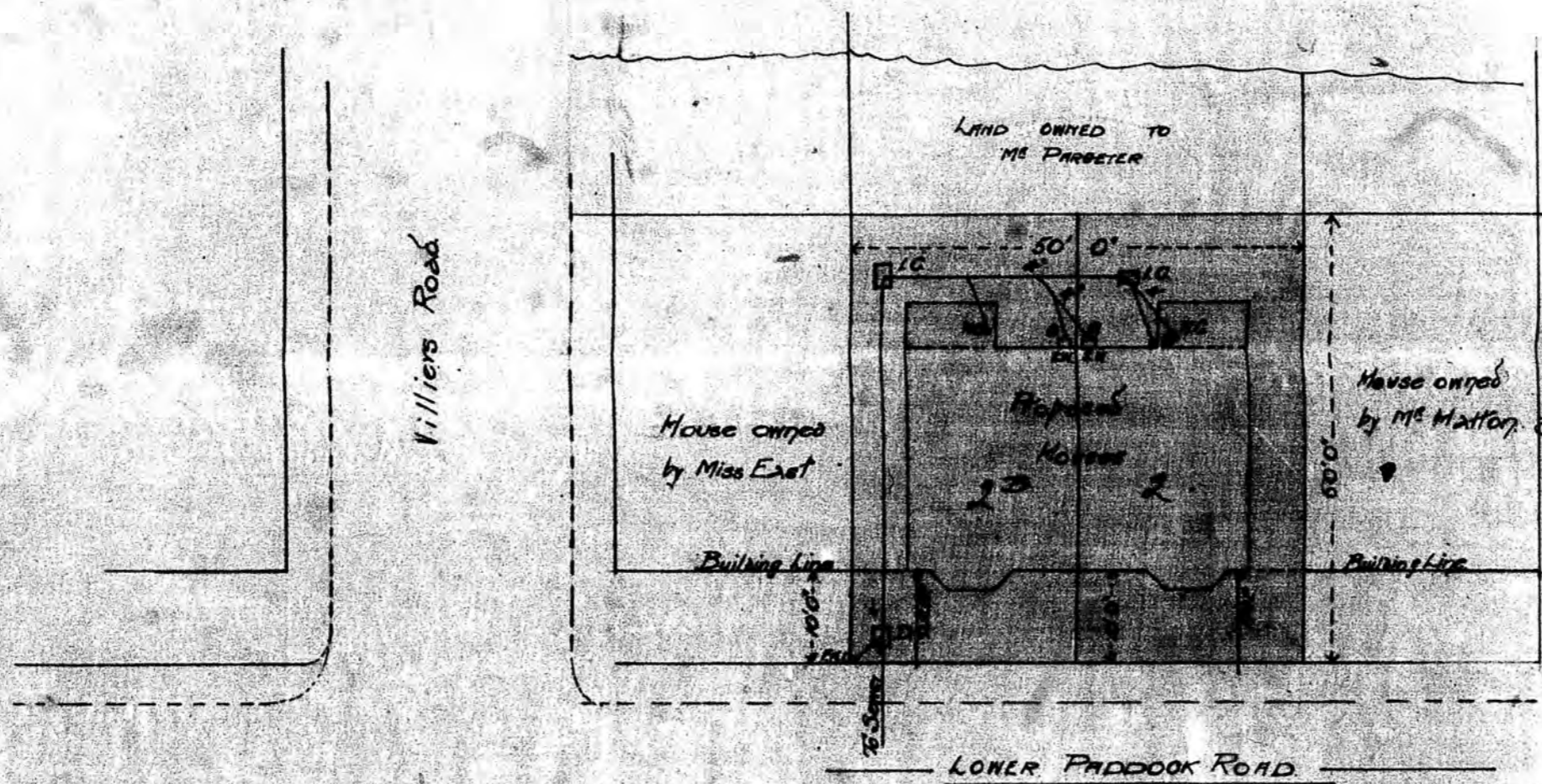
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BLOCK PLAN,

Showing Position of adjoining Streets and Property, and Lines and Sections of the intended Drains.

Deposited Plan No. 2561
 Name of Street Lower Paddock Road, Bushey
 No. of Houses Two
 Name and Address of Owner Mrs Frank Pargeter



Block Plan
 Scale 16 to 1
 All drains are to be not less than 1 1/2 ft 40.

W. G. Gomme
 26 Marlborough
 Watford
 No. 21 06

DO NOT DRAW PLAN BEYOND THIS LINE

REFERENCE.

- | | | |
|---|---------------------------------------|--------------------------------|
| Sewage Drains to be drawn in Red Lines. | Figure fall of Drain on each Section. | V.P.—Ventilation Pipes. |
| Existing ditto ditto Black Lines. | W.C.—Water Closets. | F.A.I.—Fresh Air Inlet. |
| Rain Water ditto ditto Blue Lines. | S.—Sinks. | R.W.P.—Rain Water Stack Pipes. |
| Give width and level of Roadway. | B.—Bath Waste, &c. | G.—Yard Gulleys. |
| Give level of Lowest Floor. | U.—Urinals. | I.C.—Inspection Chamber. |
| Figure depth of Sewers in Roadway. | C.—Cesspools. | I.—Interceptor. |
| Figure depth of Drain at Boundary Wall. | D.—Disconnecting Chamber. | |

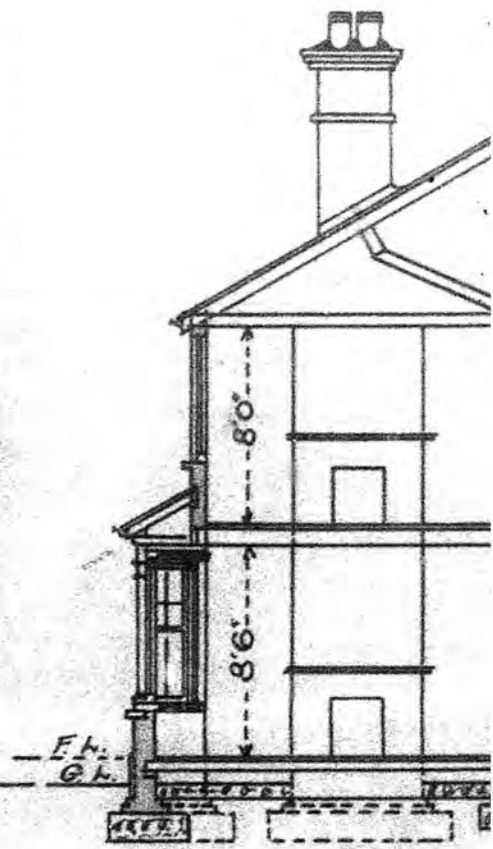
NOTE.—This Plan must be drawn to a scale of not less than one inch to every forty-four feet.—Byelaw No. 99



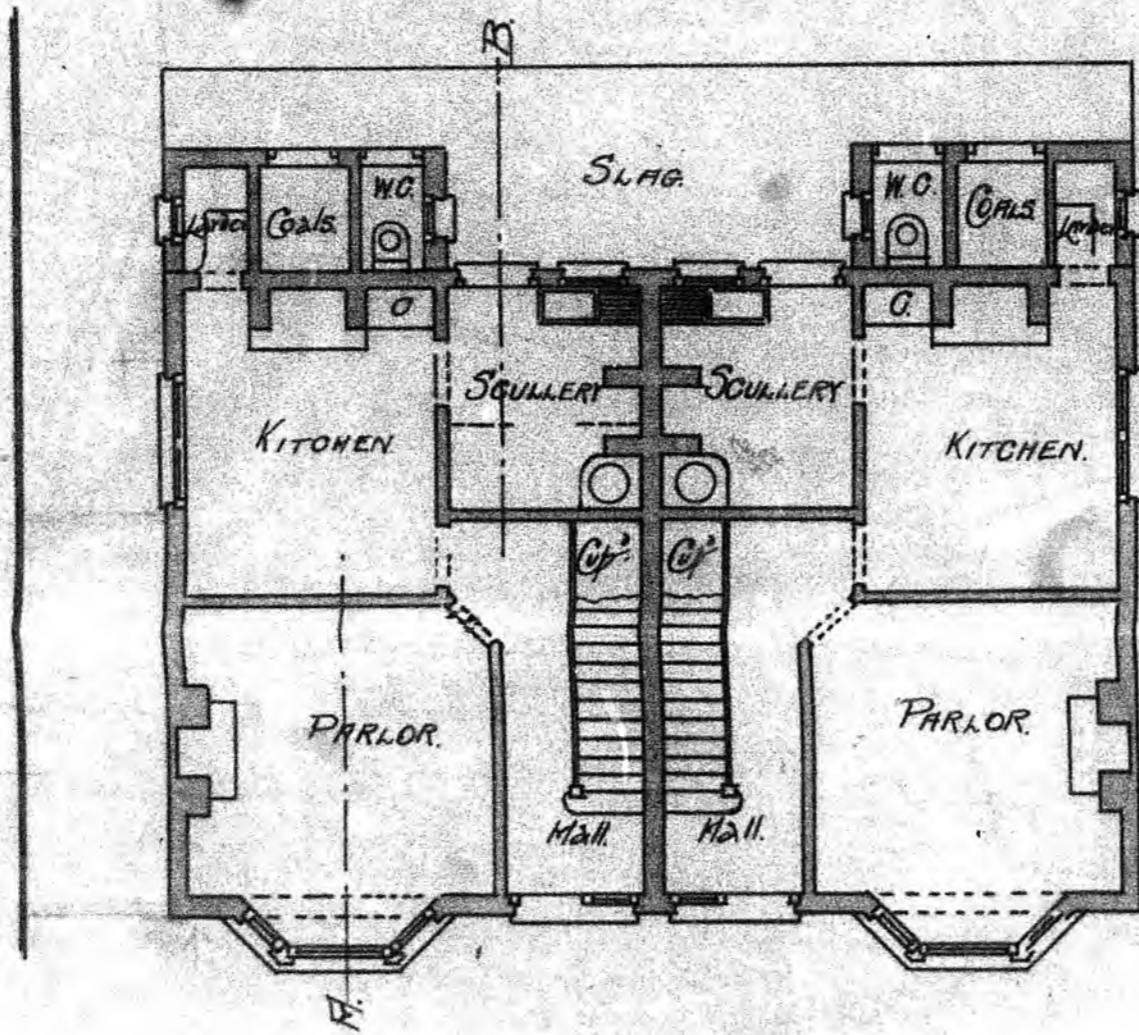
FRONT ELEVATION.



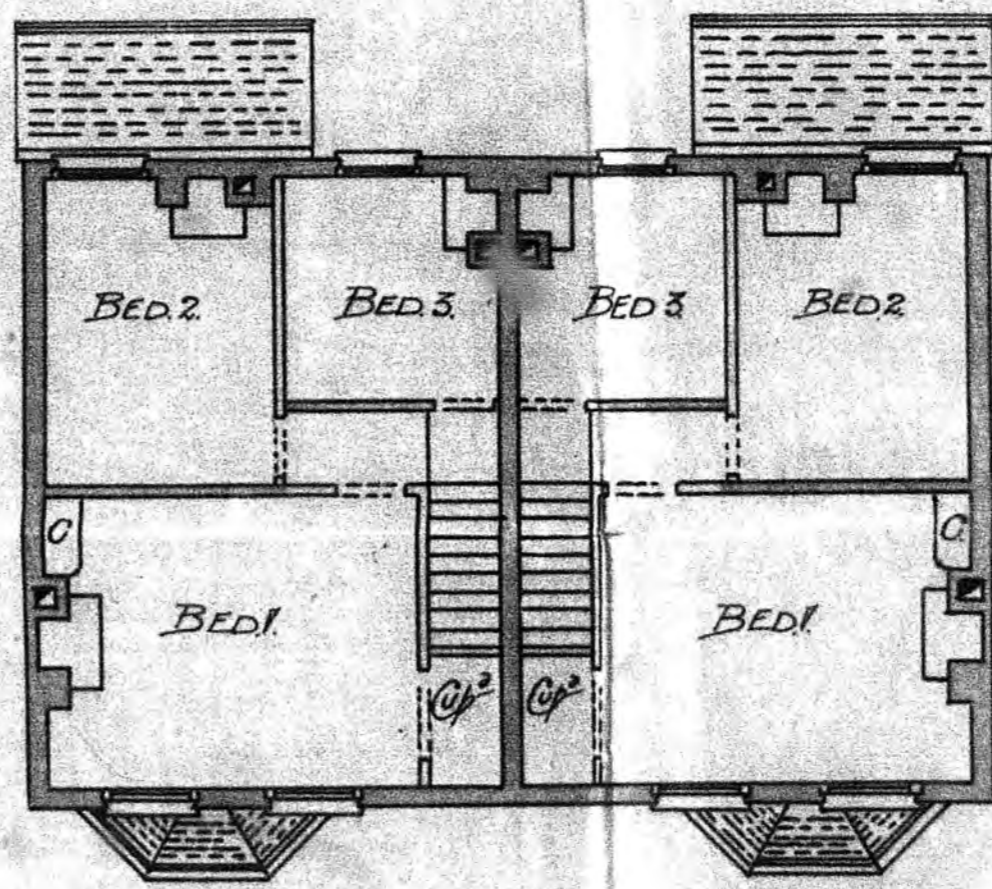
BACK ELEVATION.



SECTION.



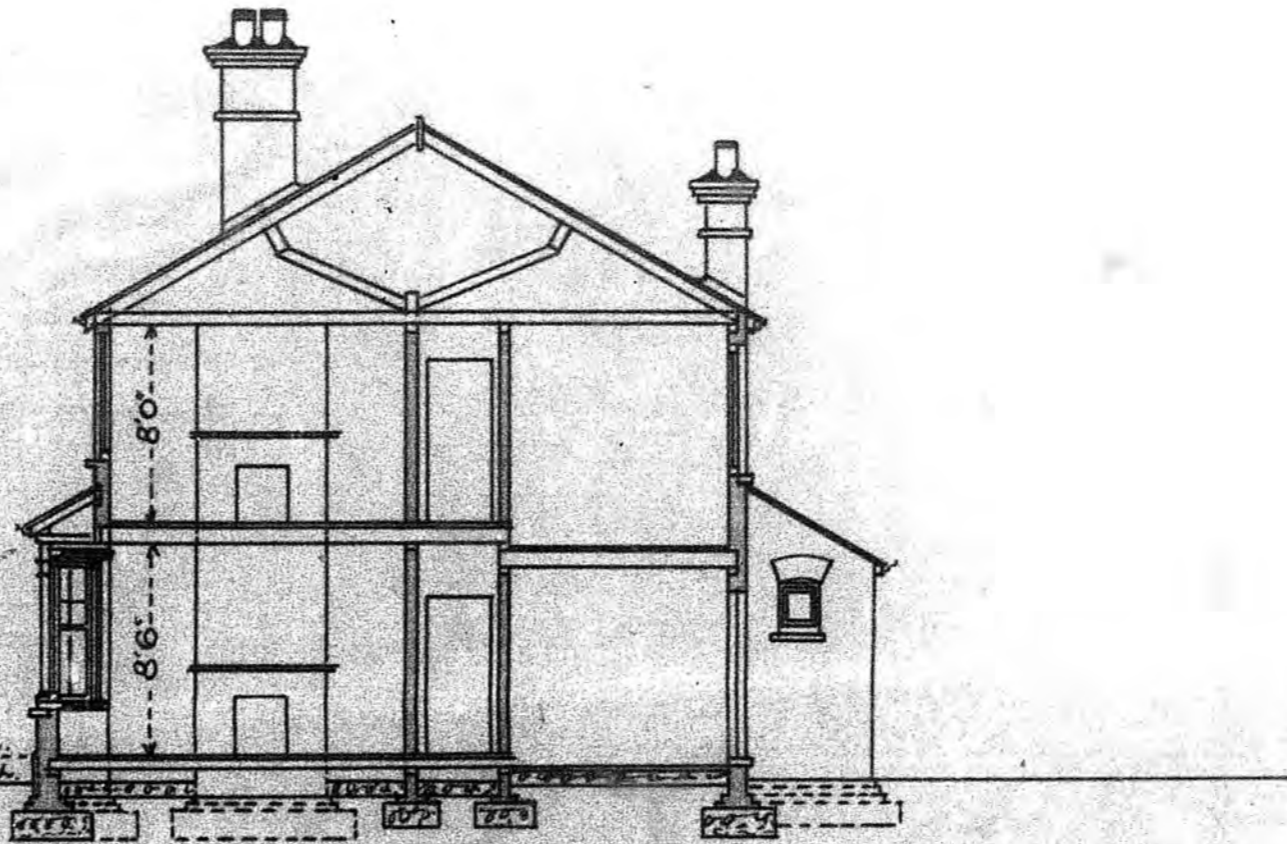
GROUND FLOOR PLAN.



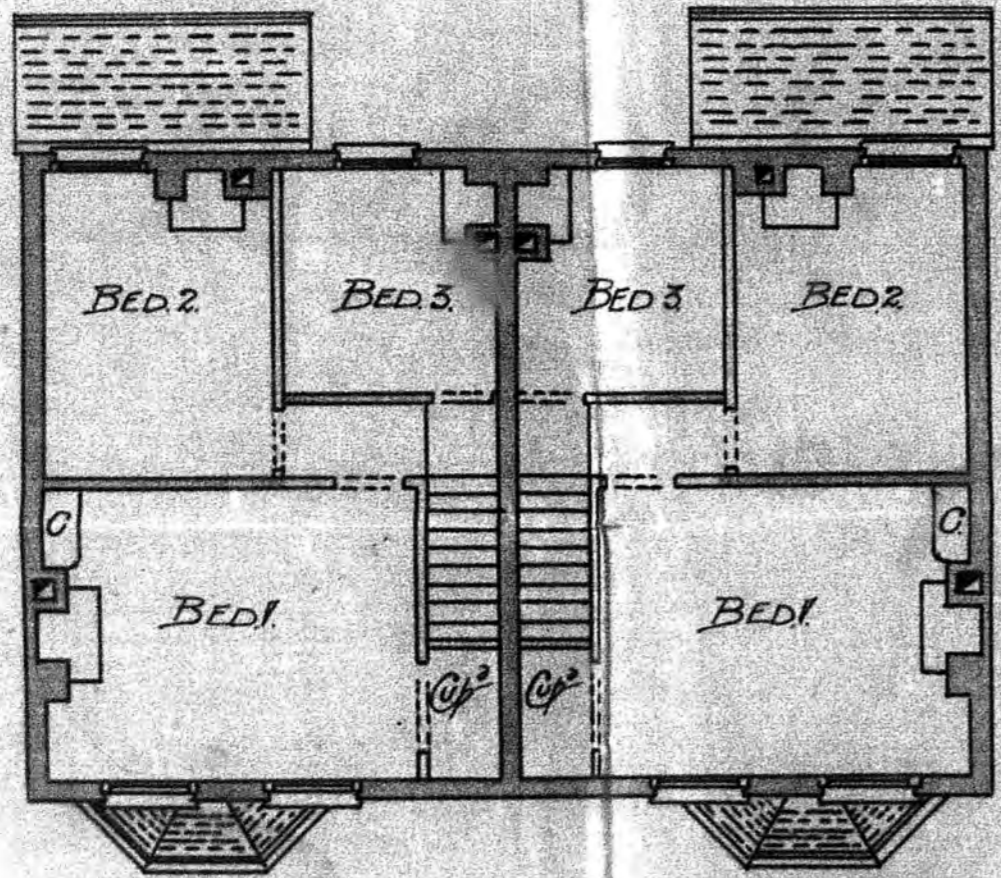
FIRST FLOOR PLAN.



BACK ELEVATION



SECTION ON LINE A.B.



FIRST FLOOR PLAN

*W. L. ...
25 ...
W. L. ...
Jan. 21 '06*

WATFORD URBAN DISTRICT COUNCIL.

NEW BUILDINGS.

Notice to be Given on Deposit of Plans & Sections.

TO THE WATFORD URBAN COUNCIL.

I hereby give you notice that I intend after one month from the date of depositing this notice to erect a Buildings namely

2 cottages

situate at *Lower Paddock Rd, Busby* in accordance with the Public Health Acts and the Byelaws now in force within your District; and send herewith as required by Byelaw 91:—

- (1) Complete Plans and Sections of every Floor of such intended Building drawn to a scale of not less than one inch to every eight feet, showing the position, form, and dimensions of the several parts of such building, and every Water Closet, Earth Closet, Privy, Ashpit, Cesspool, and all other appurtenances.
- (2) A description in writing (see Schedule hereto) of the Materials of which it is intended that such Building shall be constructed, and of the intended mode of drainage and means of water supply.
- (3) A Block Plan of such Building drawn to a scale of not less than one inch to every forty-four feet, showing:—
 - (a) The position of the Buildings and Appurtenances of the properties immediately adjoining.
 - (b) The width and level of the Street in front, and of the Street (if any) at the rear of such Building.
 - (c) The level of the lowest Floor of such Building.
 - (d) The level of any Yard or Ground belonging thereto.
 - (e) The intended lines of Drainage of such Building.
 - (f) The intended size, depth, and inclination of each drain.
 - (g) The details of the arrangement proposed to be adopted for the ventilation of the Drains.

NOTE.

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No Waste Pipe will be connected directly with any drain, but will empty outside on to a channel leading to a trapped gulley, as described by the Byelaws.

I will give the necessary notices in writing to the Surveyor, as required by the Byelaws and Regulations.

I hereby declare that the foregoing description is a correct one, and I undertake to conform to the Mode of Construction, Drainage, &c., stated, and further declare that the Plans submitted herewith are correct, and shew the true areas, dimensions, and curtilages intended, and I undertake to conform to the said plans. I further undertake generally to carry out the proposed new Building in accordance with the Regulations and Byelaws of the Urban District Council as to Buildings, and the Public Health Act, 1875, any Amendments thereof, and all Acts incorporated therewith; and if at any time (whether the approval notice has been delivered or not) it should be found that there is any discrepancy between the Plans and the Byelaws to give precedence to the Byelaws in all cases as if the Plans were in full agreement with them.

Dated the 22^o day of March 1906

Name J. Paragker (Butcher)

Address Capell Rd. Bushey

(Agent) St. Gomme
25. Weston Rd.
Warford.

NOTE.—Notice is to be given in writing at the Office of the District Council at least 48 hours before commencing any part of the works, and also before connecting or covering up any Drain, Sewer, or Foundation; such notice to specify the date and the hour when it is proposed to cover up the same.

To ensure the consideration of this application at any Board Meeting, it is necessary that it should, together with the Plans and Sections, be delivered to the Surveyor seven clear days before such Meeting.

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1. — Describe nature of ground upon which building is to be erected.— (Bye-law 9.)	1	Gravel.
2.—Is the whole ground surface or site of building to be asphalted or covered with a layer of cement concrete?— (Bye-law 10.)	2	Site of Building 4" Cement concrete
3.—Describe materials of walls.—(Bye-law 11.)	3	Bricks
4.—Describe foundation of footings of walls.—(Bye-law 16.)	4	As shown
5.—Describe damp course.—(Bye-law 17.)	5	Vulcanite felt.
6.—State thickness of external and party walls.—(Bye-laws 19 and 20.)	6	9'
7.—State thickness of cross walls and return walls.—(Bye-law 21.)	7	4 1/2'
8.—Describe piers of brickwork, if any.—(Bye-law 23.)	8	
9.—State manner in which it is proposed to comply with Bye-law 26.	9	as per plan
10.—Describe materials of covering roof and gutters in connection therewith.—(Bye-law 51.)	10	C. Gutter & slate
11.—State area and admeasurements of open space in front of building.— (Bye-law 52.)	11	As per plan.
12.—State area and admeasurements of open space at rear of building.— (Bye-law 53.)	12	do
13.—Is it proposed to drain the subsoil of the site of building, and, if so, how? —(Bye-law 59.)	13	no.
14.—Describe intended mode of drainage.	14	as per plan