

# **HERITAGE IMPACT ASSESSMENT**

**PROPOSED SINGLE STOREY REAR EXTENSION AND  
INTERNAL ALTERATIONS TO 125-127 SHIREHAMPTON  
ROAD, BRISTOL, BS9 2EA.**

ON BEHALF OF

**MR Niveshan Satgunanantham**

BY

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## **1. INTRODUCTION**

- 1.01 As part of the planning application for the proposed extension and alterations to 125-127 Shirehampton Road, Bristol, Bristol City Council, Planning Department has requested a Heritage Impact Assessment.
- 1.02 The purpose of this statement is to consider the potential impact of the development on the character and appearance of the Sea Mills conservation area and it's setting. The applicant is Mr Niveshan Satgunanantham, with accompanying plans & statements prepared by their agents Beng Civil Mohandes.

- 1.03 125-127 Shirehampton Road contains a 2-storey building including single storey extension and outbuilding at rear. The building is unlisted but classify as grouped buildings of merit.



Figure 1 – Existing Front Elevation

## 2. LOCATION

- 2.01 The existing dwelling is situated on Shirehampton Road, set back from the road with wider pavement and parking spaces in the front.



Figure 2.1 – Google Image

2.02 The site is 343.5m<sup>2</sup> and contains a shop at the ground floor.

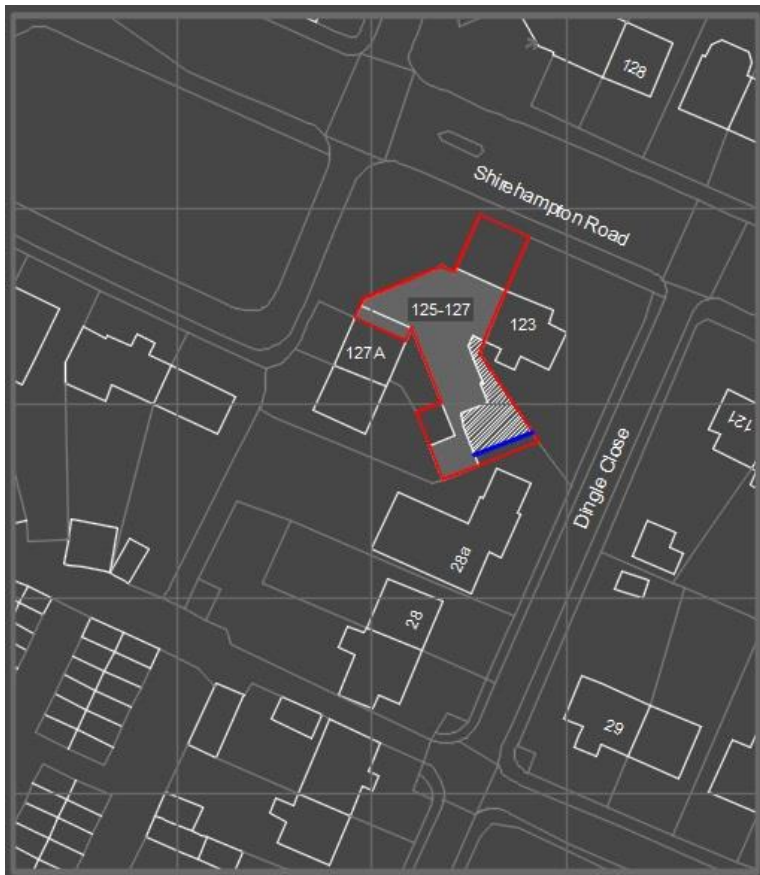


Figure 2.2 – Site Location Plan

2.03 The site lies within the Sea Mills conservation area, which contains several heritage assets and landmark buildings. The Sea Mills Conservation Area is one of Bristol's northwestern residential suburbs, where the urban density of the city starts to open out into a more rural setting. The Conservation Area lies approximately 5km from the city centre, sited on the north bank of the river Avon and within the basin of the river Trym.





Figure 2.3 – Sea Mills conservation area map

## 2.04 The site falls in the proximity of Sea Mills Square (Character Area 2b).

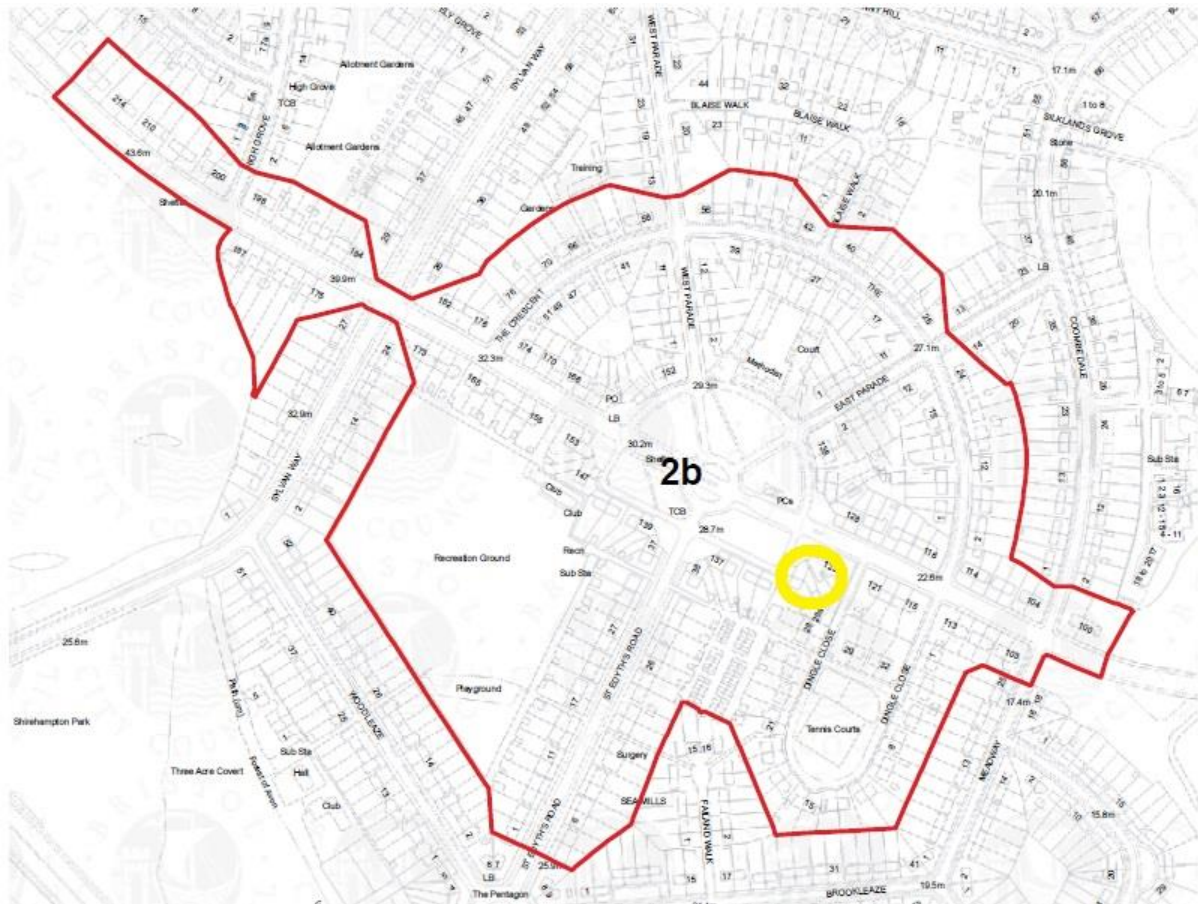


Figure 2.4 – Sea Mills Character Area 2b

### 3. THE NATIONAL PLANNING POLICY FRAMEWORK

3.01 The national planning policy framework sets out the Government's planning policies for England and how these are to be applied. The framework advises that the purpose of the planning system is to contribute to the achievement of sustainable development, and this is made up of three dimensions:

- An economic role i.e. contributing to building a strong, responsive and competitive economy.
- A social role i.e. supporting strong, vibrant and healthy communities; and
- An environmental role i.e. contributing to protecting and enhancing our natural, built and historic environment.

3.02 Paragraph 8 advises that the above roles should not be undertaken in isolation, because they are mutually dependent. To achieve sustainable development, economic, social and environmental gains should be sought jointly and simultaneously through the planning system.

- 3.03 Paragraph 14 states that there is a presumption in favour of sustainable development and that this means approving development proposals that accord with the development plan without delay.
- 3.04 The core planning principles set out in paragraph 17, include driving and supporting sustainable economic development to deliver the business and other needs of the country and responding positively to the wider opportunities for growth. High quality design is sought, and the different roles and characters of different areas are recognised. Furthermore, heritage assets should be conserved, in a manner appropriate to their significance.
- 3.05 Paragraph 57 states that it is important to plan positively for the achievement of high quality and inclusive design for all development, including individual buildings, public and private spaces.
- 3.06 Paragraph 69 advises that the planning system can play an important role in facilitating social interaction and creating healthy, inclusive communities. The following paragraph confirms the need to plan positively for the provision and use of community facilities.
- 3.07 In relation to conserving and enhancing the historic environment, local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (paragraph 129) taking account of the available evidence and any necessary expertise. They should then take this assessment into account when considering the impact of a proposal on a heritage asset.
- 3.08 Paragraph 131 sets out the factors that local planning authorities should consider in determining planning applications. These are:
- The desirability of sustaining and enhancing the significance of heritage assets.
  - The positive contribution that conservation of heritage assets can make to sustainable communities including their economic viability; and
  - The desirability of new development contributing to local character and distinctiveness.
- 3.09 As an extension to the guidance in paragraph 129, paragraph 132 advises that when considering the impact of a proposed development on the significance of a heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be.

#### **4. BRISTOL LOCAL PLAN POLICY**

- 4.01 Bristol Local Plan Policy B2:  
Development should be designed regarding the local context.

- 4.02 Bristol Local Plan Policy B13:  
Development should preserve Listed Buildings, their features and settings, and preserve or enhance the character or appearance of the city's designated Conservation Areas.
- 4.03 Bristol Local Plan Policy B15:  
Townscape and landscape features that contribute to the character or appearance of streets and open spaces within Conservation Areas should be preserved or enhanced.
- 4.04 Bristol Local Plan Policy B16:  
In a group of historic buildings, where a formal and unified design forms an essential part of the character, new buildings which reproduce the appearance of these architectural elements that contribute to the overall design of the group will be permitted.
- 4.05 Bristol Local Plan Policy B18:  
Traditional materials should be retained, repaired and where necessary replaced, and not covered with paints or cladding which would be harmful to the appearance of the conservation area. Prominent original windows should be retained and repaired. Where this is not possible, replacement windows should be constructed to match the original in terms of style, proportions, colour, and materials. Proposed new window openings should not disturb a balanced or composed elevation and should respect the size, proportion, material, and decoration of existing windows.
- 4.06 Bristol Local Plan Policy B22:  
There will be a presumption in favour of preserving any archaeological features or sites of national importance, whether scheduled or not.

## **5. THE SCALE, LAYOUT AND APPEARANCE OF THE DEVELOPMENT**

- 5.01 The application seeks approval for construction of a single storey ground floor extension at rear and internal alterations.
- 5.02 New extension's gross external area will be 62.8m<sup>2</sup> that will provide an additional space to the shop, and staff room.
- 5.03 The proposed single storey rear extension will have flat felt roof with eaves height to match the existing single storey extension.
- 5.04 The new external walls will have finished render to match the existing extension.
- 5.05 New external door and windows will be UPVC double glazed to match the existing first floor windows. New timber gate will be installed to the existing rear boundary wall for emergency access only.



- 5.06 An upgraded, wireless, heat and smoke detection system will be installed throughout the building to ensure the proposals comply with latest Building Regulation requirement.
- 5.07 There will be no alterations to the front elevation and all the key elements of the front elevation will be maintained. The rear elevation surrounded by existing buildings, hedges and boundary walls therefore cannot be seen from the main road.

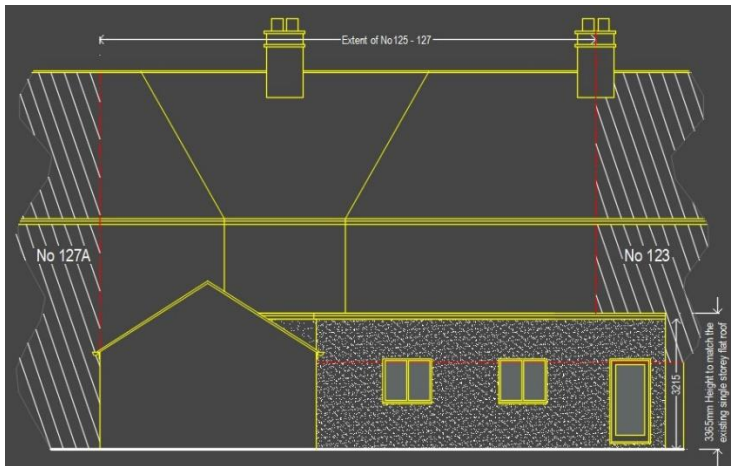


Figure 5.1 – Proposed Rear Elevation

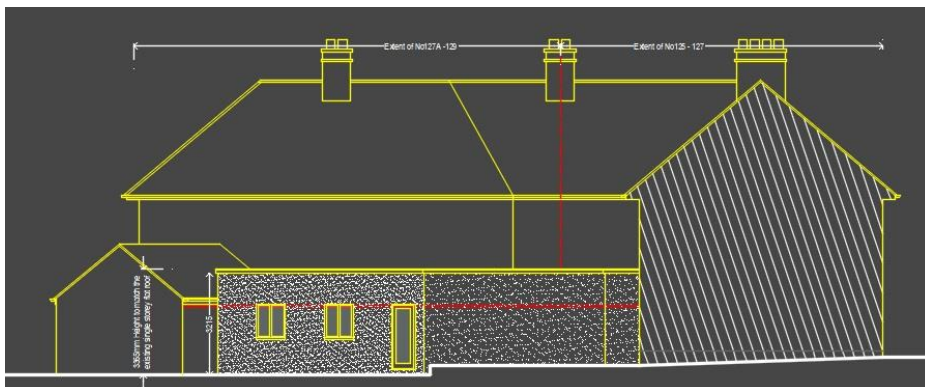


Figure 5.2 – Proposed Side-1 Elevation

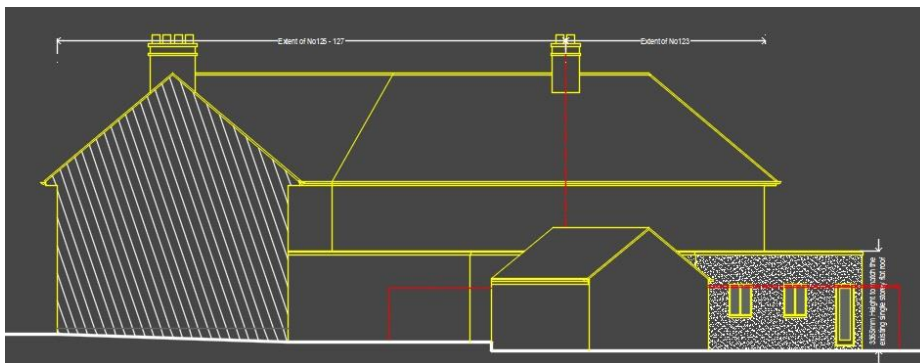


Figure 5.3 – Proposed Side-2 Elevation



## 6. ASSESSMENT OF HERITAGE VALUES

6.01 An appraisal of the heritage values associated with the building has been carried out. This process relates to the range of heritage values as outlined by Historic England.

6.02 These values are distilled under the following headings: evidential value, historic value and aesthetic value.

The purpose of assessing these values is to enable an assessment of the site's significance - whether physically manifest (e.g. Architectural features) or in some other less tangible form (e.g. historical associations) - to enhance the objective appraisal of the proposal. Essentially this follows the approach generally advocated by Historic England, whereby necessary change in the historic environment is intelligently managed. A summary of the heritage values associated with the site, and more specifically those parts due to change under the proposal being considered, is given below, together with an indication on how these values contribute to the appraisal of significance.

### 6.03 **Evidential Value**

Evidential value is described by Historic England as “physical remains” (EH.2008.s38) and “evidence of human past activity.”(EH.2008.s35) and is derived from one's ability to interpret the history and historic evolution of a building through visible and tangible features.

Typically, with buildings such as this, historic changes were necessary in order to allow the building to function commercially. The main building retains its original form, character, and materials.

### 6.04 **Historical Value**

Historic England consider that historical value “derives from the ways in which past people, events and aspects of life can be connected through a place to the present”. This is generally regarded as either Illustrative whereby the site can be perceived to represent a period in history, or Associative where a connection with an event or person can contribute to the historic significance of a site.

The building has some value in contributing to the pattern of the development with the area.

### 6.05 **Aesthetic Value**

Aesthetic value according to Historic England “derives from the ways in which people draw sensory and intellectual stimulation from a place.”. This value can be attributed to conscious design whether it be predetermined by an architect or the work of a craftsman and can also encompass historic and evolutionary changes to a building.

The building has limited significant aesthetic value other than being part of a grouped buildings of merit.

## 7. STATEMENT OF SIGNIFICANCE

- 7.01 Having assessed the heritage values associated with the site, it is possible to take a more informed approach to the assessment of site significance. This is usually done by attributing levels of significance to the various aspects/parts of a building or site whereby, for example, more modern or unsympathetic additions to an historic building is deemed of less significance than, say, original features.
- 7.02 The pattern of the development and proposal within the site will contribute to the significance of the existing building / single storey buildings at the rear and will retain the form of the building in an economically viable use is a primary objective. The overall historic significance of the building within national context has been evaluated and is considered to be Low. The overall historic significance of the building within local context has been evaluated and is considered to be Medium.

## 8. PROPOSAL OVERVIEW AND CRITICAL ANALYSIS OF PROPOSAL

- 8.01 The proposals involve the construction of a single storey rear extension and internal alterations.
- 8.02 The purpose of this analysis is to manage the change using methodology as advocated by Historic England (2008). The methodology is categorised under the headings of existing fabric, proposal, impact, reversibility, mitigation, compensation and outcome: Brief description of the proposal together with an assessment to establish whether there is enough information to comprehensively understand the impact of the proposals on the character and historic significance of the building. Consideration of the effects of the proposal on authenticity and integrity of the heritage values attributed to the building. Whilst the quality of the architecture and intended specification of materials is intended to last the test of time, this is not always a given. Should the proposal not perform as expected, consideration is given to the ease of reversibility so as not to prejudice alternative future solutions. Consideration of the necessity mitigate the impact of loss of any element of historic significance resulting from the proposals such as recording and archiving. Consideration of any consequential conservation-based benefits resulting from the proposal. Evaluation of the anticipated outcome of the proposal given the information available.

### 8.03 **Roof coverings**

Existing: Concrete tiles to the pitched roofs and bitumen felt to the flat roof.

Proposal: Single ply membrane to new extension and part of the existing single storey.

Impact: No significant impact.

Reversibility: Not applicable.

Mitigation: Not applicable.

Compensation: Not applicable.

Outcome: Positive outcome for the retention of the existing buildings.

#### 8.04 **Roof structure**

Existing: Timber structure.

Proposal: Timber. Replace and repair existing roof structure where necessary.

Impact: No loss of historic fabric.

Reversibility: Not applicable.

Mitigation: Not required.

Compensation: Not required.

Outcome: Positive outcome for the retention of the buildings.

#### 8.05 **External walls: masonry**

Existing: Brickwork and finished render.

Proposal: Render, colour to match the existing. Repair existing render where necessary.

Impact: No loss of historic fabric.

Reversibility: Not required.

Mitigation: Not required.

Compensation: Not required.

Outcome: Positive outcome for the retention of the buildings.

#### 8.06 **Floor**

Existing: Concrete.

Proposal: New concrete floor.

Impact: None.

Reversibility: Not applicable.



Mitigation: None required.

Compensation: None required.

Outcome: The existing floor has no heritage value.

## 9. CONCLUSION

- 9.01 The application seeks approval for construction of a single storey rear extension and internal alterations at 125-127 Shirehampton Road, Bristol, BS9 2EA.
- 9.02 The rear yard is in a poor state and the proposal will improve the heritage asset of the property. The rear extension is simply an enlargement of the existing extension. The various repointing, rendering and repairing of the existing walls and roofs will again enhance the appearance of the property.
- 9.03 Improvement works to the existing roof seek to mitigate moisture egress and upgrade the thermal efficiency of the existing rear extension.
- 9.04 The proposed works will have minimal, aesthetic impact on the existing building, or the conservation area within the street scene.

### **Document Issue and Date**

Issue 1: 26<sup>th</sup> January 2024

### **Document prepared by:**

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