



Your ref: Fitness First
Our ref: 24/00552/NMA

Please reply to: Josephine Palmer
Tel No: 07866040238
Email: centralplanningteam@westminster.gov.uk

Bolu Adefila
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One Fitzroy
6 Mortimer Street
W1T 3JJ
United Kingdom

Pending Applications
Town Planning & Building Control
City of Westminster
PO Box 732
Redhill, RH1 9FL

31 January 2024

Dear Sir/Madam

TOWN AND COUNTRY PLANNING ACT 1990 : SECTION 96A (AS AMENDED BY SECTION 190 OF THE PLANNING ACT 2008)
TOWN AND COUNTRY PLANNING (GENERAL DEVELOPMENT PROCEDURE) (AMENDMENT No. 3) (ENGLAND) ORDER 2009

Address: 55 Baker Street, London, W1U 8EW,

Proposal: Amendments to planning permission dated 27.07.2021 (RN: 21/03643/FULL) for, 'Alterations and extensions to the existing building to provide offices (Class B1), retail (Class A1)/restaurants and cafes (Class A3), leisure (Class D2) and 22 townhouses (Class C3) in a self-contained separate block'; Namely, to allow changes to opening hours of the gym from 6am to 5:30am (Monday to Friday).

I refer to your application for non-material amendment following a grant of planning permission received on 29 January 2024. This letter acts as confirmation of receipt of the correct fee of £293.00. Your application was made valid on 29 January 2024 and the statutory period in which the Council has to deal with the application starts from this date.

You can monitor the progress of your application, online, at www.westminster.gov.uk/planning using the above reference number.

Please note that the description of development may have been changed to better reflect the proposed works, if you do not agree that this accurately reflects your proposals, please provide an amended description of development within 5 working days.

Westminster City Council is committed to dealing with as many applications as possible within the statutory determination period. However, where cases are complex this time frame may not be possible and the case officer will inform you if your application is within this category. Please note that you may be given a limited time to make revisions to your

application. We consult adjoining occupiers and amenity groups for most applications and give them 21 days to comment. If your scheme needs major revisions and requires a fresh round of consultations, then you may be required to submit a new application. All but the most contentious and complex applications are handled well within the Government's 26 week target. Should we decide there are exceptional circumstances and your application needs more time to be determined, I am seeking your early agreement under the above Regulations that we may do so via this letter and will proceed on this basis unless you inform me otherwise in writing within the next eight weeks.

If you have not received a decision by 26 February 2024 you may appeal to the Planning Inspectorate at www.planningportal.gov.uk/pcs. If you do appeal, the Planning Inspectorate takes over responsibility for determining your application.

If you have submitted the application on behalf of the owner/applicant please copy this notification to them for their information.

Yours faithfully

Josephine Palmer

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Please reply to: **Julian Tanton;**

Direct Line / Voicemail: 07803857385;

Email: jtanton@westminster.gov.uk;

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6 Mortimer Street
W1T 3JJ
United Kingdom

District Surveyors

20th Floor

Portland House

Bressenden Place

London SW1E 5RS

Date: 31 January 2024

Dear Sir/Madam

THE BUILDING ACT 1984 - THE BUILDING REGULATIONS 2010

Address: 55 Baker Street

London
W1U 8EW

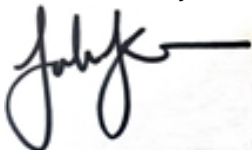
I would like to take this opportunity to offer our professional support to you as you proceed with your proposed project.

You may be aware that Building work, as defined by the above Act, would need to be checked to show compliance with the Building Regulations. Our team has a vast amount of local experience and expertise to assist you to reach a successful completion.

We would be happy to give you early advice and be an active part of the design team.

Please feel free to contact me on the email address above.

Yours faithfully



Head of Building Control

