

34 EATON MEWS SOUTH : DESIGN & ACCESS STATEMENT

Nov 2023

DESIGN & ACCESS NOV 2023

Project : 34 Eaton Mews South, (S73 Submission)
Date : Nov 2023

Prepared for Mr & Mrs Rees (Property Owners) by Studio Webb Architects Ltd

Studio Webb
ARCHITECTS LIMITED

1.0 Introduction

Purpose of this document
Relevant Experience
Site Introduction

2.0 Changes Sought

1. Handrail to roof perimeter
 - Approved
 - Proposed
2. CCTV Installation
 - Approved
 - Proposed
3. First Floor Fenestration
 - Approved
 - Proposed
4. Render to ground floor
 - Approved
 - Proposed
5. First Floor Decorative balcony
 - Approved
 - Proposed

5.0 Summary Statement

1.0 Introduction

Purpose of this document

In accordance with current statutory requirements, this Design & Access statement has been produced to supplement the drawing information created as part of this application.

It will provide a broad overview of the changes sought to the original consent.

Relevant Experience

Established in 2011, Studio Webb Architects represent an enthusiastic collaboration of Architectural talent based upon a wealth of varied experience and expertise.

We believe in undertaking an engaging design process, ensuring options are investigated and that every project truly represents the best solution.

We don't subscribe to any preconceived style, instead focusing on the fundamentals of what we believe to be good design: Light, Space and well considered materiality sensitivity adopted in context.

We still maintain the role of the Architect to be a craftsman and believe in tailoring the project to the demands of the site, statutory legislation, and wider sustainable context.

SWA are continuing to implement their knowledge and experience within the conservation / heritage sectors by working with the Diocese of London on their Ecclesiastical buildings, as well as continuing to have success with listed residential and Educational buildings throughout the UK.



1.0 Introduction

Site Introduction

34 Eaton Mews South
Belgravia
Westminster
London
SW1W 9HR

Original Consent

Ref. 22/03408/FULL
External alterations to the building, including creation of a new roof terrace with installation of a new air conditioning unit at roof level.

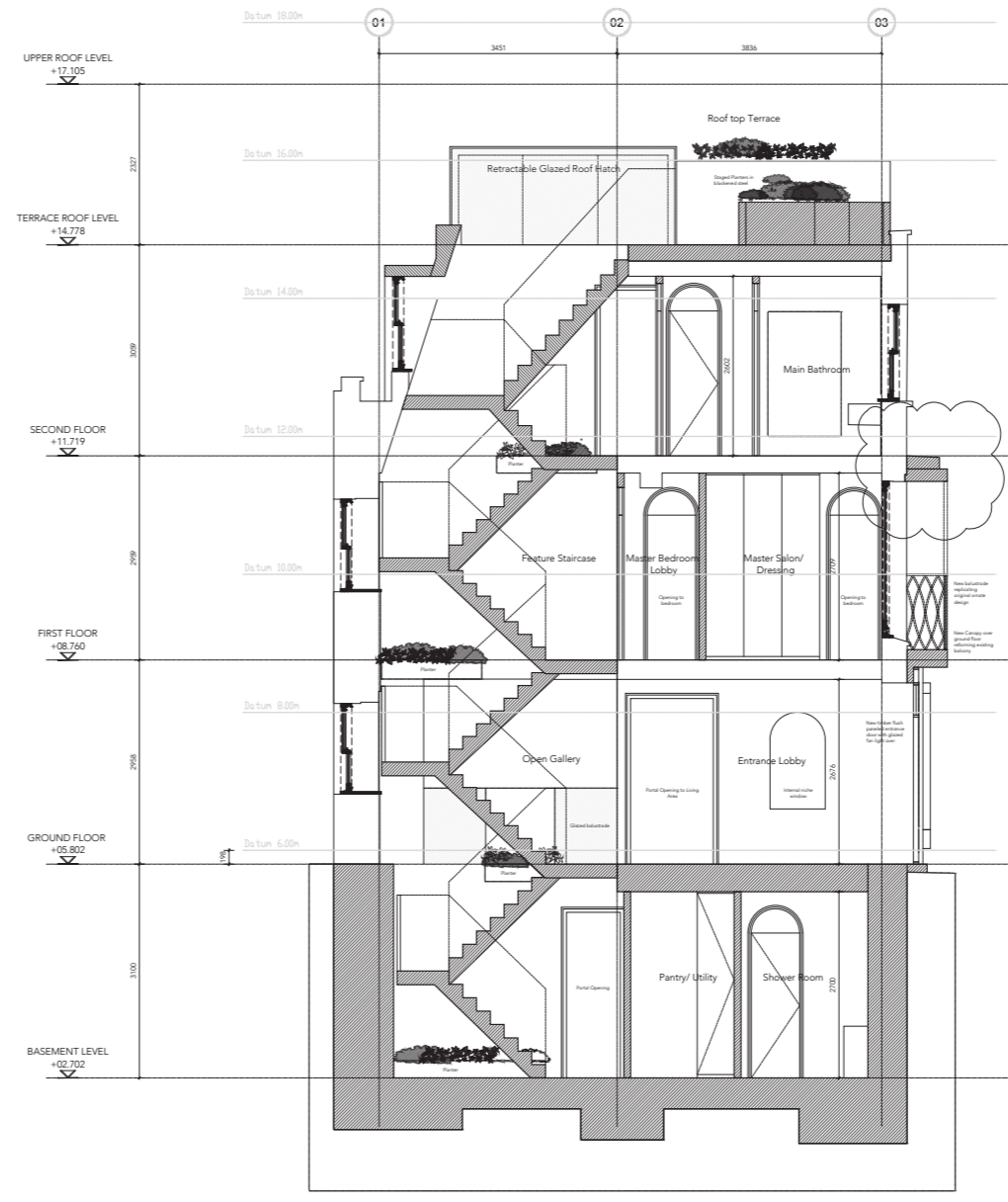
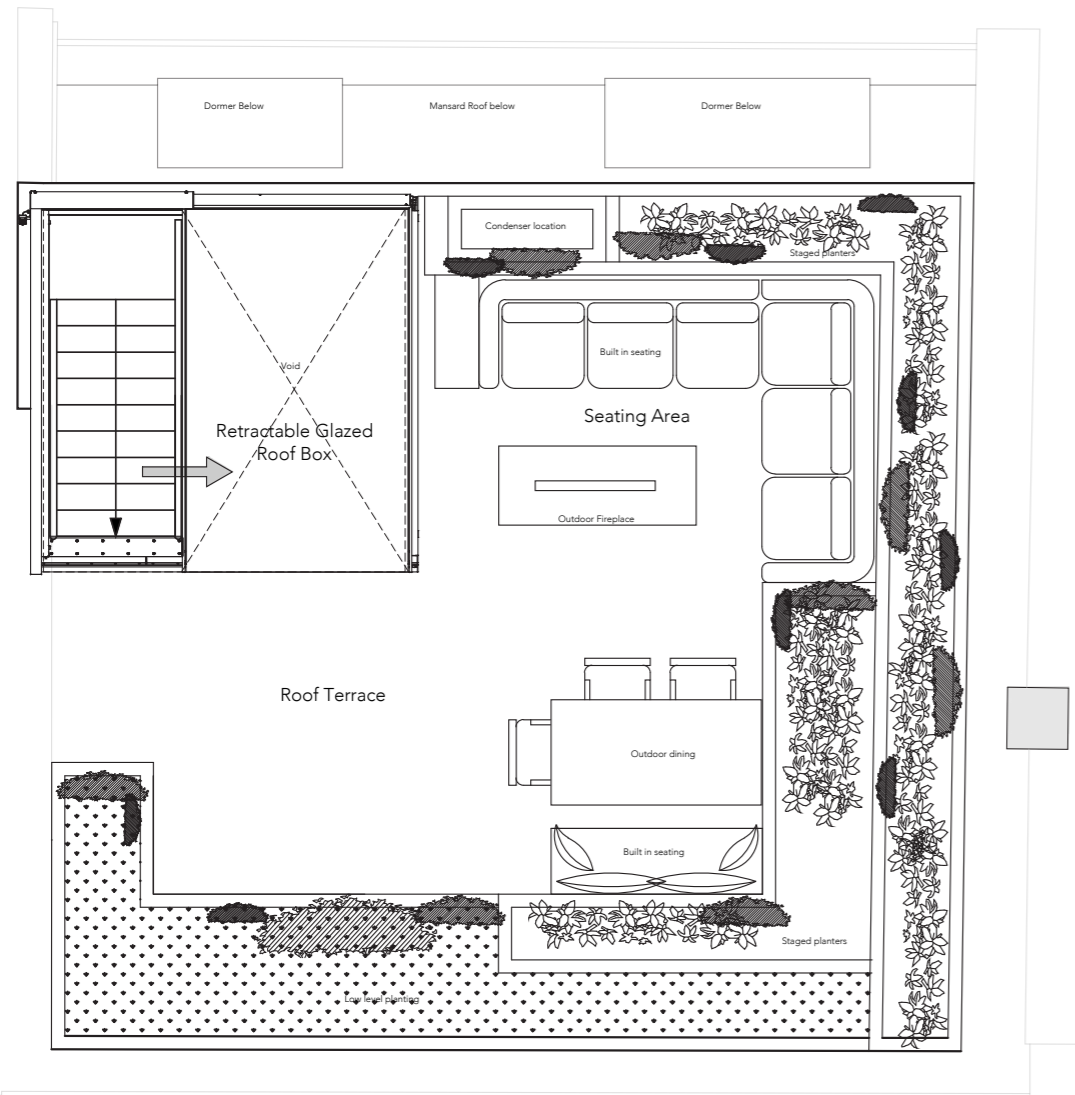
Ref. 22/06950/ADFULL
Details of new windows and doors, roof access enclosure, planters, condenser screen, first floor railings, and canopy to front elevation pursuant to condition 4 of planning permission dated 11 July

Proposed Alterations

1. Handrail to roof planters - fall protection re. building regulation compliance
2. Installation of CCTV to front elevation - security provision
3. First floor window fenestration - reinstate as per original fenestration
4. Reinstate original render finish to ground floor - revert to original finish as masonry in poor condition to be exposed
5. First floor decorative balcony alterations - minor alterations to assist with functional use



SITE PLAN
Scale 1:500



Approved Terrace

1. Handrail to roof terrace perimeter - fall protection re. building regulation compliance

Drawing extracts from the original consent : Ref. 22/03408/FULL

Proposed Alterations

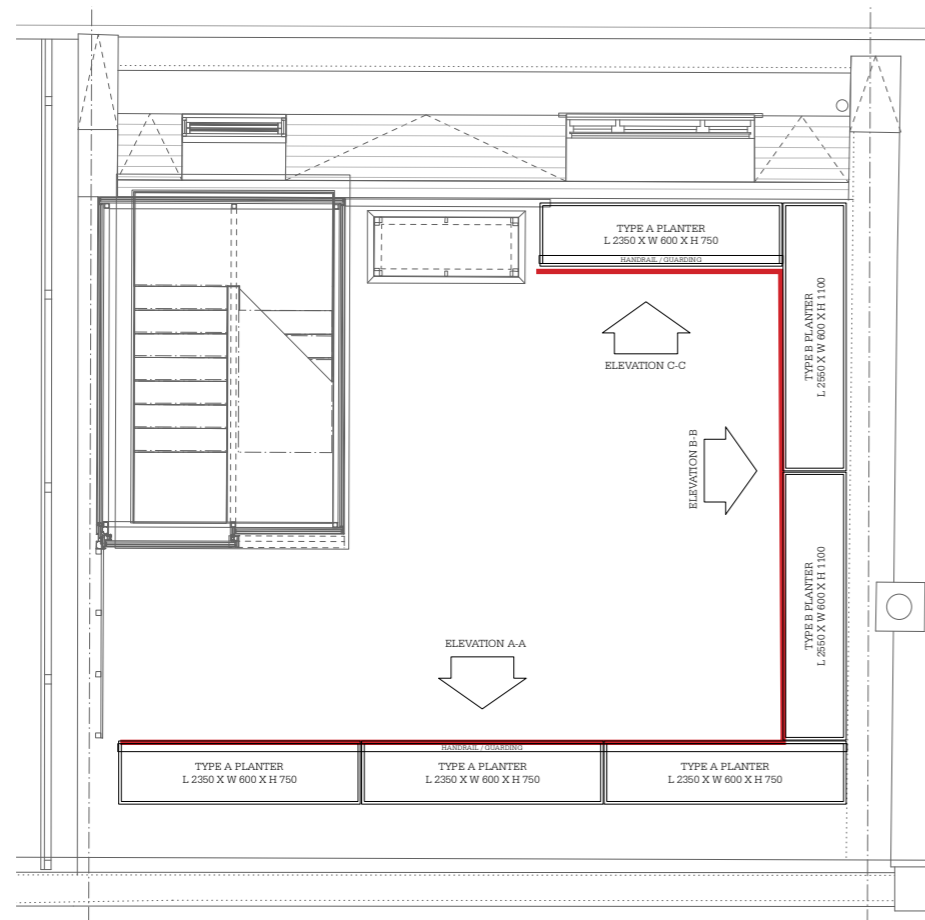
1. Handrail to roof terrace perimeter - fall protection re. building regulation compliance

Description

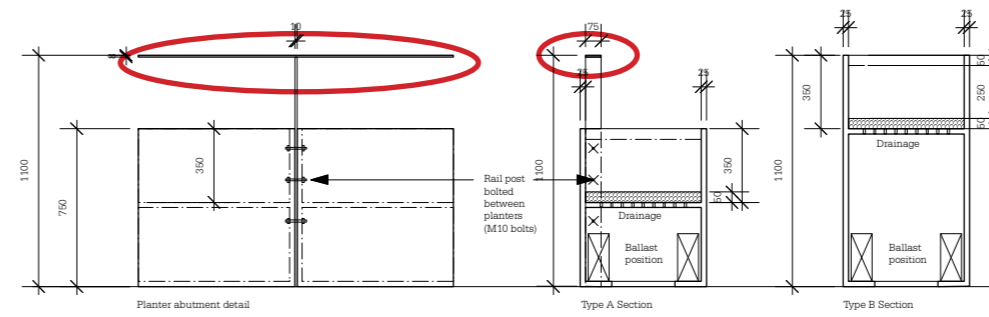
Flat bar perimeter handrail detail to planters to ensure compliance with Building Regulations re. fall protection (1100 mm high).

The planters were previously approved as party of a discharge of condition application.

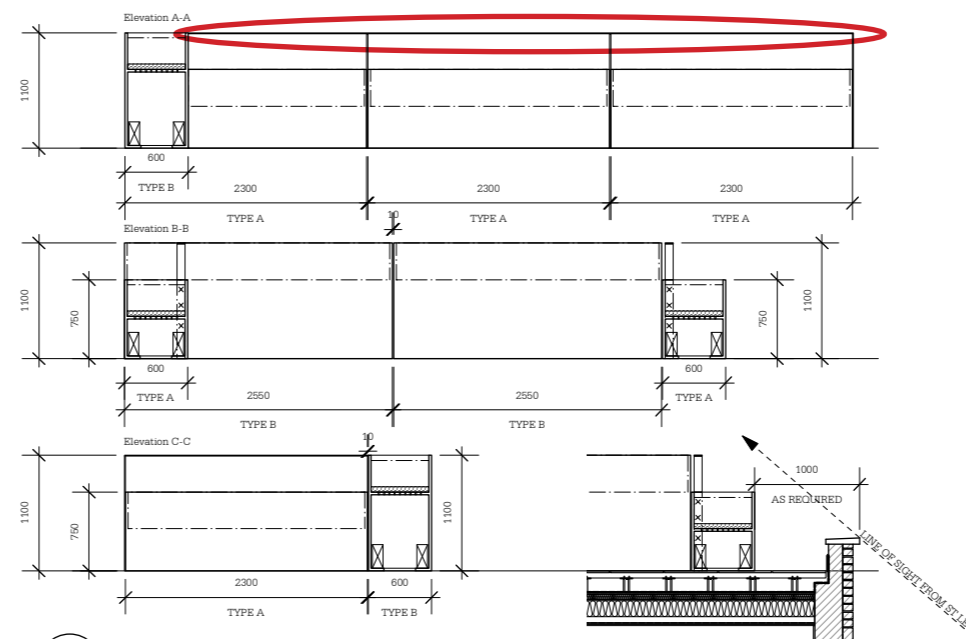
The onlky change required is as shown in red - the addition of a single 10mm x 50mm flat bar rail.



1 Planter Positions
Scale: 1:50



2 Planter Details
Scale: 1:25



3 Planter Elevations
Scale: 1:50

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FOR
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REV	DATE	REVISION NOTES
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PROJECT NAME
Eaton Mews south

DRAWING TITLE	PROJECT NO.	DRAWING NO.
Terrace Planters	20024	KD.02
SYSTEM	DATE	REVISION
INFORMATION	03.2	023



Approved Elevation

2. Installation of CCTV to front elevation - security provision



PROPOSED:- FRONT ELEVATION
Scale 1:50

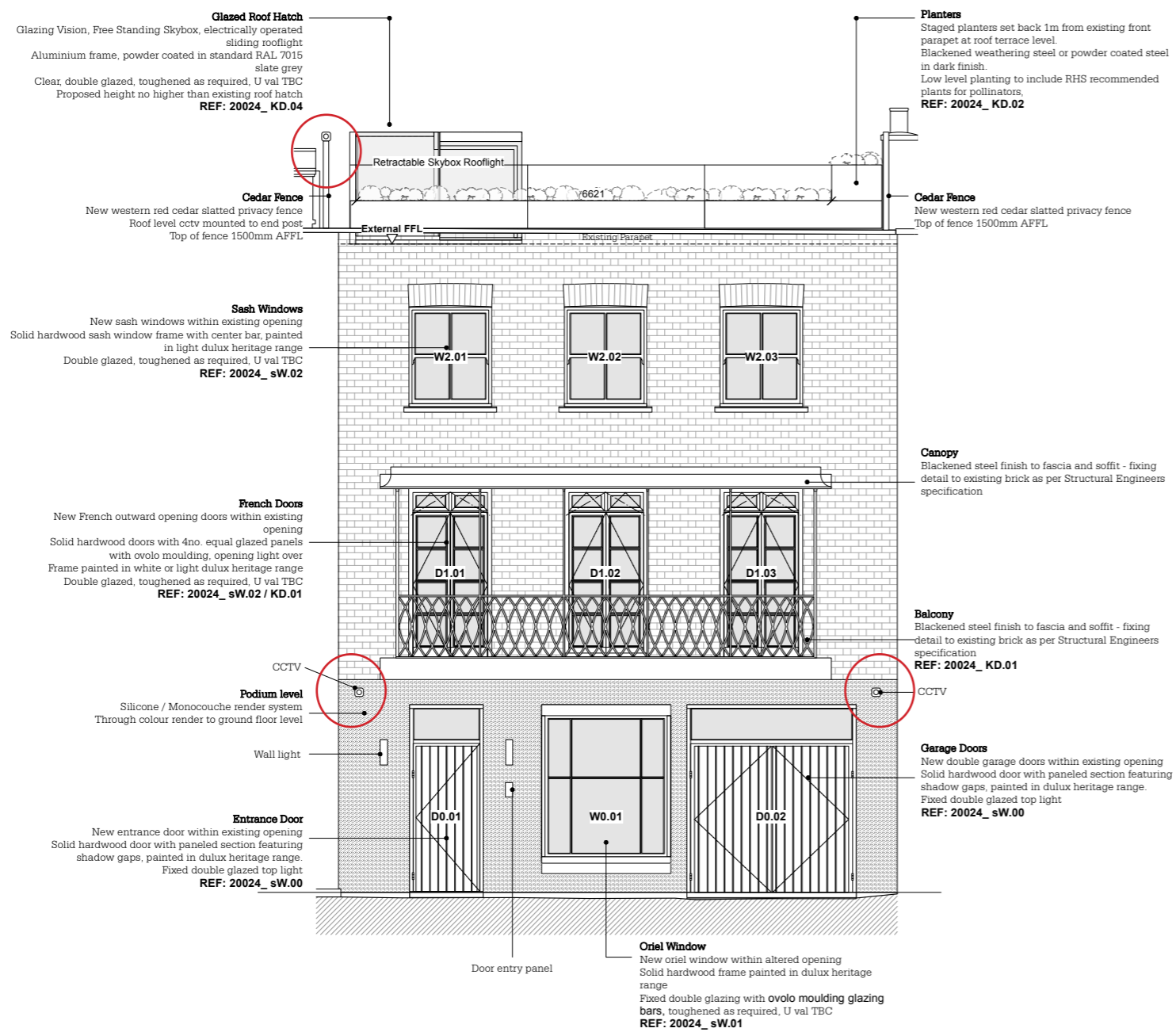
Drawing extract from the original
consent : Ref. 22/03408/FULL

Proposed Elevation

2. Installation of CCTV to front elevation - security provision

Description

Discreet installation of camera modules to comply with the clients security requirements.



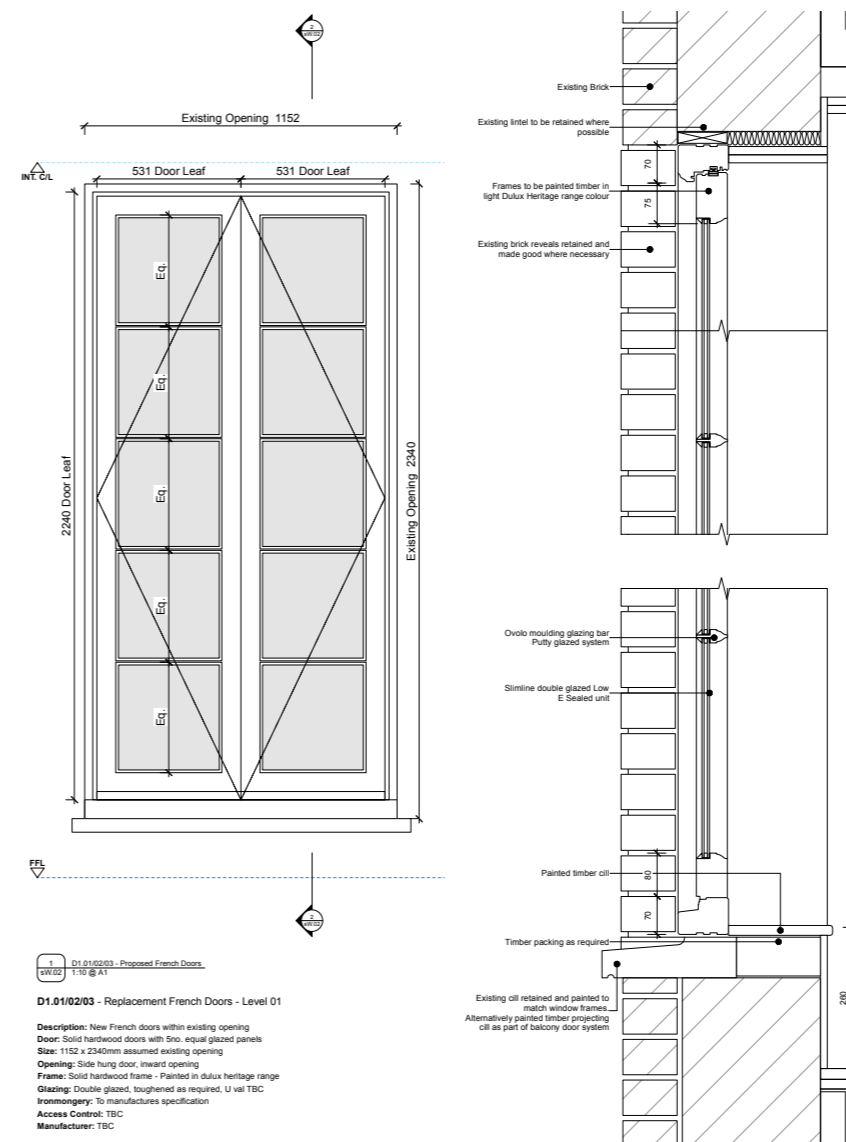
1 Proposed Front Elevation
GE.00 1:50 @ A1

Approved Drawings

3. First floor window fenestration - reinstate as per original fenestration



PROPOSED- FRONT ELEVATION
 Scale 1:50



1 D1.01/02/03 - Proposed French Doors
 1.10 @ A1

D1.01/02/03 - Replacement French Doors - Level 01

Description: New French doors within existing opening
 Door: Solid hardwood doors with five equal glazed panels
 Size: 1152 x 2340mm assumed existing opening
 Opening: Side hung door, inward opening
 Frame: Solid hardwood frame - Painted in dulux heritage range
 Glazing: Double glazed, toughened as required, U val TBC
 Ironmongery: To manufactures specification
 Access Control: TBC
 Manufacturer: TBC

2 D1.01/02/03 - Proposed French Door Section
 1.5 @ A1

Drawing extract from the original consent : Ref. 22/03408/FULL



PROPOSED- FRONT ELEVATION
Scale 1:50

Approved Drawings

4. Reinstate original render finish to ground floor - revert to original finish as masonry in poor condition to be exposed

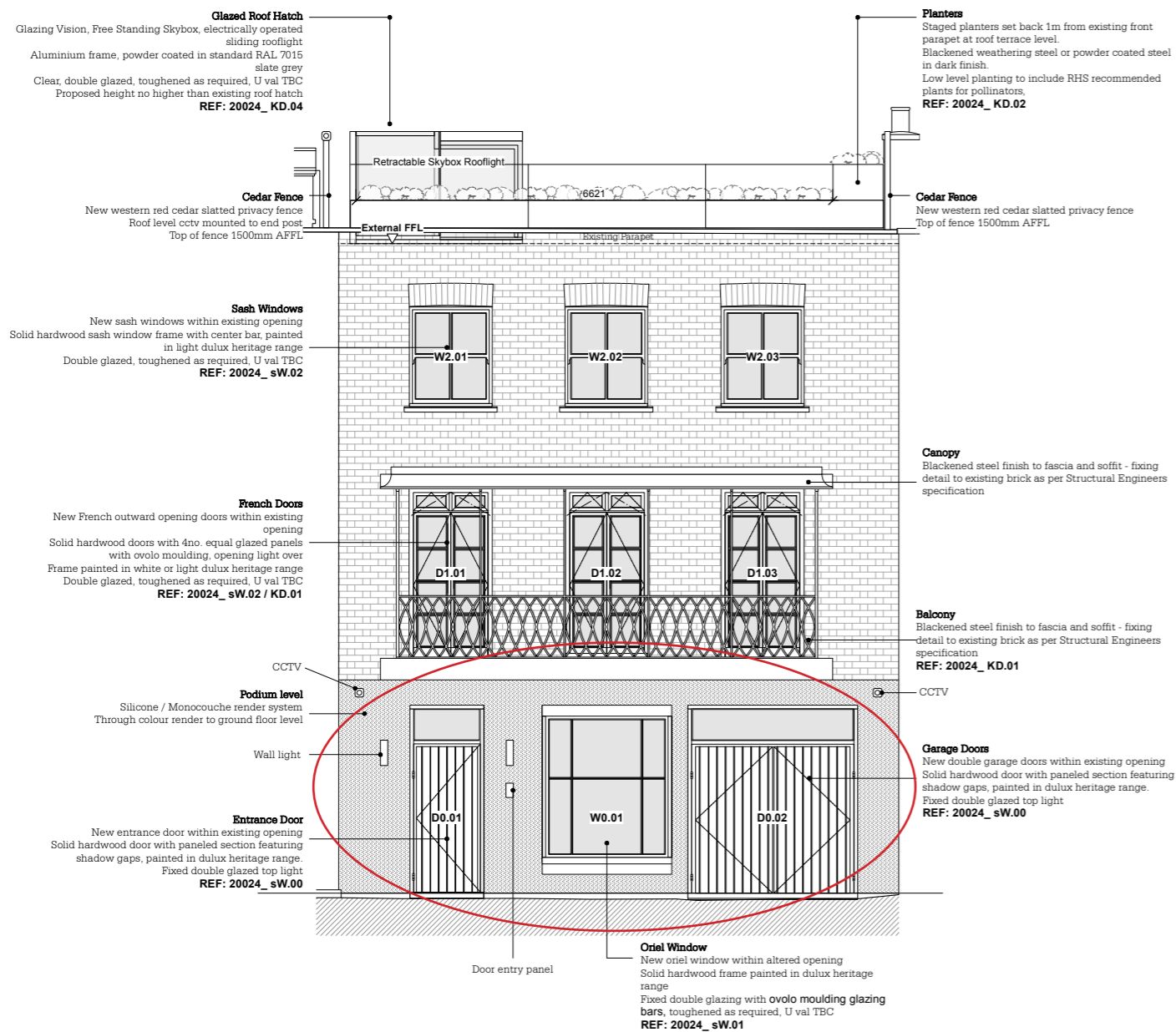
Drawing extract from the original consent : Ref. 22/03408/FULL

Proposed Elevation

4. Reinstate original render finish to ground floor - revert to original finish as masonry in poor condition to be exposed

Description

Traditional painted sand and cement render to match that of the existing building. The previously approved painted brickwork is not achievable due to the condition of the existing brickwork which has been revealed on site. Spalling bricks and poor coursing joints would not allow for an aesthetic reflective of the conservation area.

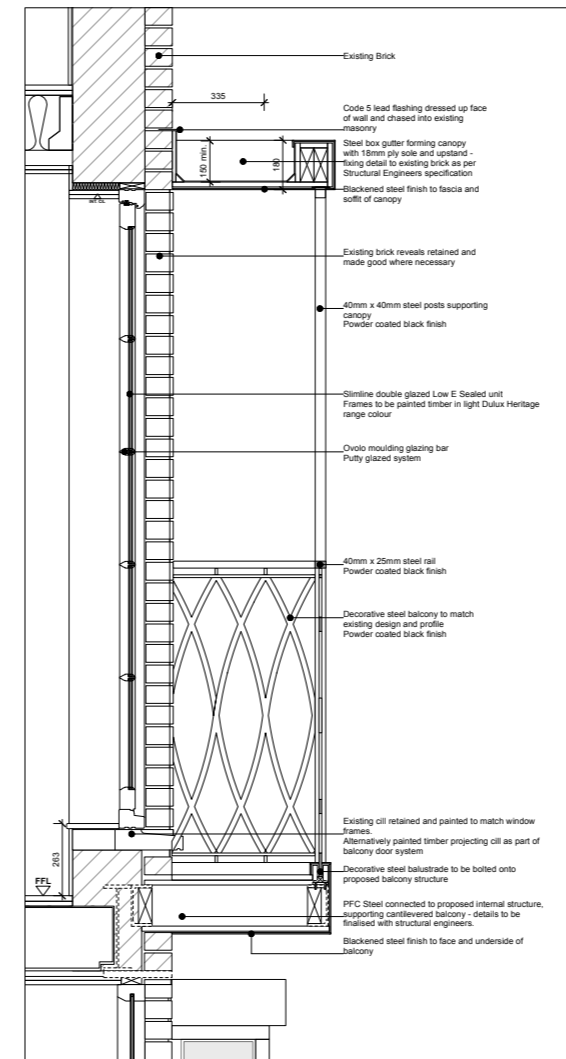


Approved Drawings

5. First floor decorative balcony alterations - minor alterations to assist with functional use



PROPOSED- FRONT ELEVATION
 Scale 1:50



1 Proposed Balcony / Canopy Section
 1:10 @ A1

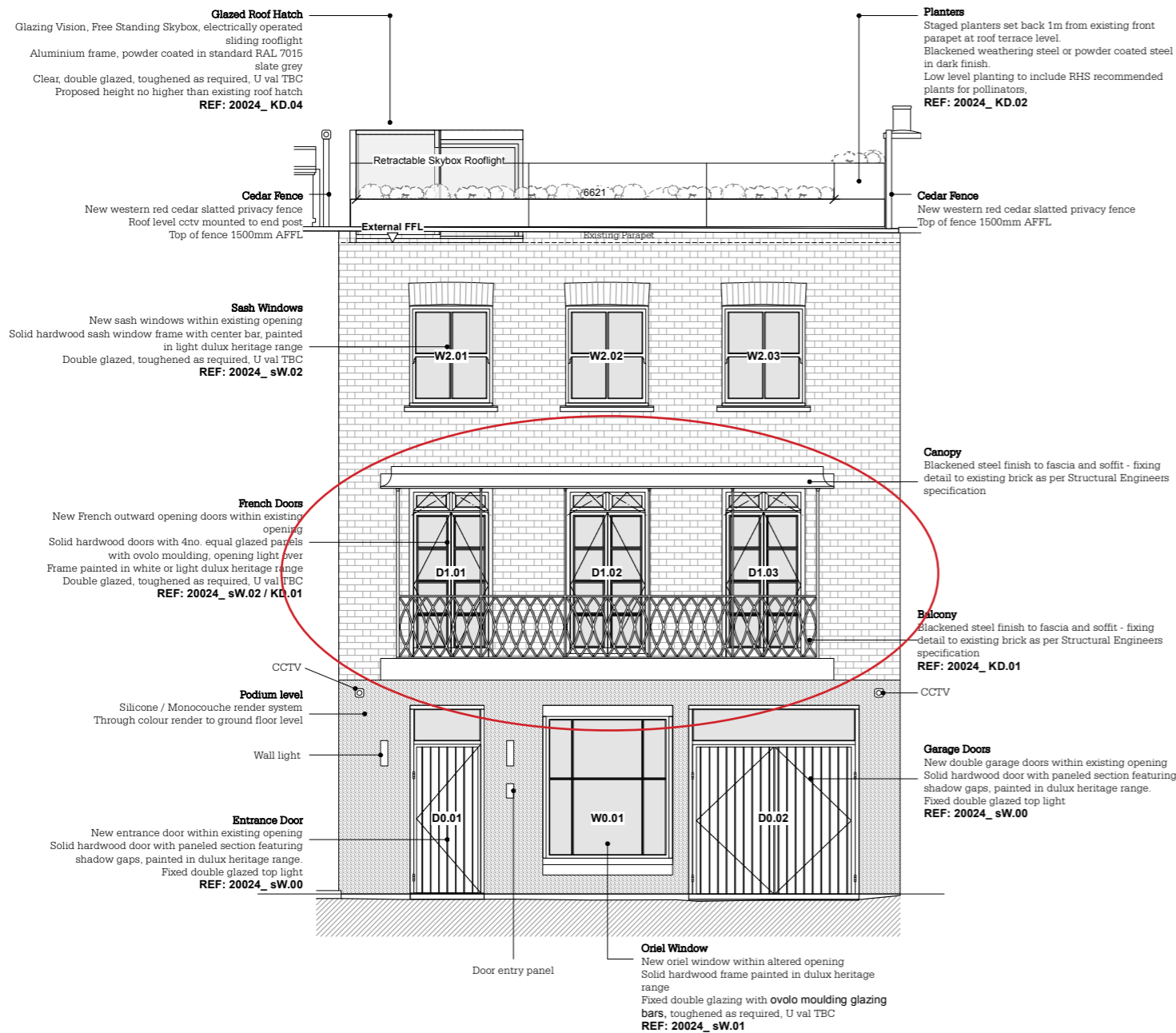
Drawing extract from the original consent : Ref. 22/03408/FULL

Proposed Alterations

Description

Alteration of the existing metalwork to closer reflect that of the existing building prior to commencement of works.

This would supersede the detail previously approved as part of the discharge of condition process.



1 Proposed Front Elevation
GE.00 1:50 @ A1

5.0 Summary Statement

These proposed alterations represent minor, non material amendments to the previously consented scheme and associated discharge of conditions which had been subsequently approved.

Based on the above we believe the changes should be supported by the Local Authority.

Schedule of drawings :

1. Previously consented (Ref. 22/03408/FULL)

A-100-01 (GA Floor Plans)
A-200-01 (Elevations)
A-250-01 (Sections)

2. Discharge of Conditions (Ref.22/06950/ADFULL)

20024_KD.01 (Balcony Details)
20024_GE.00 Rev.A (Elevations)
20024_SW.02 (French Doors)

3. Proposed Alterations

20024_GE.00 (Elevation)

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