

Supporting Information

Application for Planning Permission - Ref: TBC

Erection of Restaurant (Class 3) with Drive Through and Hot Food Takeaway, Associated Parking And Access Footpaths: Old Russells Yard, Clackmannan Road, Alloa

Date & Revision: January 2024

This document has been produced to provide additional supporting information in relation to the application for Planning Permission referenced above. This document should be read in conjunction with all relevant Architect's & Engineer's drawings and information.

Parking Provisions

Proposed parking provisions for the development have been calculated on national standards using the following areas:

- GIFA of Customer Areas = 66m²
 - GIFA of Kitchen Areas = 58m²
 - GIFA of Sanitary Facilities = 22m²
 - GIFA of Chillers & Storage Areas = 19m²
- Total GIFA = 165m²**

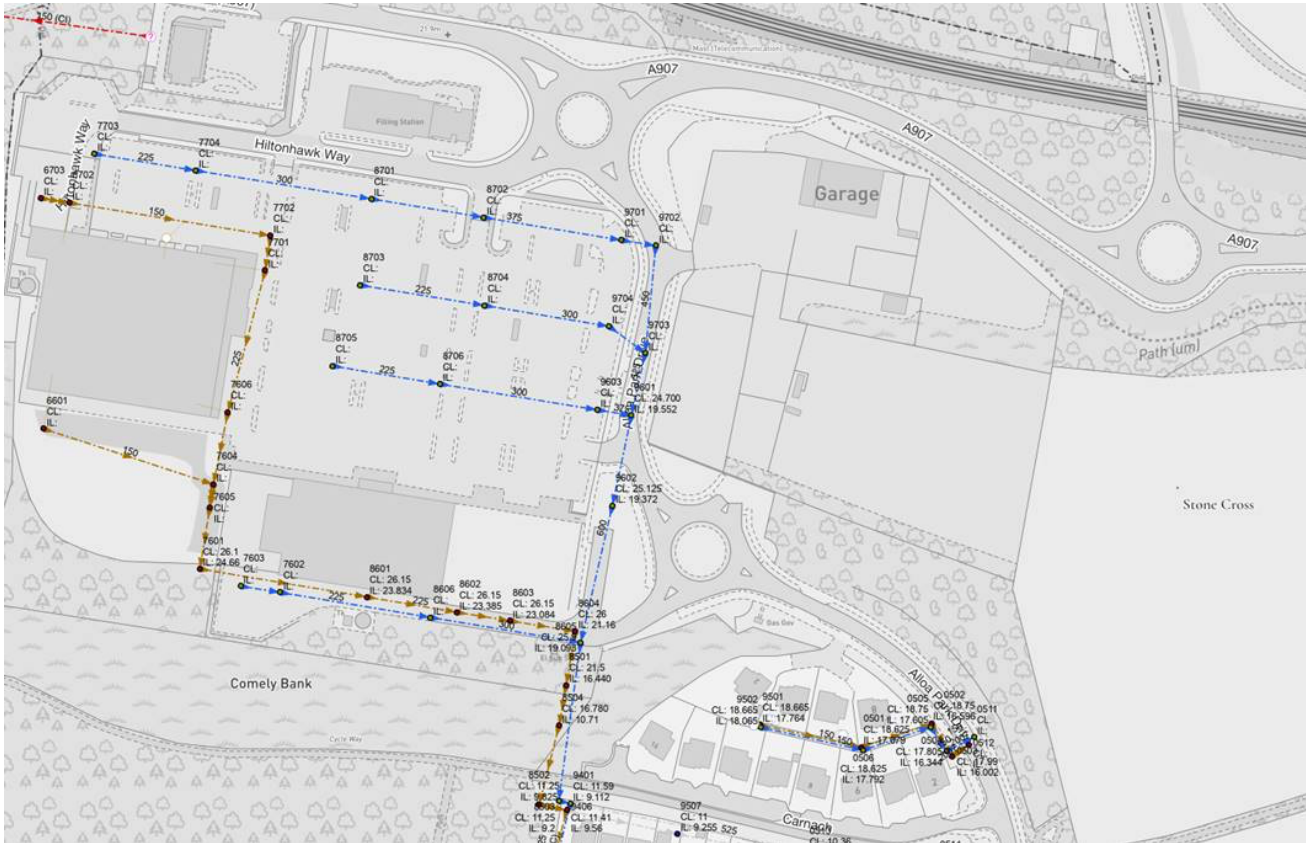
Based on the areas above, an adequate amount of parking has been provided for the development.

Surface Water Drainage Proposals

It is proposed that the development will utilise a gravity-fed surface water drainage design, and connect to the existing adopted Scottish Water surface water drainage network adjacent to the application site (*see Scottish Water plan below*)

Guttering provisions for the building shell will be tied into surface water drainage provisions for the hardstanding areas of the development, with the possibly cellular storage capacity included below parking areas to assist with flow rate limits as defined by Scottish Water.

A detailed surface and foul drainage design will be carried out as part of the technical design process of the development.



Scottish Water Adopted Plan

CMRA & Site Investigation Reports

The attached CMRA was produced for the adjacent Greggs Drive-Through application site to the North (REF: 22/00264/FUL) and is included for information. The CMRA concluded that the site was unstable, and recommended a Phase 2 Site Investigation report which was carried out for both the Greggs & applicant site. The attached Phase 2 SI report, produced by Ardmore Point, fully covers the site.

Low and Zero Carbon Technologies

It is proposed that low and zero-carbon technologies will be utilised as a part of the development to adhere to Clackmannanshire Council's energy efficiency and low-carbon development policy. It is assumed at this stage that these will be provided by roof-mounted PV panels or Air Source Heat Pumps as required by the 2022 SBEM guidelines, or other similar technologies.

A detailed SBEM assessment will be undertaken as part of the Building Warrant process to determine the most effective solution available.

Operations Information & Cooking Methods

Please refer to the 'Burger King Sustainability Overview' document (BKUK Sustainability Overview) for details of operation information & cooking procedures, and the 'Burger King Approach to Corporate Responsibility & Sustainability'.

Proposed Relocation of Vehicles Currently Stored on Site

The area is currently occupied by a vehicular dismantling operation. This business has additional space in the eastern area of the blue line boundary marked on drawing PP/01 and occupation of the area in question is on an informal basis with no lease restricting its use in place. The land can therefore be put to any approved use at any time.

The current occupier has confirmed to the applicant that their business 'Alloa Auto Dismantlers Ltd' can operate on the reduced area to the east, necessary to allow this application to be implemented.

Wider Site Masterplan

Drawing PP-03 titled 'Indicative Master Plan' provides an indicative wider masterplan for the adjacent land in the ownership of the applicant at the request of the Planning Department at Clackmannanshire Council. The plan is for information only, and should not be considered part of this application.