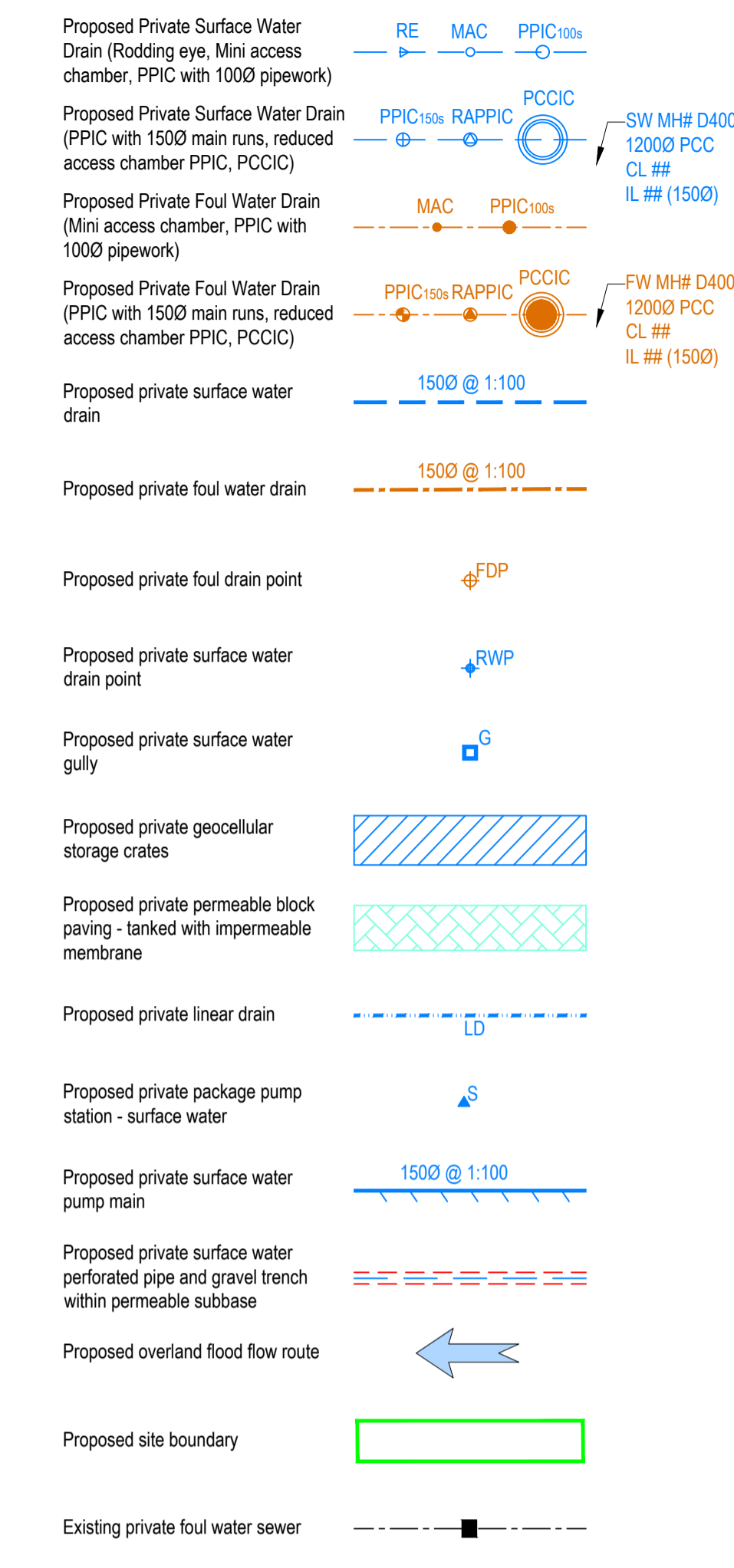
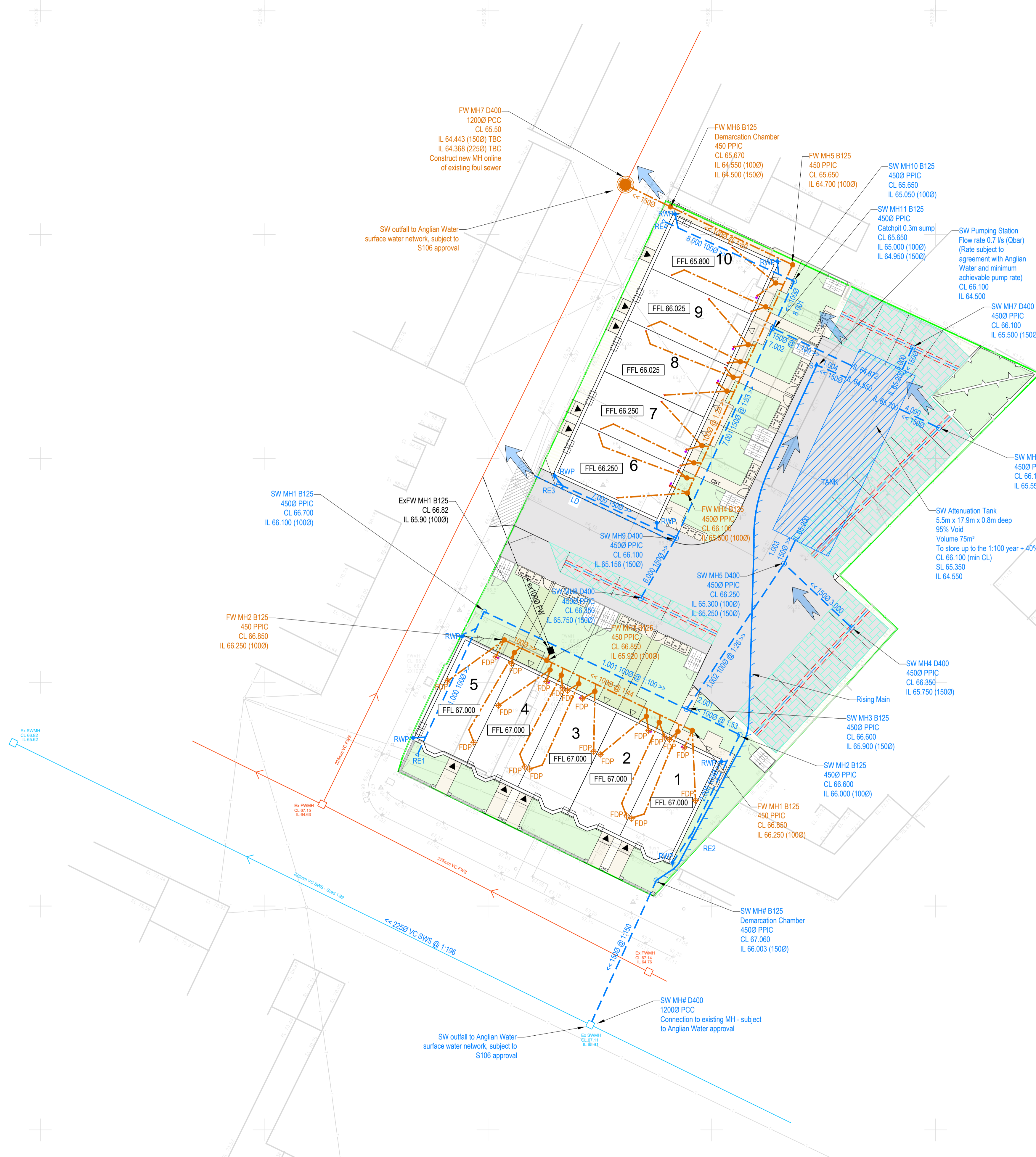


© THIS DRAWING AND THE DETAILS DEPICTED ARE THE COPYRIGHT OF NOONAN ENGINEERING AND MAY NOT BE REPRODUCED EXCEPT BY WRITTEN PERMISSION.



**Pre-development discharge**

Site Makeup: Greenfield

Greenfield Method: IH124

Positively Drained Area (ha): 0.177

SAAR (mm): 595

Soil Index: 4

SPR: 0.47

Region: 5

Betterment (%): 0

QBar (l/s): 0.7

Return Period (years)	Growth Factor	Q (l/s)
1	0.87	0.6
2	0.89	0.6
30	2.55	1.8
100	3.56	2.5

- NOTES
- DO NOT SCALE.
  - Should there be any conflict between the details indicated on this drawing and those indicated on other drawings the Engineer should be informed PRIOR to construction on site.
  - Until technical approval has been obtained from the relevant Authority, it should be understood that all drawings issued are Preliminary and NOT for construction. Should the contractor commence site work prior to such approval being given, it is entirely at his own risk.
  - All dimensions are in millimetres unless otherwise stated.
  - It is the responsibility of the contractor to execute the works at all times in strict accordance with the requirements of the Health and Safety at Work Act 1974, and the C.D.M. Regulations 2015.
  - It is the responsibility of the Contractor to locate any service apparatus in the vicinity of the works. The Client will accept no claims whatsoever in respect of losses or damage caused in respect of such apparatus, however caused.
  - The Contractor shall check all tie-ins for line and level with existing before commencing any works. The Engineer should be notified immediately in writing, should any errors be found.
  - All levels are related to Ordnance datum.
  - Private drainage is to be in accordance with Building Regs Part H and relevant British Standards.
  - Linear drainage to be sized by manufacturer.
  - Architect to provide the drainage locations of all internal and external drainage points.

REV	COMMENT	DATE	CHECKED BY	DATE
P01	First Issue	18/01/24	CLN	18/01/24

PROJECT NUMBER: 24-0001 | SCALE @ A1: 1:200

PURPOSE OF ISSUE: PRELIMINARY

Suite 105, Pure Offices, Lake View Drive  
 Sherwood Business Park, Nottingham, NG15 0DT  
 Tel: 07775 437749  
 e-mail: cs@g@noonanengineering.com

PROJECT: Proposed Residential Development  
 Mike Wells Cars, Montague Street,  
 Rushden NN10 9TS

TITLE: Drainage Strategy Layout

CLIENT: VJS