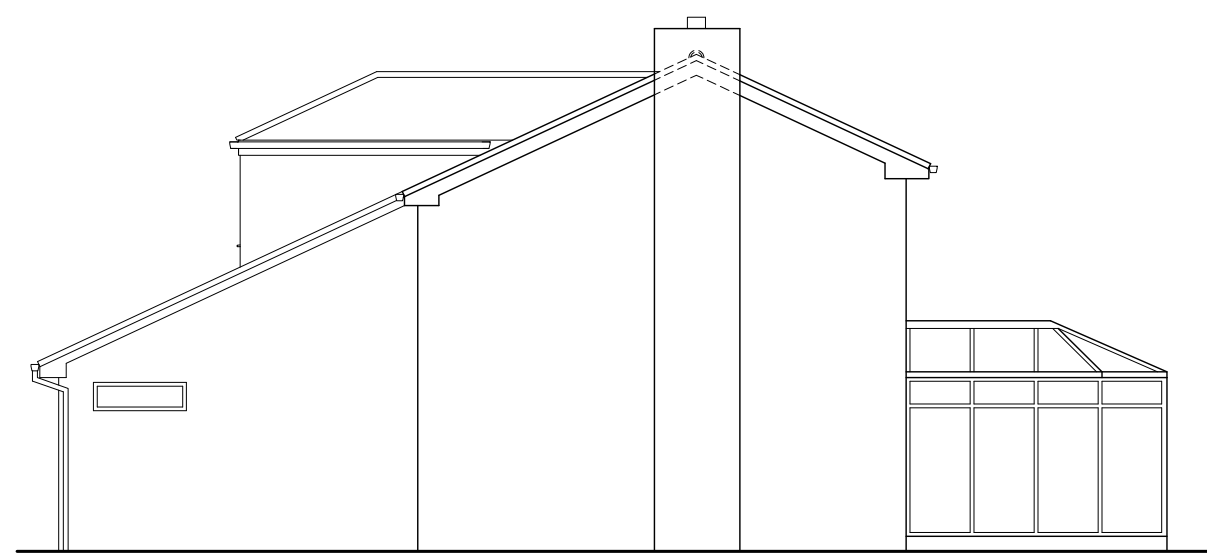


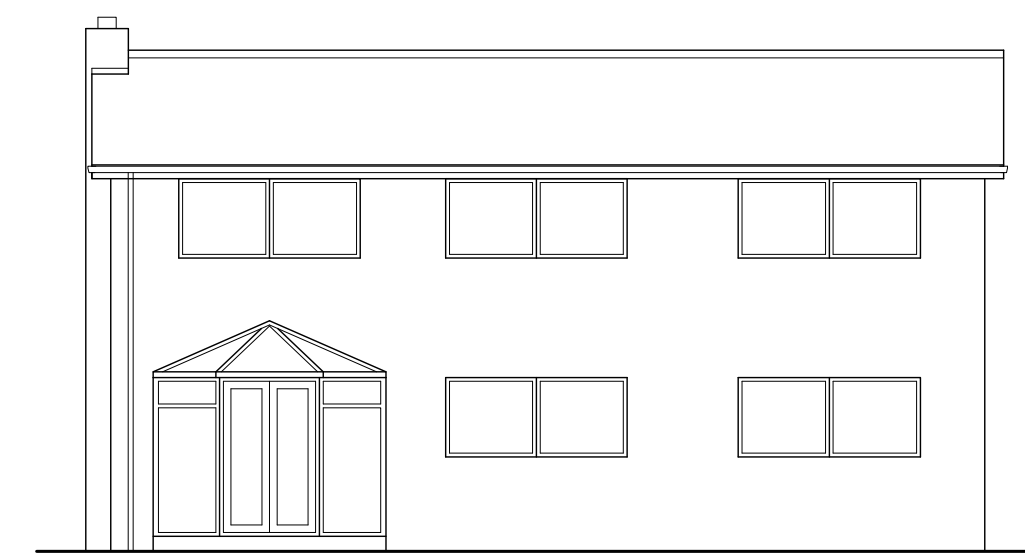
Existing Side (north) Elevation
Scale: 1/100



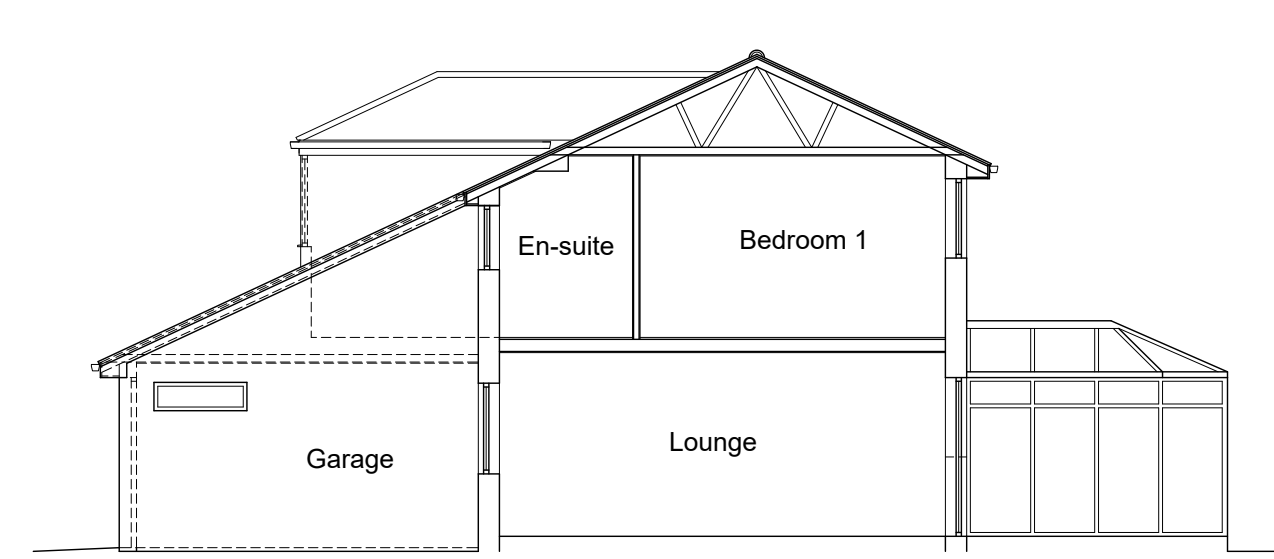
Existing Front (west) Elevation
Scale: 1/100



Existing Side (south) Elevation
Scale: 1/100

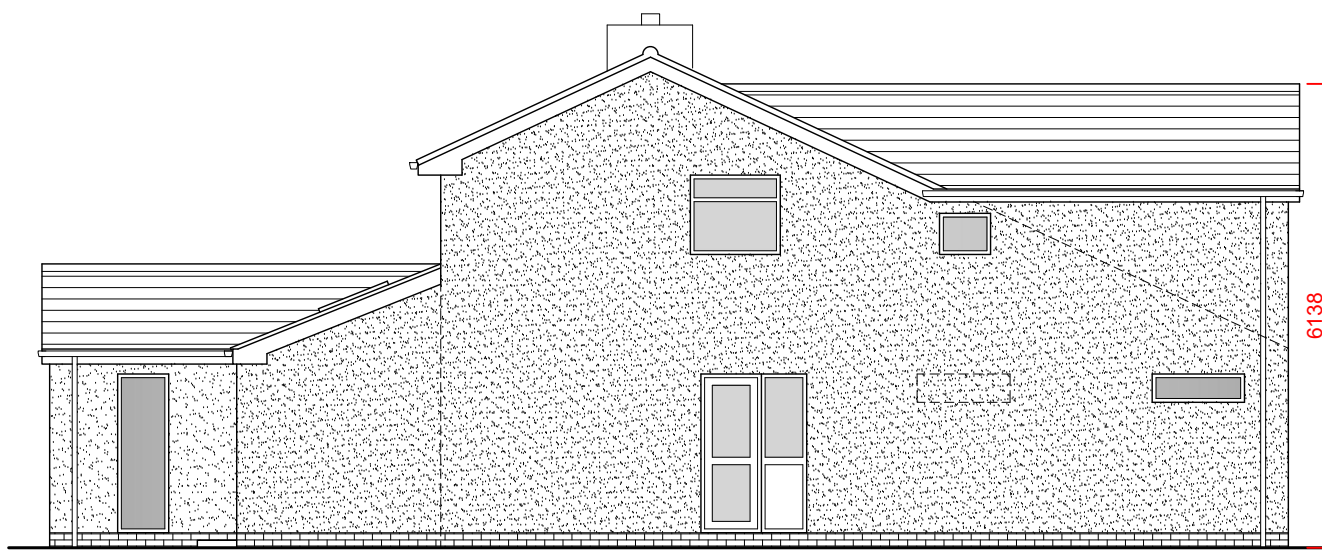


Existing Rear (east) Elevation
Scale: 1/100

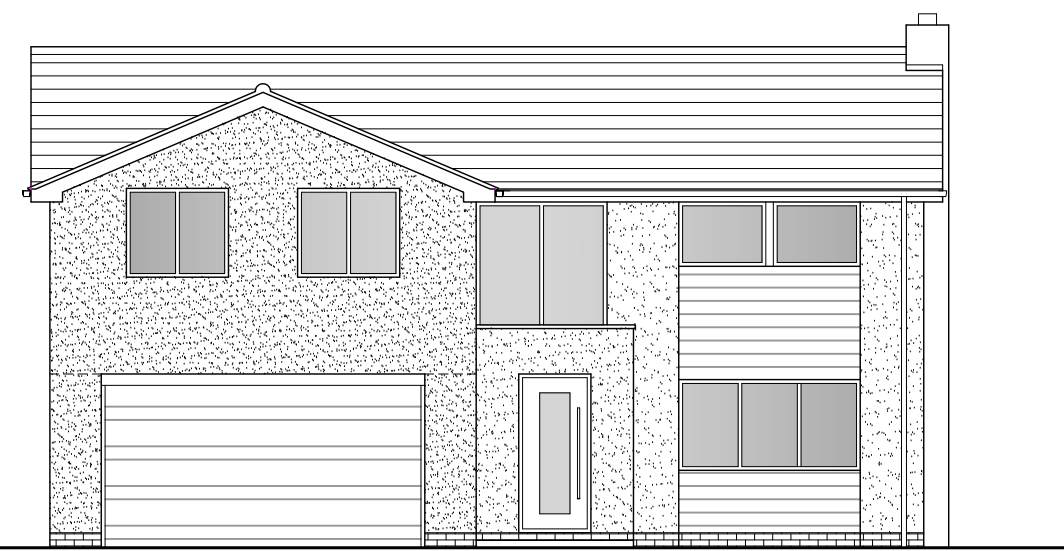


Existing Section
Scale: 1/100

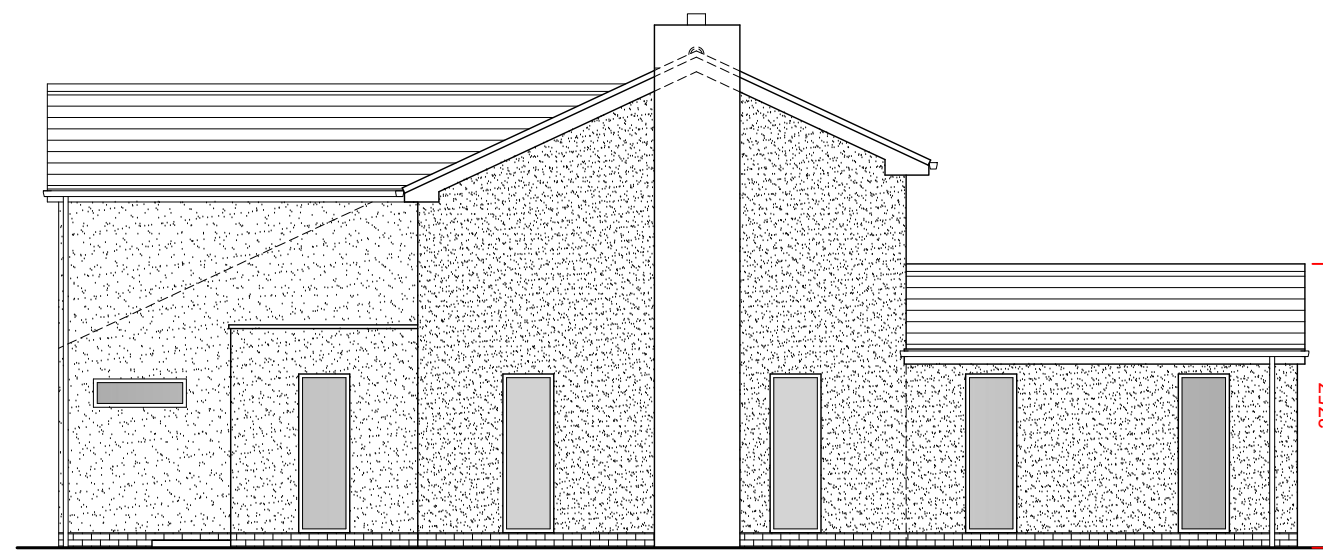
- Render to external facade.
- Concrete interlocking roof tiles, colour to match existing.
- Upvc windows to match existing.
- Aluminium patio doors.
- Obscured glazing to first floor en-suite north elevation window.



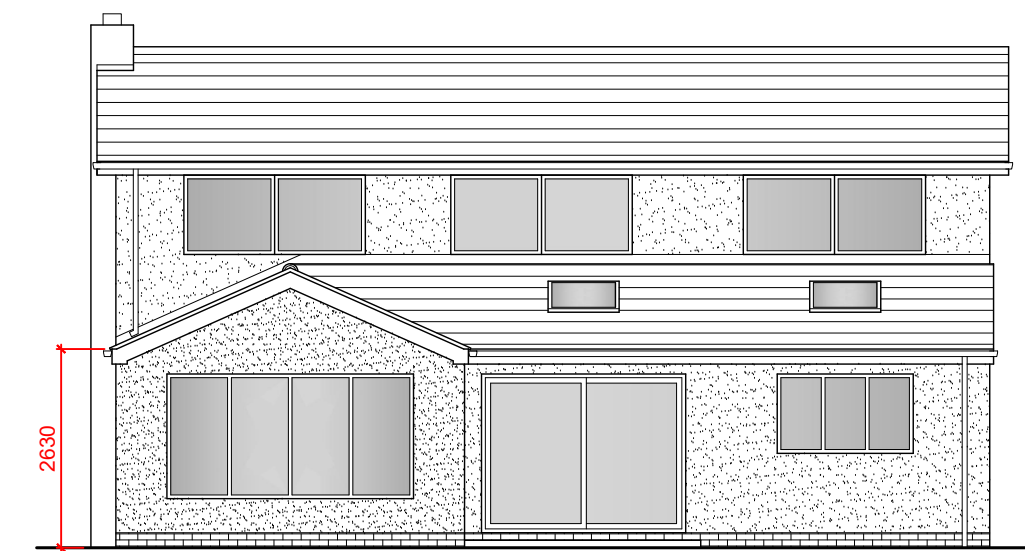
Proposed Side (north) Elevation
Scale: 1/100



Proposed Front (west) Elevation
Scale: 1/100

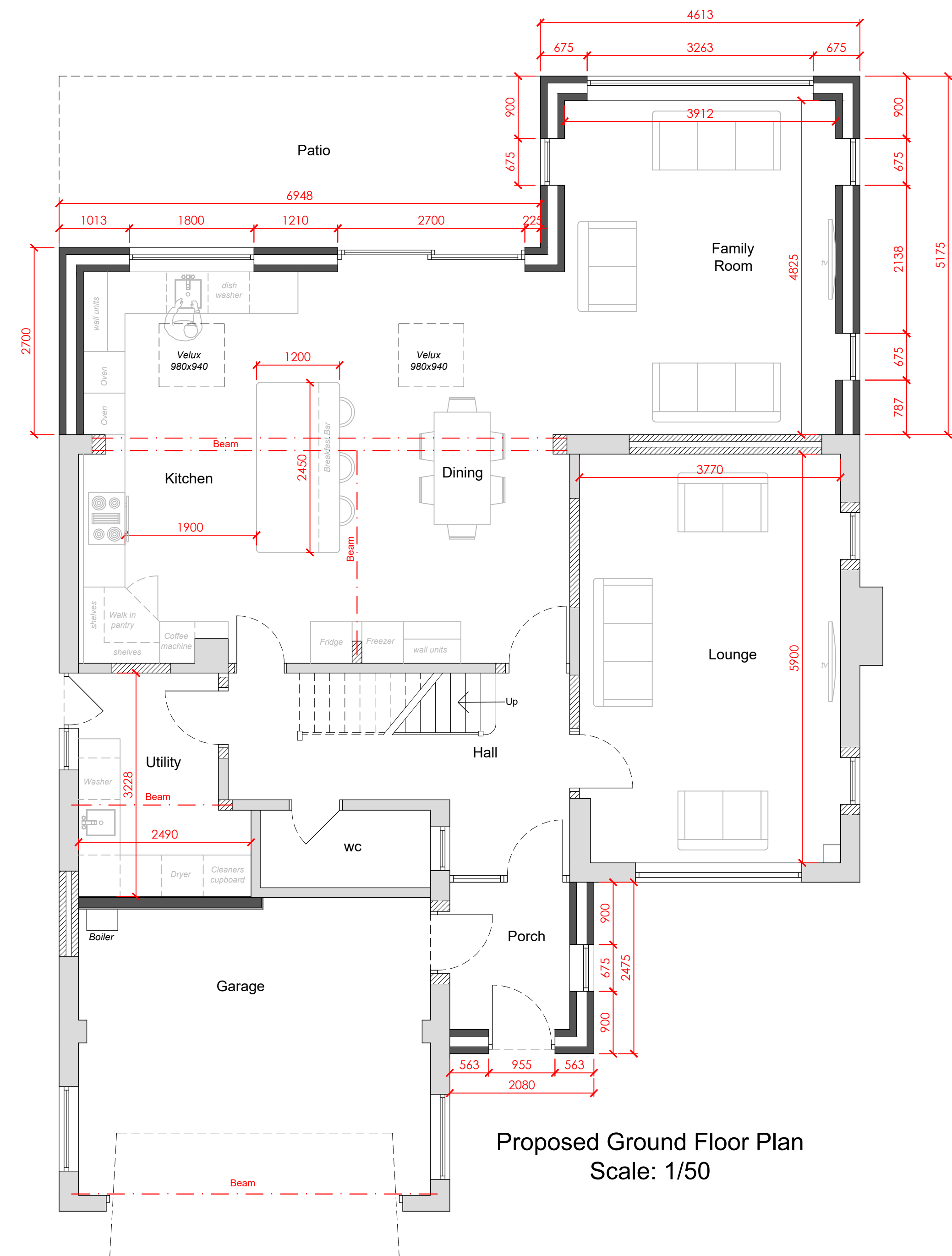


Proposed Side (south) Elevation
Scale: 1/100

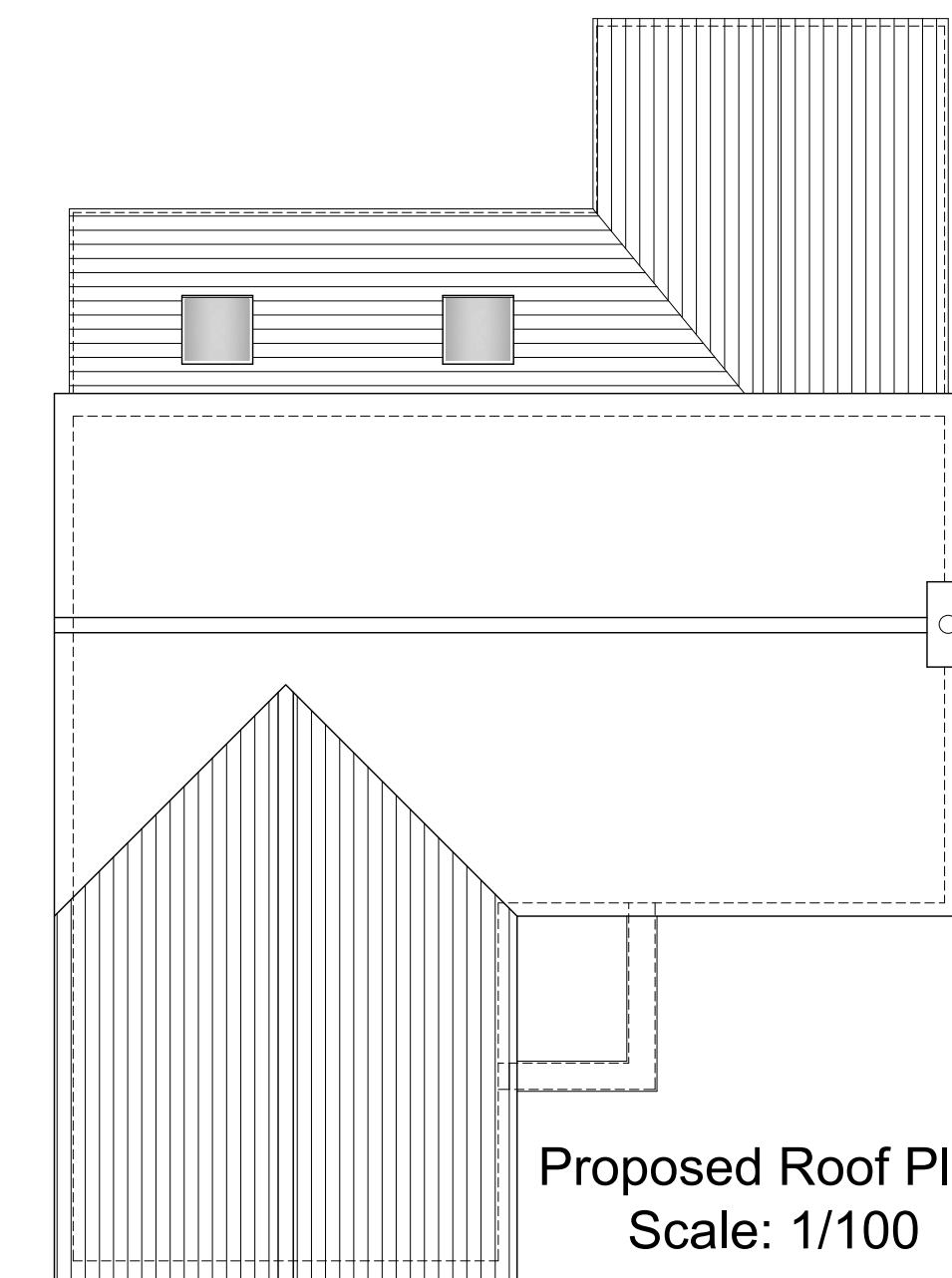
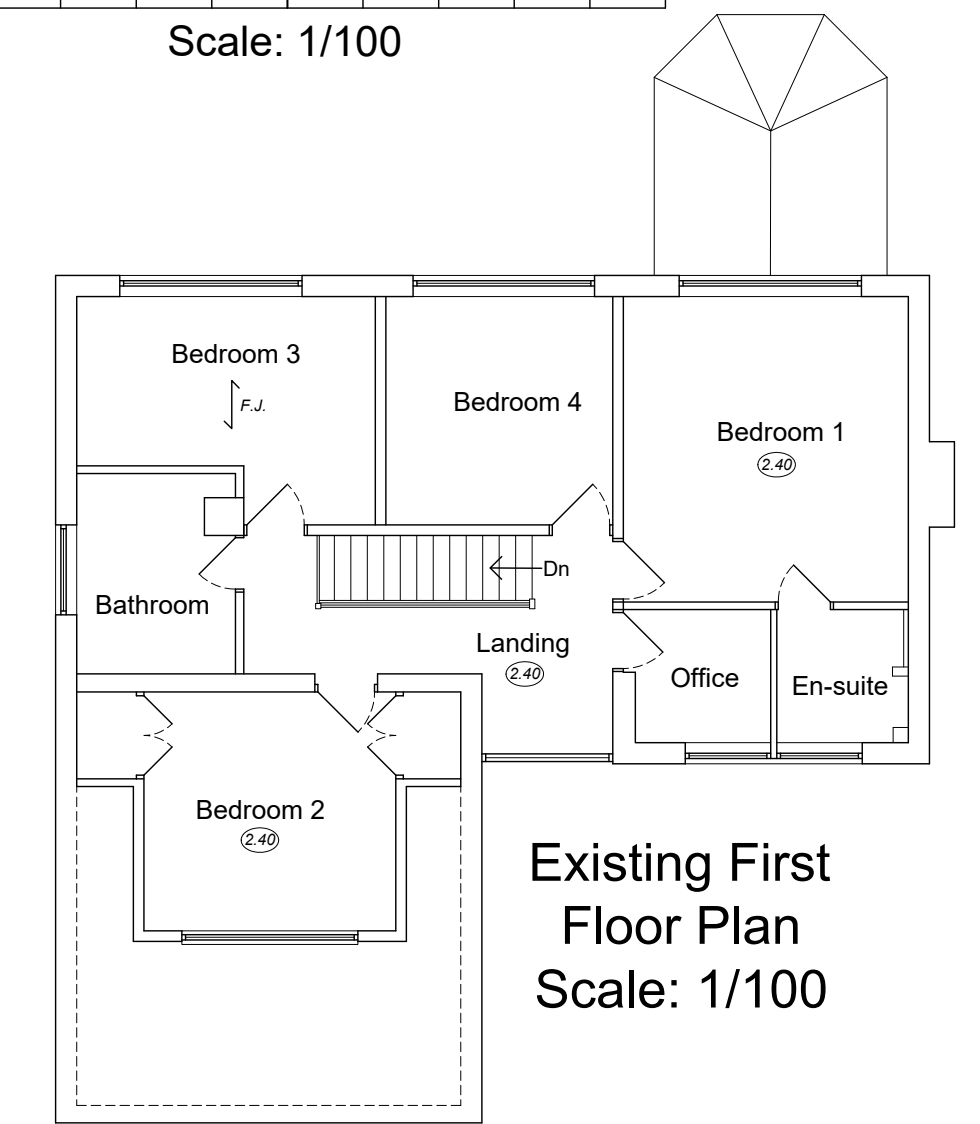
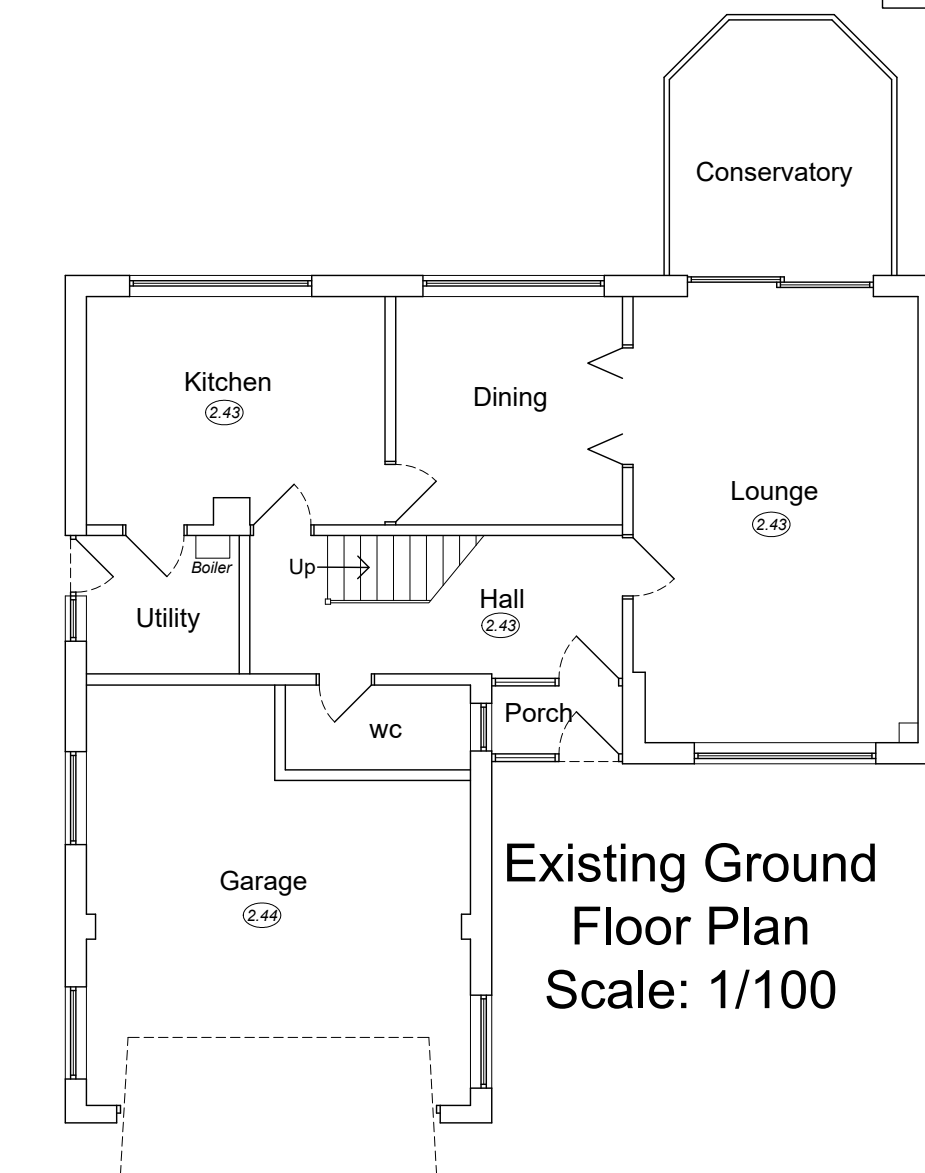
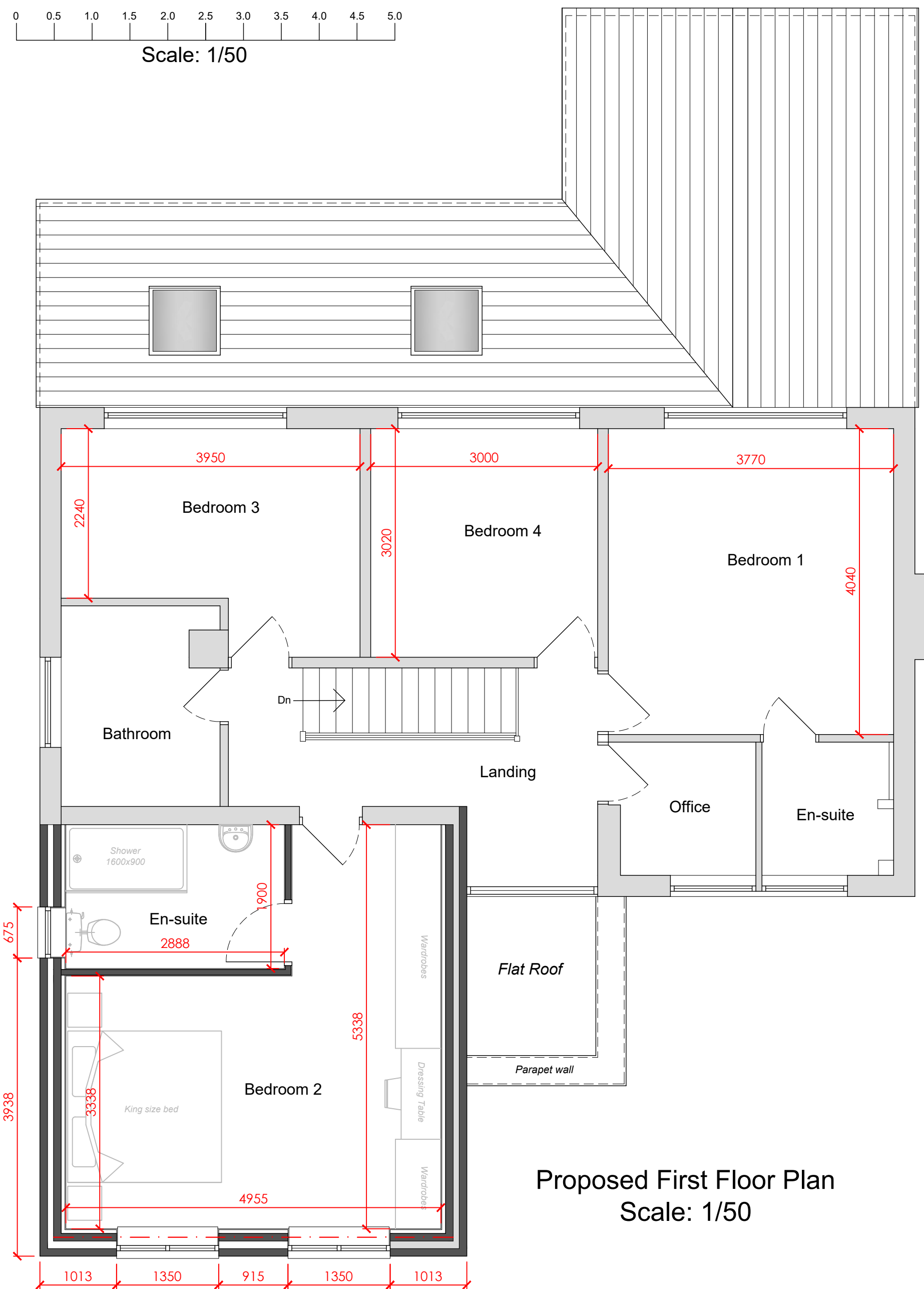


Proposed Rear (east) Elevation
Scale: 1/100

0 1.0 2.0 3.0 4.0 5.0 6.0 7.0 8.0 9.0 10.0
Scale: 1/100



0 0.5 1.0 1.5 2.0 2.5 3.0 3.5 4.0 4.5 5.0
Scale: 1/50



PLANNING ISSUE ONLY

PARTY WALL ACT: The owner has a duty to serve a party structure notice to any adjoining owner if works are to be carried out to a party wall, structure, or line of junction, or if works involve excavations lower than the foundations of a neighbouring building within 3m, or excavations cut through a 45° line from the foundations of a neighbouring building within 6m. A party wall agreement/award should be formalised before the commencement of the works.

This drawing is to be read in conjunction with all other issued drawings and specifications.
All dimensions must be verified on site by the contractor before commencing work.
Do not scale off this drawing.

Refer to written dimensions only
All dimensions are in millimetres unless otherwise stated.
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Whiteside Building Design Ltd
& project management services

47A Freshfield Road,
Formby,
Merseyside,
L37 3HL
T: 07940 935 232
E: whitesidesurveyors@yahoo.co.uk

Client: Mr Biswell & Ms Leonard
17 Kirklake Bank,
Formby, L37 2YJ.

Scheme: Proposed extension and internal alterations.

Subject: Existing and Proposed Plan

| | | |
|--------------------------|----------------|------|
| Scale: 1/100 & 1/50 @ A1 | Drawing Number | Rev. |
|--------------------------|----------------|------|

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| Drawn: PAW | 1561- 01 | |
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| Date: Jan. 2024 | | |
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