



Planning, Heritage, Design & Access Statement

PLANNING APPLICATION BY:

MR & MRS BELLAIRS

RELATING TO:

**OLD COTTAGE
FILSTON LANE
SHOREHAM
KENT
TN14 7SX**



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1. INTRODUCTION

1.1. I am instructed by my clients Mr & Mrs Bellairs to prepare this Planning, Heritage, Design and Access Statement in support of an application for planning permission for the following development at Old Cottage, Filston Lane, Shoreham:

“Erection of 1 ½ storey side extension to existing annex; insertion of 1no. dormer on existing roofscape and associated works”.

1.2. I am familiar with the site and the surrounding area and have studied carefully the site’s planning history and have then advised on the preparation of this application for planning permission.

1.3. This statement should be read in conjunction with the drawing package prepared by Offset Architects.

2. THE APPLICATION SITE AND SURROUNDING AREA:

2.1. The application site is situated on the eastern side of Filston Lane, circa 265m south from the settlement boundary of Shoreham village.

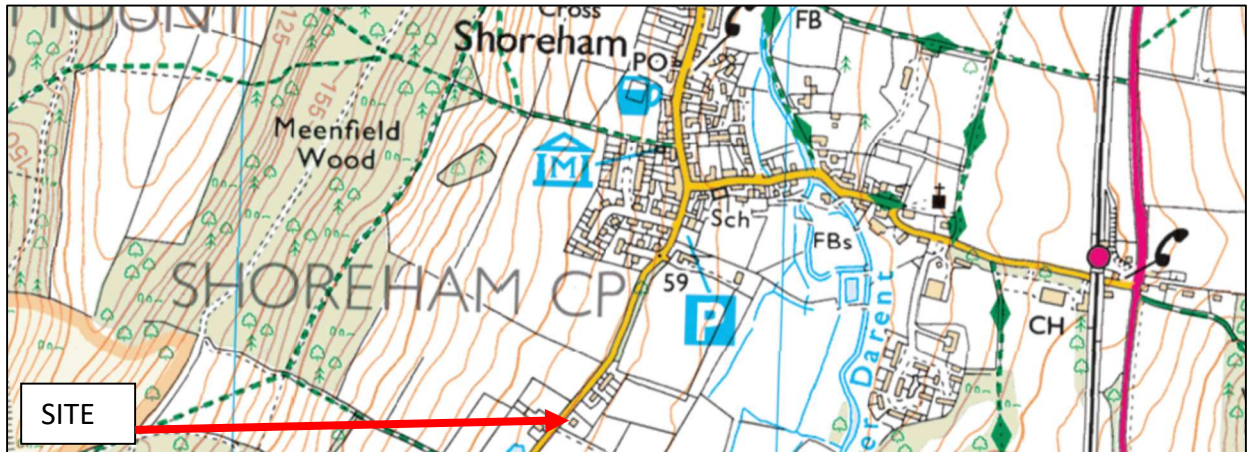


Figure 1: OS Map.

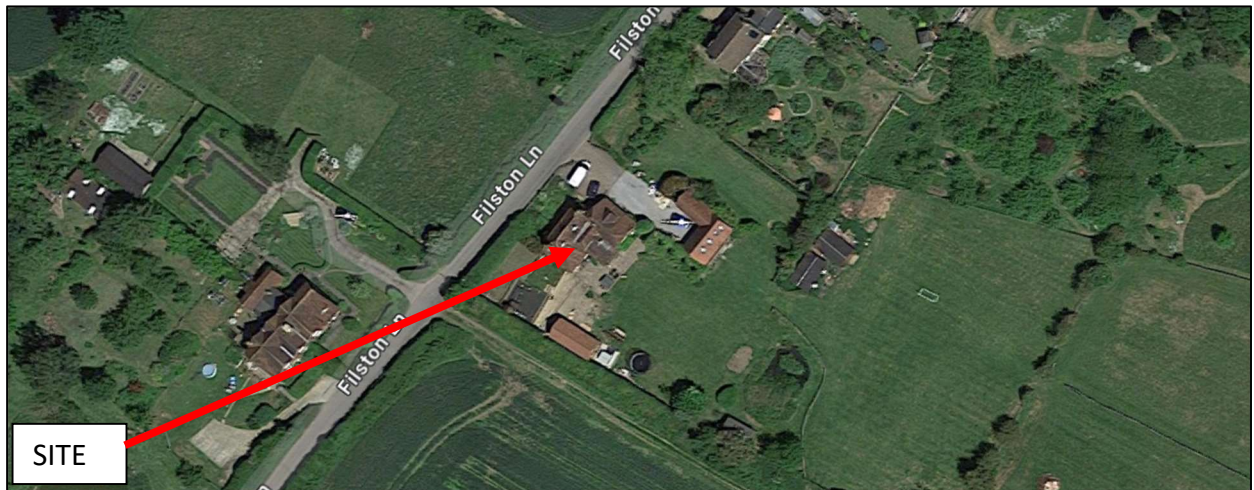


Figure 2: Aerial photograph (Google Maps).

2.2. The site comprises Old Cottage, a detached Grade II listed building with the following listing description:

2. C17 or earlier timber framed building. 2 storeys, 2 windows. Half hipped tiled roof extended as lean-to behind. Projecting end stacks. Tile hung 1st floor. C19 lattice casements; and 2 boarded doors in tiled porches. Visible timber framing with brick filling on left return. Modern lean-to addition, in sympathetic style, below.

2.3. To the rear of the property there are two main outbuildings. The annex, which is located to the east of the main dwelling, is a traditional building with pitched tiled roof and gable ends, with horizontal timber weatherboarding and brick plinth. The building is used by the applicant’s elderly mother (who requires live-in care) as an annex on the ground and first floor. The first floor is served by rooflights. The building also comprises the main dwellings double garage and log store.

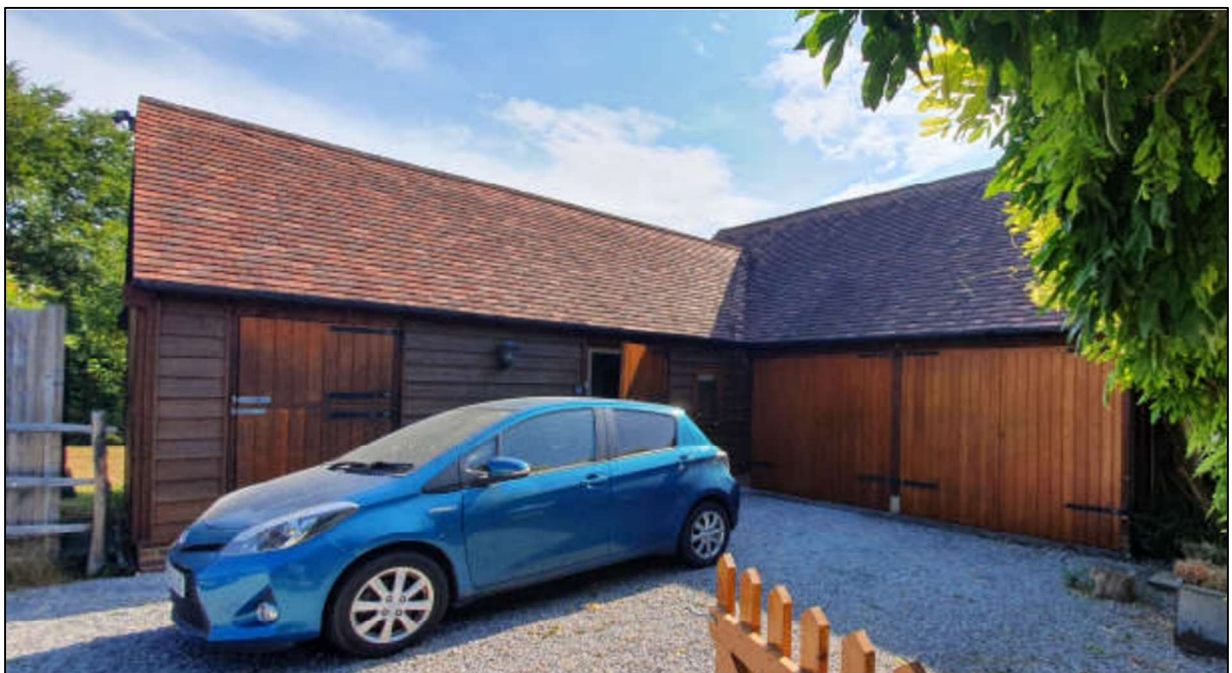


Figure 3: Existing annex.



Figure 4: Existing annex (rear).

- 2.4. There is a further recently added outbuilding on the southern boundary of the site which is used as a pool house.
- 2.5. The topography of the site undulates gently from a north-west to south-east direction across the site. There are stables to the east of the property with associated paddocks.

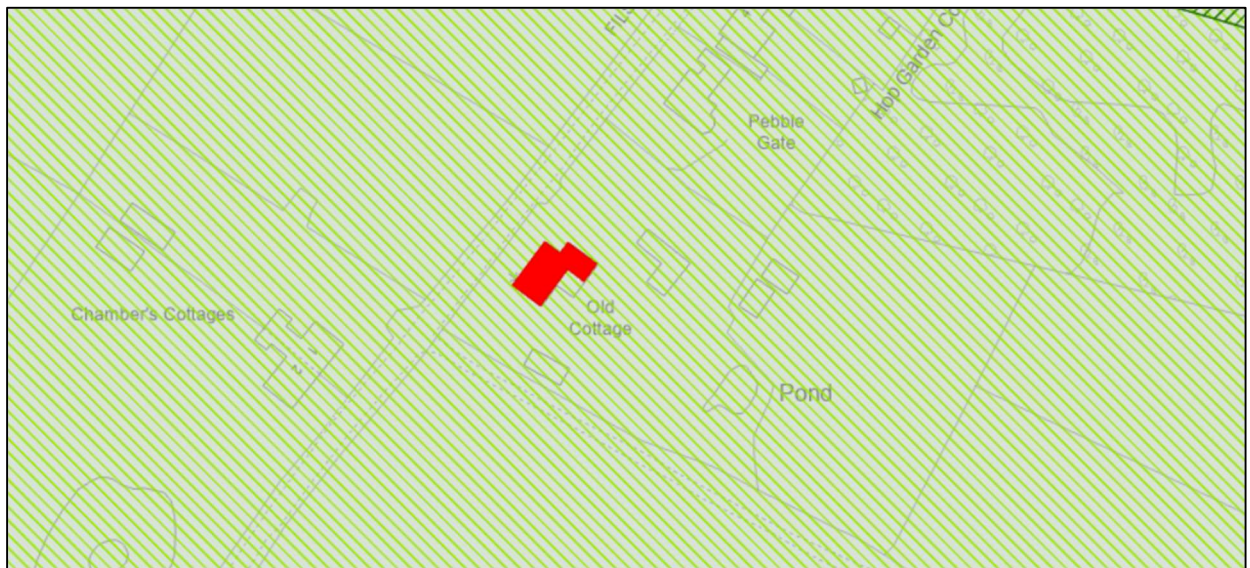


Figure 5: Proposals Map.

- 2.6. The site is located in the Kent Downs National Landscape (AONB) and the Metropolitan Green Belt.

3. PLANNING HISTORY:

3.1. Having reviewed the planning history of the site the following is relevant:

- Removal of existing buildings, double garage, store and two stables and replacement with oak/timber clad building.

Ref. No: 09/01914/FUL | Status: Decision - Granted

- Demolition of existing outbuilding and shed with proposed new single storey pool house and in-ground swimming pool with accompanying landscaping works.

Ref. No: 20/02775/HOUSE | Status: Decision - Granted

3.2. The building subject of this application was approved in 2009 with the approved plans outlined below and replaced a collection of separate stores, stables and garages:

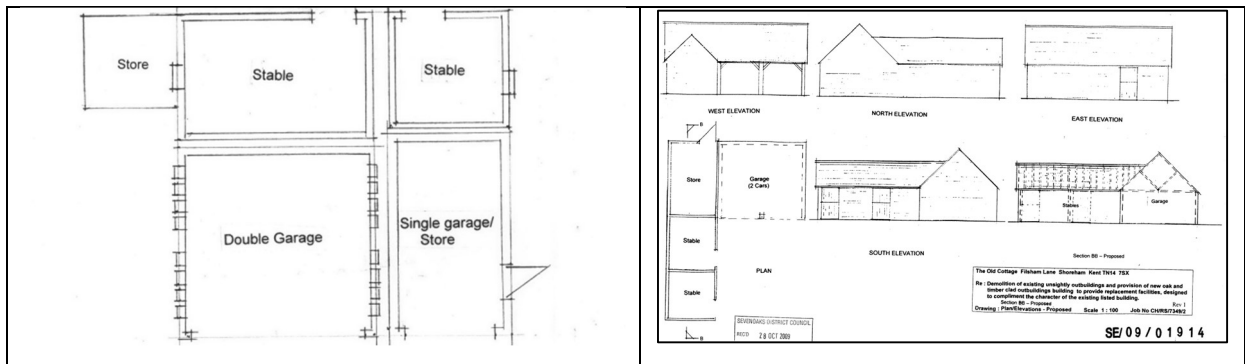


Figure 6: Separate buildings and approved plans – 2009 permission.

3.3. In the intervening years the applicant has inserted roof windows on the south-eastern roof scape and converted the floor area into habitable accommodation for the annex. This has added no bulk form or mass to the building. Given that this is located in the mass of the original roofscape, this can be considered original volume/floor area within the building.

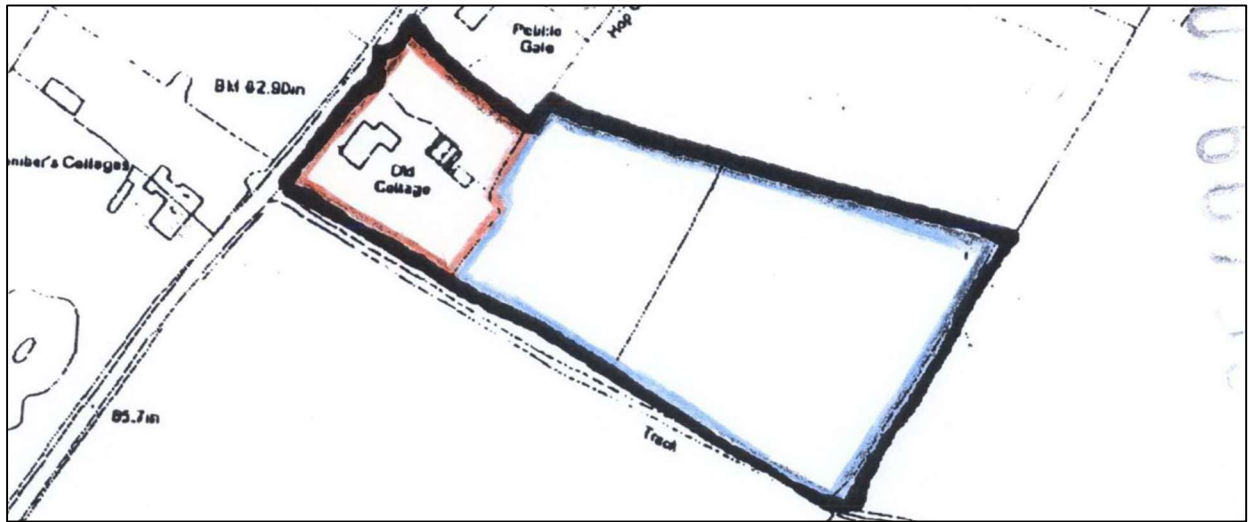


Figure 7: Residential curtilage.

- 3.4. The above figure shows the extent of the planning unit/residential curtilage which was consistent with the land forwarded under the 2020 permission.

Other Relevant Planning History

High Chart, Goodley Stock Road, Crockham Hill, Edenbridge, TN8 6TA

- 3.5. A recent appeal decision (**APPENDIX 1**) allowed the extension of an outbuilding beyond the 40sqm threshold as outlined in the Green Belt SPD. The following relevant conclusion was made:

“The detached double garage is built to a simple design on a square plan with a pyramid roof. The proposal would increase the floor area of the garage by just under 50% resulting in three garage doors facing the dwelling; however as regards scale, appearance and function the resultant building would appear subservient to the dwelling and would retain the characteristics of an ancillary building.”

- 3.6. The Inspector found therefore that although the building went beyond 40sqm, extending it by 50% was not a disproportionate addition in the context of the NPPF and therefore would not harm the openness of the Green Belt due to its subservient form.

The Old Laundry, Fordcombe

- 3.7. Under planning reference **SE/18/03817/HOUSE** the Council approved the replacement of an existing outbuilding.
- 3.8. This involved a 50% extension to the original outbuilding. It was assessed by the Council that a 50% extension to the original building would not comprise a materially larger extension and this would preserve the openness and permanence of the Green Belt. The Officer report is outlined in **APPENDIX 2**.

West Lodge, Grove Road

- 3.9. This planning permission under reference 21/01647/HOUSE permitted a 50% extension to an existing outbuilding in the Green Belt. In assessing the application, the Council made the following conclusion:

“Paragraph 145 c) of the NPPF states that one of the exceptions to inappropriate development in the Green Belt is ‘the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building’. Although the maximum guidance figure for new outbuildings set out in the SPD relating to development in the Green Belt is 40sqm, the NPPF represents the most up-to-date national policy in relation to development in the Green Belt. The proposed extension to the existing outbuilding is not considered to be a disproportionate addition and it is not over and above the size of the original building.”

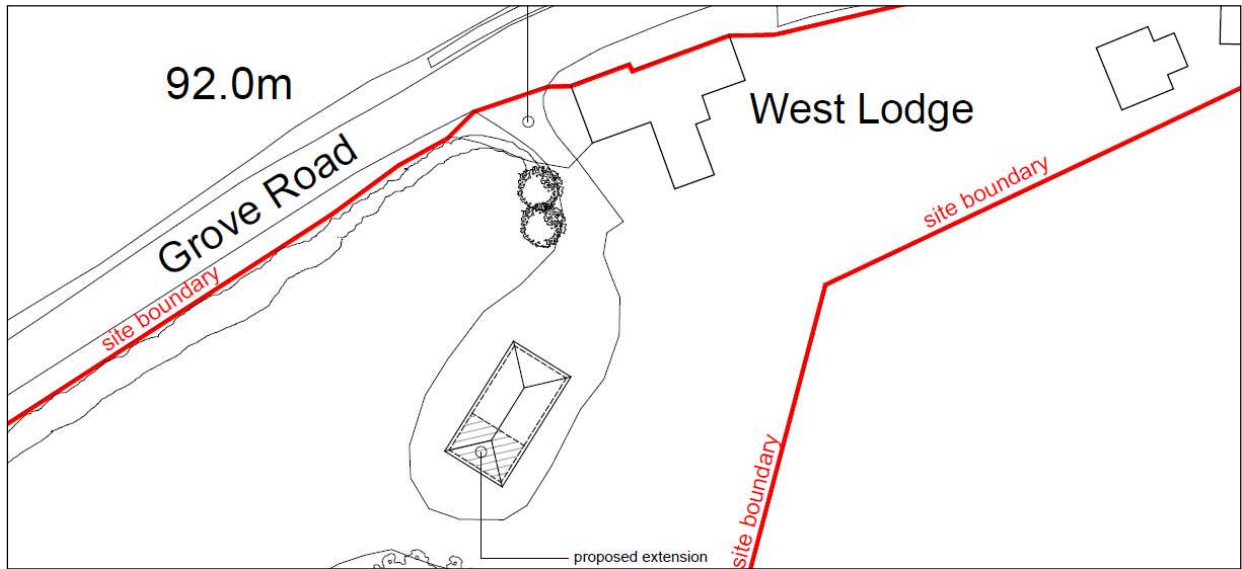


Figure 8: Permitted extension to outbuilding – West Lodge.

3.10. The above plan shows the 50% extension to the outbuilding. The Officer's Report is outlined in **APPENDIX 3.**

4. THE APPLICATION PROPOSAL:

4.1. Planning permission is sought for the following development:

“Erection of 1 ½ storey side extension to existing annex; insertion of 1no. dormer on existing roofscape and associated works”.

4.2. The purpose of the application is to extend an existing annex for the applicant’s elderly parent who requires live-in care. The modest additions will enhance the standard of accommodation by improving outlook and head height. The tractor store is required to manage and maintain the applicant’s land but also to provide secure storage closer to the property following thefts. The secure storage will mitigate against further losses and in turn enables the applicant to use the field hay barn and stables for their intended purpose.

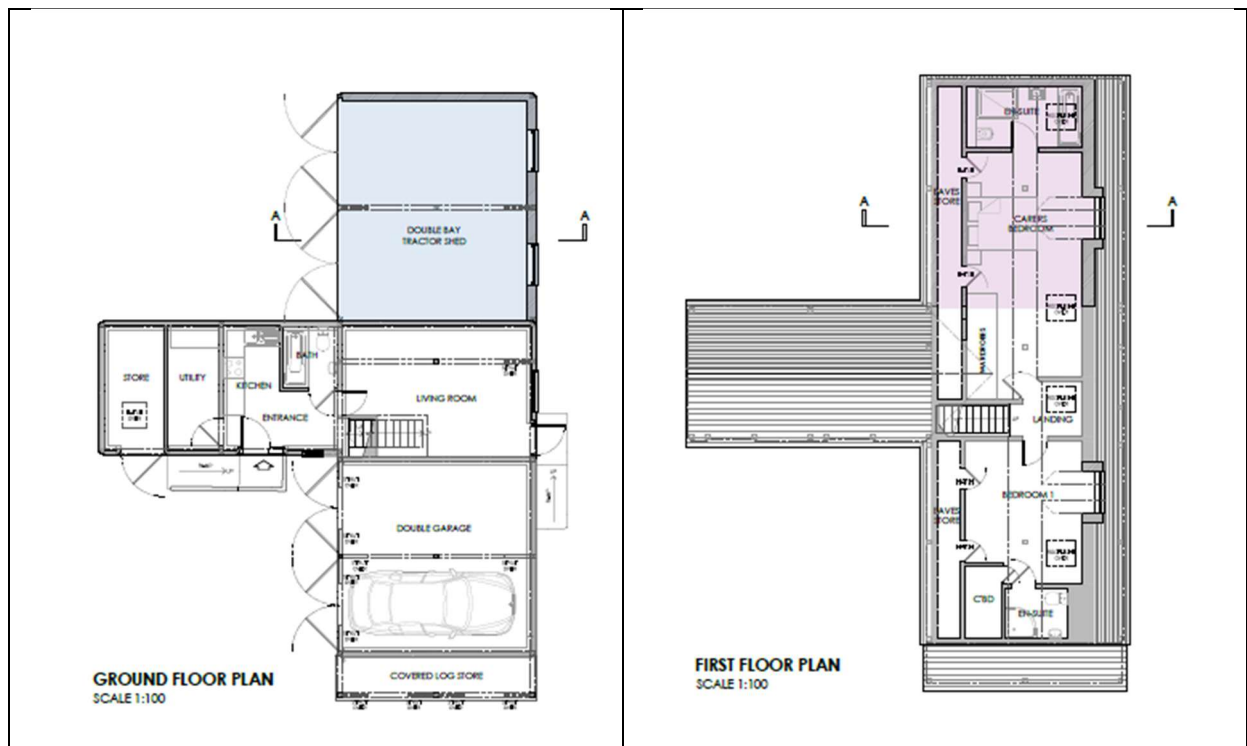


Figure 9: Proposed floor plans.

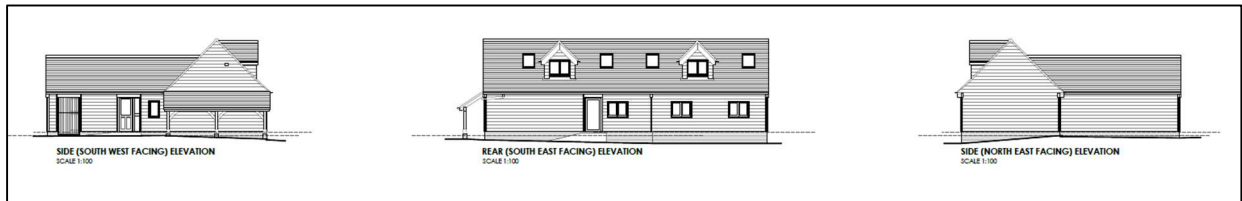


Figure 10: Proposed elevations.

- 4.3. The proposal seeks to extend the existing annex with a 1 ½ storey extension on the northern side of the building. This will provide a tractor store to maintain and manage the applicant's land. On the first floor it is proposed to extend one of the carers bedroom and to add an additional bathroom. This will provide enhanced living accommodation for the carer. The proposed extension will have a pitched roof dormer window on the south-eastern roofscape and will exhibit matching materials to the existing building.
- 4.4. The existing roofscape of the outbuilding will be altered by inserting a pitched roof dormer to improve outlook.
- 4.5. All parking and access to the property will remain as existing.

5. PLANNING POLICY:

- 5.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 Act states that applications should be determined in accordance with the development plan, unless material considerations indicate otherwise.
- 5.2. For the purposes of this planning application, I have reviewed the Council's Development Plan which consists of the Sevenoaks Core Strategy, the Sevenoaks Allocations and Development Management Plan (ADMP), the Residential Extensions Supplementary Planning Document (SPD) and Green Belt SPD.
- 5.3. The relevant sections of the NPPF (2023) are also outlined below.

National Planning Policy Framework (NPPF) (2023)

Section 2 - Achieving Sustainable Development

- 5.4. Paragraph 7 states that the purpose of the planning system is to contribute to the achievement of sustainable development.
- 5.5. Paragraph 8 outlines that the planning system has three overarching objectives to achieve sustainable development:
- a) an economic objective** – to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure.
 - b) a social objective** – to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering a well-designed and safe built environment, with

accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being; and

c) an environmental objective – to contribute to protecting and enhancing our natural, built and historic environment; including making effective use of land, helping to improve biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy

5.6. So that sustainable development is pursued in a positive way, paragraph 10 states that at the heart of the Framework is a presumption in favour of sustainable development.

Section 12 – Achieving well designed places

5.7. Paragraph 131 states that the creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this.

5.8. Section 135 outlines that planning policies and decisions should ensure that developments:

a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development.

b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping.

c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities).

d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit.

e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks.

f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience

Section 13 – Protecting Green Belt Land

5.9. Paragraph 142 states that the fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence.

5.10. Paragraph 143 outlines that the Green Belt serves five purposes:

a) to check the unrestricted sprawl of large built-up areas.

b) to prevent neighbouring towns merging into one another.

c) to assist in safeguarding the countryside from encroachment.

d) to preserve the setting and special character of historic towns; and

e) to assist in urban regeneration, by encouraging the recycling of derelict and other urban land.

5.11. Paragraph 152 advises that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances.

5.12. Paragraph 153 states that when considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. 'Very special circumstances will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

5.13. Paragraph 154 outlines that a local planning authority should regard the construction of new buildings as inappropriate in the Green Belt. Exceptions to this are:

c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building.

5.14. The Glossary of the NPPF confirms the following definition:

Original building: A building as it existed on 1 July 1948 or, if constructed after 1 July 1948, as it was built originally.

Section 15 – Conserving and enhancing the natural environment

5.15. Paragraph 182 states that the great weight should be given to conserving and enhancing landscape and scenic beauty in Areas of Outstanding Natural Beauty.

Section 16 - Conserving and enhancing the historic environment

5.16. Paragraph 200 states that in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting.

5.17. Paragraph 203 outlines that in determining applications, local planning authorities should take account of:

a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation.

b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and

c) the desirability of new development making a positive contribution to local character and distinctiveness

Sevenoaks Core Strategy

5.18. Policy SP1 states that all new development should be designed to a high quality and should respond to the distinctive local character of the area in which it is situated.

5.19. Policy LO8 outlines that the countryside will be conserved and the distinctive features that contribute to the special character of its landscape will be protected and enhanced. The policy asserts that the extent of the Green Belt will be maintained.

Sevenoaks Allocations and Development Management Plan (ADMP)

5.20. Policy SC1 states that when considering development proposals, the Council will take a positive approach that reflect the presumption in favour of sustainable development contained in the NPPF.

5.21. Policy EN1 outlines general development criteria for development in the District.

5.22. Policy EN2 states that proposal will be permitted where they would provide adequate residential amenities for existing and future occupiers of the development and would safeguard the amenities of existing and future occupants of nearby properties.

5.23. Policy EN4 states that proposals that affect a Heritage Asset, or its setting, will be permitted where the development conserves or enhances the character, appearance and setting of the asset.

5.24. Policy EN5 states that the Kent Downs AONB and its setting will be given the highest status of protection in relation to landscape and scenic beauty. Proposals within the AONB will be permitted where the form, scale, materials and design would conserve and enhance the

character of the landscape and have regard to the relevant Management Plan and associated guidance.

5.25. Policy GB1 outlines criteria which relates to limited extensions to dwellings in the Green Belt. Proposals to extend an existing dwelling within the Green Belt which would meet the following criteria will be permitted:

- a) the existing dwelling is lawful and permanent in nature; and
- b) the design responds to the original form and appearance of the building and the proposed volume of the extension, taking into consideration any previous extensions, is proportional and subservient to the 'original' dwelling and does not materially harm the openness of the Green Belt through excessive scale, bulk or visual intrusion; and If the proposal is considered acceptable when considered against criteria a) and b), the following criterion will then be assessed and must also be met for the proposal to be considered appropriate:
- c) the applicant provides clear evidence that the total floorspace of the proposal, together with any previous extensions, alterations and outbuildings would not result in an increase of more than 50% above the floorspace of the "original" dwelling (measured externally) including outbuildings within 5m of the existing dwelling.

Planning applications that include the conversion of loft space through the addition only of roof lights will be permitted and will not be subject to the floorspace allowance in criterion c), provided there is no increase in volume or bulk to the existing building as result of the proposal. Proposals for loft conversions that include the addition of dormer windows or other alterations that create volume or bulk will be subject to criterion c)

5.26. Policy GB3 outlines guidance for the provision of new outbuilding. Outbuildings located more than 5m from the existing dwelling will be permitted where the building, including the cumulative impact of other outbuildings and extension within the curtilage of the dwelling, would be ancillary to the main dwelling in terms of function and design and would not be

ancillary to the main dwelling in terms of function and design and would not materially harm the openness of the Green Belt through excessive bulk or visual intrusion.

Green Belt SPD

5.27. Paragraph 5.32 states that the Council will seek to ensure that proposed outbuildings do not dominate the main dwelling or their setting. Their scale should not exceed what might reasonably be expected for the function of the building. Garages and outbuildings for domestic purposes should not normally need to exceed a single storey in height or have excessive volume. Such buildings should be clearly ancillary to the main dwelling in terms of function and design.

5.28. Paragraph 5.33 states that the design of outbuildings should not impact detrimentally on the space surrounding buildings and should be limited in scale.

5.29. Paragraph 5.34 states that outbuildings should not compete with the main house. Often secondary buildings were traditionally erected with a simplicity of design. This may be used to good effect to reinforce the distinction between the original building and the secondary building. The form of garages and outbuildings (including roof pitches) and architectural features should be in keeping with the existing and surrounding properties.

Sevenoaks Residential Extensions SPD

5.30. Paragraph 3.22 states that garages and other outbuildings should not impact detrimentally on the space and surroundings buildings. They must be limited in scale and clearly ancillary to the property.

5.31. Paragraph 3.23 identifies that their scale should not exceed what might reasonably be expected for the function of the building. Garages and outbuildings for domestic purposes should not normally need to exceed a single storey in height or have excessive volume.

5.32. It is outlined in paragraph 3.27 that garages and outbuildings should not compete with the main house. Often secondary buildings were traditionally erected with a simplicity of design. This may be used to good effect to reinforce the distinction between the original building and the secondary building.

6. PLANNING MERITS:

6.1. In light of the above planning policy review, the following main issues will be considered as part of this planning assessment:

- Proposed Use
- Design, Scale and Bulk – Landscape
- Green Belt
- Heritage
- Residential Amenity
- Other planning considerations

Proposed Use

6.2. The extended outbuilding will provide additional ancillary residential accommodation to the existing annex at The Old Cottage. The building will continue to share vehicular, access and refuse storage with the main dwelling.

6.3. The outbuilding will continue to provide annex accommodation for the applicant's elderly parent and live-in carer. As outlined in this statement, the tractor store is required to manage and maintain the land but also to provide secure storage for the machinery closer to the dwelling.

Design, Scale and Bulk – Landscape

6.4. The proposed extension has been sensitively designed to respect the character and appearance of the existing building. The addition will reflect the existing linear design of the outbuilding, matching the roofscape. The 1 ½ storey scale of the addition ensures that the extension is reduced in height and represents a subservient addition to the existing building. The dormer windows are proportionate in the roof and are suitably scaled ensuring they do not dominate

the building. They are discreetly located on the rear elevation so will not be visible in the street scene. The design of the dormers ensures they are not large in volume and will not appear visually intrusive or prominent.

- 6.5. The proposal will exhibit a traditional form and appearance with matching materials to preserve the cohesive design of buildings on the site. The palette of materials will respect the rural character of the area.
- 6.6. The extensions are subservient and ensure that the outbuilding will remain ancillary and secondary in appearance compared to the main dwelling. This will retain the clear hierarchy of buildings on the site. The subordinate design of the building will ensure it will not harm the wider countryside and will conserve and enhance the Kent Downs National Landscape.
- 6.7. For the above reasons the proposed development is in accordance with Policies SP1 and LO8 of the Sevenoaks District Core Strategy, Policies EN1 and EN5 of the Sevenoaks ADMP and the Residential Extensions SPD.

Green Belt

- 6.8. The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the most important attribute of Green Belts is their openness. Openness is, to a large extent, the absence of perceived development, whether in the form of buildings, engineering or other operations or a material change of use of land.
- 6.9. In the Court of Appeal decision of *Turner (2016) EWCA Civ 466* the court held that:

“The concept of “openness of the Green Belt” is not narrowly limited to the volumetric approach. The word “openness” is open-textured and a number of factors are capable of being relevant when it comes to applying it to the particular facts of a specific case. Prominent among these will be factors relevant to how built up the Green Belt is now and how built up it would

be if redevelopment occurs (in the context of which, volumetric matters may be a material concern, but are by no means the only one) and factors relevant to the visual impact on the aspect of openness which the Green Belt presents.

The openness of the Green Belt has a spatial aspect as well as a visual aspect, and the absence of visual intrusion does not in itself mean that there is no impact on the openness of the Green Belt as a result of the location of a new or materially larger building there. But, as observed above, it does not follow that openness of the Green Belt has no visual dimension.”

6.10. National Planning Policy states that the extension of a building, provided it does not result in a disproportionate addition over and above the size of the original building is appropriate development. Local Policy GB1 defines a disproportionate extension as anything over 50% of the original floor area and that the extension is not excessive in volume or visually intrusive.

6.11. The existing building was erected following the approval of the 2009 permission. The outbuilding replaced a series of separate buildings, establishing the current use as an original residential building. In granting planning permission in 2009 this started a new chapter in the planning history on the site. The comparative floor areas are outlined below:

Existing Floor Area (original building)*	128.66sqm
Proposed Extensions	64.09sqm

*This includes the first-floor area given that this is within the fabric of the original building.

6.12. The extension represents a 50% extension to the original building and therefore is a proportionate addition. The additional dormer window to the existing roofscape is not excessive in volume and appears proportionately on the building.

6.13. The previous section has identified that the extension will not be excessive in volume due to its subservient design and form, and it will not be visually intrusive within the landscape.

6.14. The above Green Belt conclusion is consistent with the Inspectors decision as outlined in **APPENDIX 1**, as well as the Council's approach to determining and approving planning permissions elsewhere in the District (The Old Laundry and West Lodge – **APPENDICES 2 & 3**).

6.15. The above factors ensure that the outbuilding will preserve the openness and permanence of the Green Belt and will therefore constitute appropriate development in line with paragraph 154 of the NPPF, policies GB1 and GB3 of the Sevenoaks ADMP and the Green Belt SPD.

Heritage

6.16. The existing building is not a historic structure having been permitted originally in 2009 after it replaced a collection of separate buildings. The proposed additions have been situated away from the listed building ensuring that the setting of the listed building is preserved.

6.17. For these reasons the proposal is in accordance with Section 16 of the NPPF and Policy EN4 of the Sevenoaks ADMP.

Residential Amenity

6.18. The proposed extension is situated an appropriate distance from the closest residential property, Pebble Gate, which is to the north of the site. Given this distance and careful positioning of window openings, the proposal will not harm amenity by way of loss of light, outlook or privacy.

6.19. For the above reasons, the development is in full compliance with Policy EN2 of the Sevenoaks ADMP.

Other Planning Considerations

(i) Community Infrastructure Levy

6.20. The relevant CIL paperwork has been completed as part of this submission.

(ii) Highways

6.21. The proposed extension will not impact the access onto Filston Lane and will retain the existing parking spaces at the site.

7. CONCLUSION

- 7.1. This Planning, Heritage, Design and Access Statement has outlined that the extended outbuilding respects the scale of the existing structure and will preserve the rural setting of the site. The sensitive use of matching materials and detailing will ensure that the building reflects the character of the area. The proposed roof form will ensure that the extended outbuilding will appear subserviently and ancillary against the dwelling. It has also been demonstrated the mass and design of the extension will conserve and enhance the Kent Downs National Landscape.
- 7.2. The extension comprises a proportionate addition to the original outbuilding by complying with the 50% threshold. The extension will not be excessive in volume, nor will it be visually intrusive within the landscape. For these reasons, the extension will preserve the openness and permanence of the Green Belt and constitutes appropriate development.
- 7.3. Given the location of the extensions there will be no impact on the setting of the adjacent listed building.
- 7.4. The proposed development will preserve the amenity of adjoining occupiers in terms of privacy, outlook, daylight and sunlight.
- 7.5. The proposal will not have any impact on the wider public highway network and will retain appropriate parking on the site.
- 7.6. In view of the above, it is concluded that the development proposed in this application is consistent with the aims and detailed requirements of the National Planning Policy Framework and as such, should be given planning permission.

8. APPENDICES

APPENDIX 1: APPEAL DECISION

APPENDIX 2: THE OLD LAUNDRY – OFFICER REPORT

APPENDIX 3: WEST LODGE – OFFICER REPORT