

Design and Access Statement
26 West Heath Avenue, London NW11
7QL



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1.0 Introduction

This Design and Access Statement has been prepared to support a planning application for a Single Storey Rear and Side Extension, Partial First Storey Extension, Front & Side Boundary treatment and amendments to an existing garage. The house is located within the residential Golders Green area in the London Borough of Barnet.

The proposed scheme involves the erection of a single storey rear and side extension which largely replaces existing massing and a covered porch area to the rear. The application will also include the installation of front a front boundary wall and gates to improve security whilst amendments to the existing garage are also sought after. A proposed partial first storey extension and roof alterations are also included within the application which seek to mimic the changes made to the adjoining neighbour on West Heath Drive.

The proposed alterations have been noted in this document and are shown on the attached drawings. The proposed scheme will make a positive contribution to owner-occupiers of the building and to surrounding areas whilst having minimal negative impact on the street scene.

The proposal has been designed to remain in keeping with the existing street facade and the proposed alterations integrate well within the context of the existing buildings with regards to scale, layout and materials.



Fig 1. Location plan



Fig 2. Location within the Golders Green Area

2.0 XUL Architecture profile

XUL Architecture is an award-winning, commercially minded and client-centered architecture practice. Our vision is to design beautiful buildings that use ingenious ways of bringing natural light to architecture while changing how architectural services are delivered.

We see design as a collaborative process and place great emphasis on our relationships with clients, consultants, and contractors. Combining our energy, extensive knowledge and talents we deliver exciting projects and make a positive difference to each scheme and its local context.

As a RIBA Chartered practice with over 15 years of experience we have successfully worked on over 300 projects, taking new build and renovation schemes from initial sketches to completion. We have extensive experience working particularly in Barnet, Camden, Haringey and Westminster Councils.

Our innovative design can be seen through our residential portfolio and has been recognized by Barnet Council, who awarded us with the **Barnet Architecture Award 2017** for our Hale Lane project in Mill Hill. In 2014 we also won the **Stuart Grey Award for the best project in Hampstead Garden Suburb** on a listed house.



Fig 2. Hale Lane project



3.0 Reference Documents

This statement should be read in conjunction with the attached reference documents as follows:

Architect's Documents - XUL Architecture:

Location Plan - As per application forms



Fig 3. Existing Front Elevation



Fig 4. Existing Rear Elevation

EX-00

EX-01: Existing Ground Floor (Inc Drive)

EX-02: Existing First Floor

EX-03: Existing Roof Plan

EX-04: Existing Front Elevation

EX-05: Existing Side Elevation

EX-06: Existing Rear Elevation

EX-07: Existing Section AA

EX-08: Existing Section BB

EX-09: Existing Street Elevation

EX-10: Existing Garage Details

PA-00

PA-01: Proposed Ground Floor (Inc Drive)

PA-02: Proposed First Floor

PA-03: Proposed Roof Plan

PA-04: Proposed Front Elevation

PA-05: Proposed Side Elevation

PA-06: Proposed Rear Elevation

PA-07: Proposed Existing Section AA

PA-08: Proposed Existing Section BB

PA-09: Proposed Street Elevation

PA-10: Proposed Garage Details

4.0 Existing Building

4.1 Introduction

The circa 460m² site comprises a semi-detached three-storey property and sits on the corner of West Heath Drive and West Heath Avenue. The immediate area is residential in character and comprises a range of C20th properties. Though they display a variety of architectural detailing, the general character is representative of a typical suburban street. The dwellings are typically semi-detached and there is some regularity to their proportions and arrangement. The site does not lie within a Conservation Area and the property is not listed.

Most of the neighbouring buildings are two storey properties with loft conversions and dormer roofs, and the majority of the street have also extended to the side and rear with one or two storey extensions.

The building was recently purchased by the current owner and their young family and would like to improve the functionality of the property with a very small increase of internal area.

The property currently features a front driveway that is completely open to the street. Considering that the property is bordered on two sides by roads, this poses a vulnerability to security issues.

4.2 Location

The property is located in a residential area within the London Borough of Barnet in the Golders Green area in north London. The area is considered to be within a reasonable distance of all usual amenities with the property being located close to Golders Green tube station. Shops, restaurants and other amenities can be found along and around this thoroughfare.

4.3 Existing Building Areas

Ground Floor Area	146m ²
First Floor Area	123m ²
Second Floor Area	56m ²



Fig 5. Existing Front Elevation

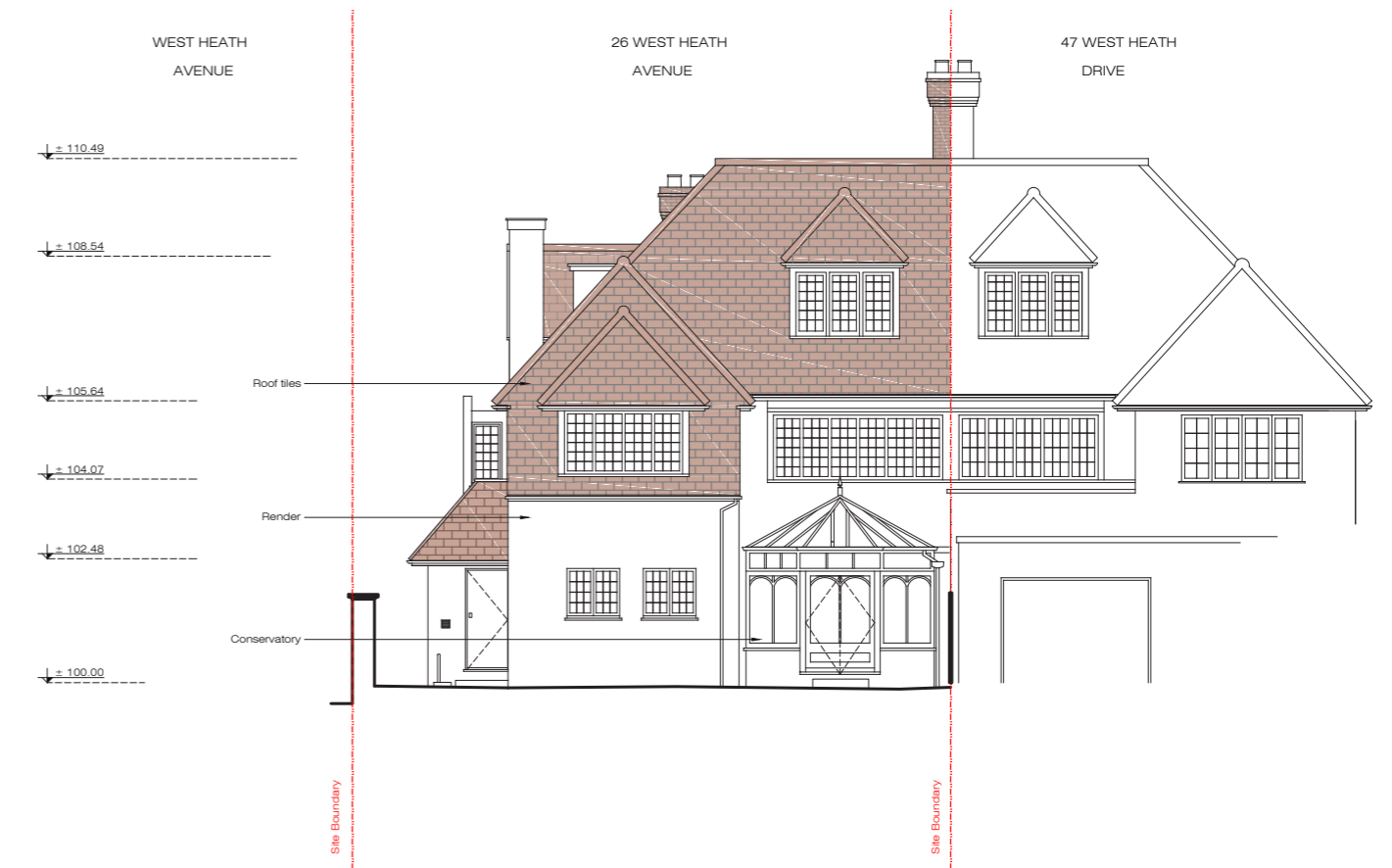


Fig 6. Existing Rear Elevation



Fig 7. Existing Side Elevation



Fig 8. Existing Street Elevation

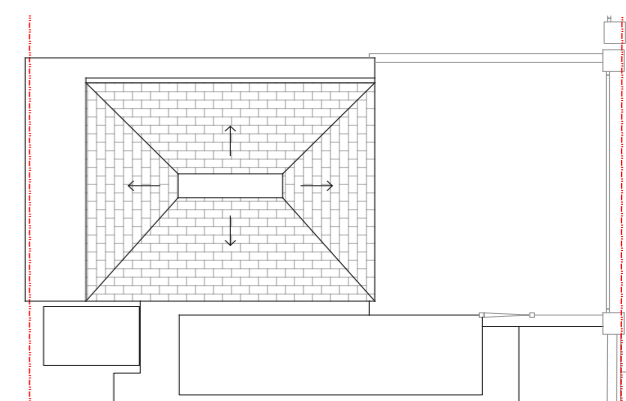
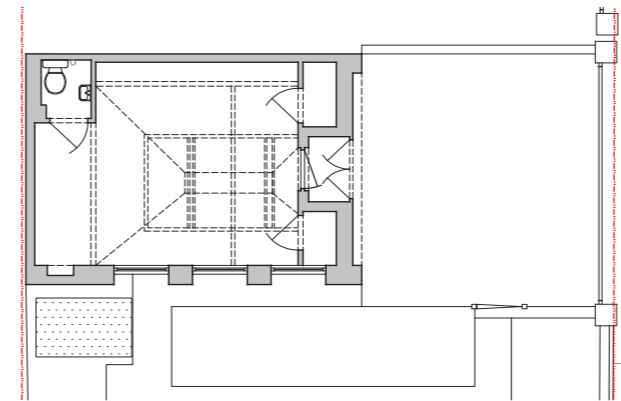
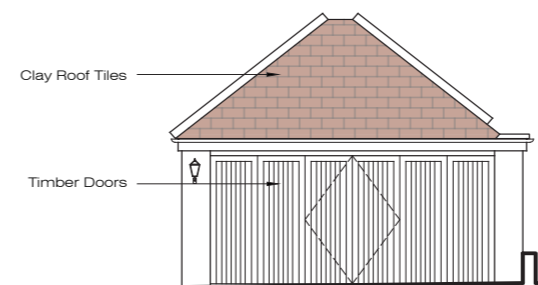


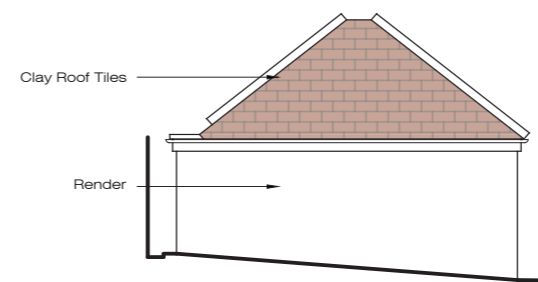
Fig 9. Existing Garage Plans



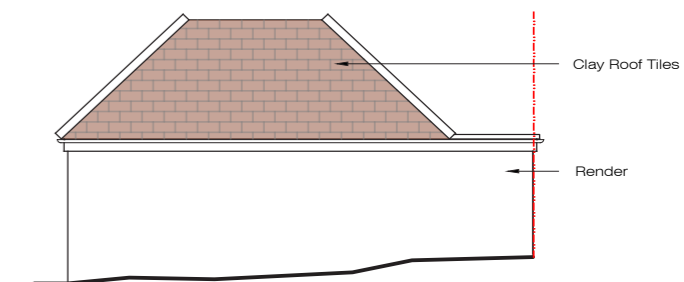
X EXISTING
Garage - South Elev 1:100@A3



X EXISTING
Garage - West Elev 1:100@A3



X EXISTING
Garage - North Elev 1:100@A3



X EXISTING
Garage - East Elev 1:100@A3

Fig 10. Existing Garage Elevations

5.0 Planning

5.1 Site planning history of no. 26 West Heath Avenue

There has been a total number of 6 Planning applications submitted in relation to the property. 3 are related to works on protected trees whilst 3 are relating to construction:

Demolition of existing garage and erection of two storey dwelling including basement level and refuse/recycling facilities | Ref. No: 14/07679/FUL

Demolition of existing garage and erection of two storey dwelling including basement level and refuse/recycling facilities | Ref. No: 15/01933/FUL

Demolition of existing garage and erection of two storey outbuilding including basement level | Ref. No: 20/6314/HSE

5.2 Relevant planning permissions within the area

The applications below have been approved by Barnet Council and show a history for approving part single, storey rear extensions of various sizes:

14/07759/HSE | Single storey rear extension including provision of 1no. additional parking space to the front and associated amenity area/landscaping to the rear. | 8 Hodford Road London NW11 8NP

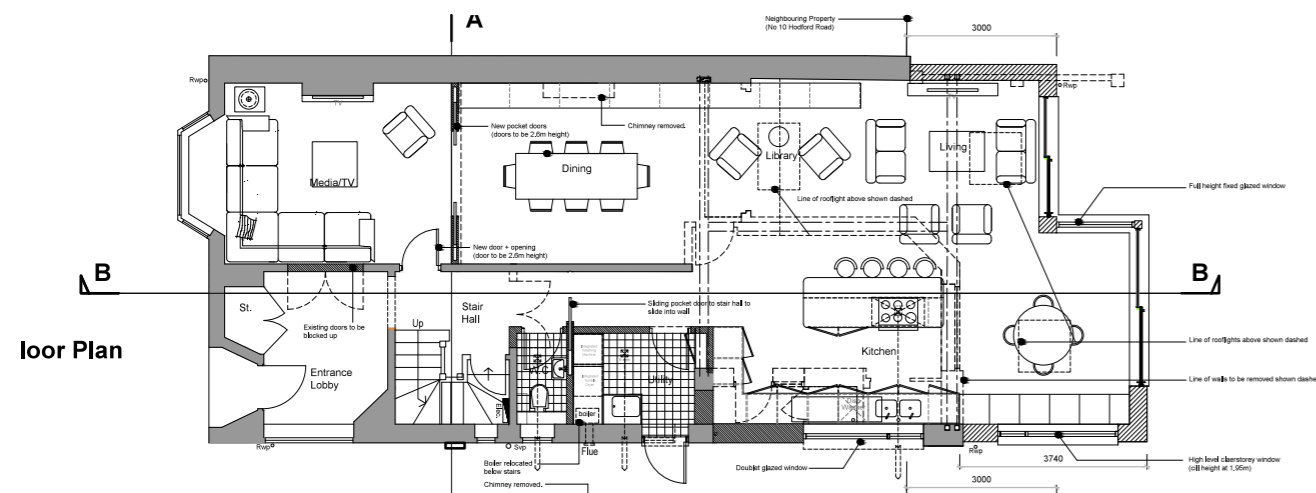


Fig 11. Proposed Ground Floor Plan - 8 Hodford Road

16/7064/HSE | Single storey side and rear extension. Alteration to access steps. Extension of existing patio. (AMENDED PLANS AND DESCRIPTION) | 229 West Heath Road London NW3 7UB

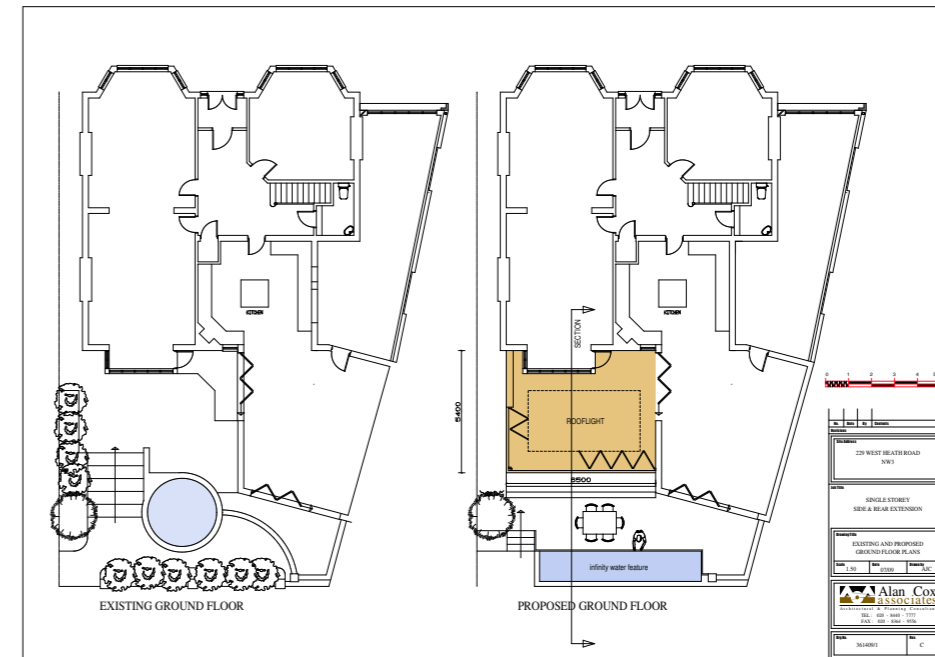


Fig 12. Existing & Proposed Ground Floor Plan - 229 West Heath Road

18/2277/HSE | Single storey rear extension with associated alterations to rear terrace including increase in height following demolition of existing conservatory. Addition of a Juliet balcony to rear at first floor level | 227 West Heath Road London NW3 7UB

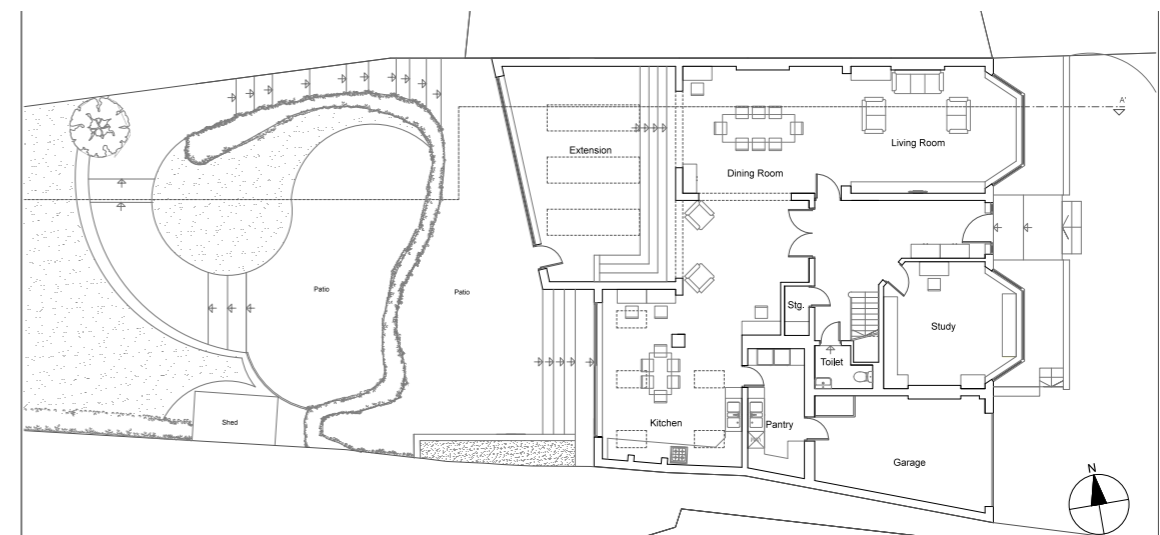


Fig 13. Proposed Ground Floor Plan - 227 West Heath Road

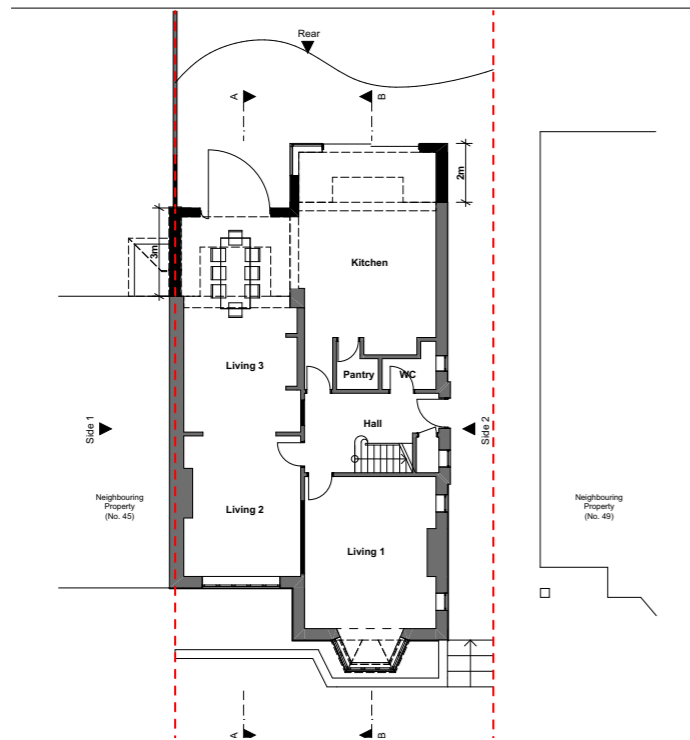


Fig 14. Proposed Ground Floor Plan - 47 West Heath

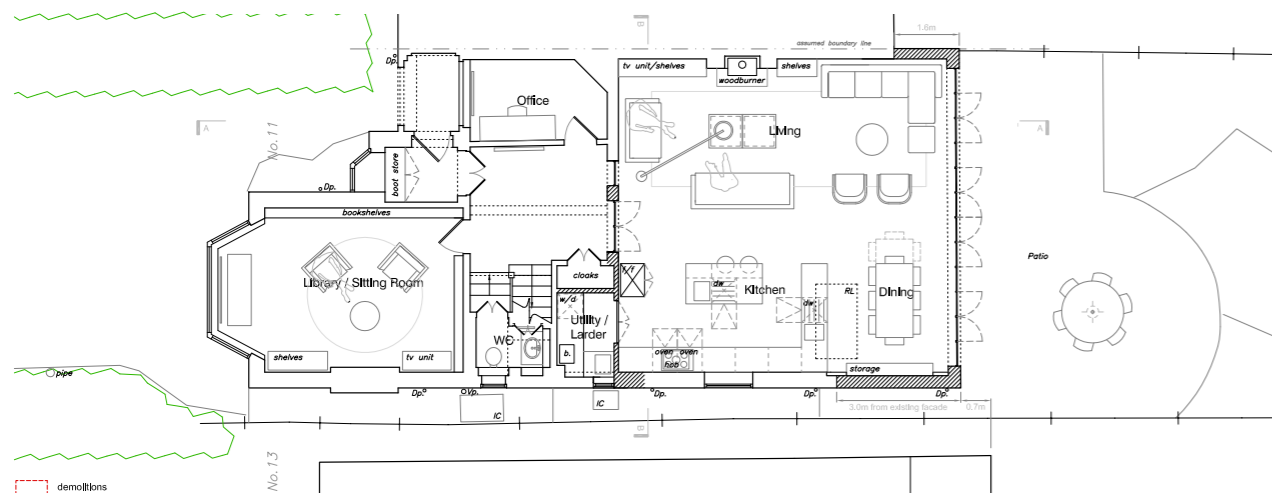


Fig 15. Proposed Ground Floor Plan - 11 West Heath

5.3 Planning policy

The following planning policies and documents have been considered in the preparation of this planning application:

- National Planning Policy Framework
- The Mayor's London Plan 2016
- Barnet Local Plan (2012) Policies
- Barnet Core Strategy Policies
- Barnet Development Management Policies Document Policies
- Local Supplementary Planning Documents

5.4 Planning policy compliance

Careful consideration has been given to the details of the proposal to ensure it responds positively to local character and reflects the identity of local surroundings and materials. The front elevation reinforces local distinctiveness by way of architectural details, scale, form and appearance. The rear elevation includes modern fenestration details (non-public in view).

The scheme allows for a more efficient use of the site, whilst responding to local character which is wholly in compliance with the NPPF. The extension of the property draws upon local distinctiveness and enables principles of sustainable design and construction to be employed. The building would be thermally more efficient with an improved energy performance and a reduced carbon footprint in use when compared to the original property.

The proposal retains a family dwelling and secures an improved inhabitation of the site. It embraces principles of good and sustainable design as well as sustainable construction techniques, all whilst protecting the established character and quality of the area. The site currently provides a single family sized dwelling and this would be unchanged by the proposal.

6.0 Design

6.1 Use

No change to the existing residential use is proposed as part of this application. The property will remain as a single dwelling for family use.

6.2 Layout

Alterations to the internal layout are proposed to take advantage of the added volume extensions which will improve the use of the building for the occupants throughout the house. The general distribution and orientation of spaces across the house is being retained, although greatly enhanced and enlarged.

6.3 Proposed development

The main components of the proposed development are as follows:

1. A rear and side GF extension
2. Proposed partial first storey extension and alterations to roof
3. Proposed front boundary changes including new wall & sliding gates
4. Insertion of new doors into existing garage
5. Replace existing windows with like-for-like replacements

The rear extension and alterations have been carefully designed to mitigate any disturbance to the adjoining neighbor while significantly enhancing the visual appeal of the rear elevation. Incorporating a pitched roof across the rear elevation serves a dual purpose: it creates a covered area and effectively reduces the impact on the adjoining neighbor by maintaining a low extension height along the boundary. The scheme is to be executed in a way which is strictly identical to the existing in terms of external architecture, elevations, features, materials and detailing. The partial first storey extension seeks to mimic that completed to the adjoining neighbour to improve a symetrial balance between the two properties whilst improving the functionality of the bedroom internally.

The proposed modifications to the front driveway aim to enhance both the security and visual aesthetics of the property. The relatively recently constructed building opposite features imposing masonry walls along both of its boundaries. In contrast, the proposal for 26 West Heath Avenue is designed to be sympathetic. The height of the new boundary treatment will align with the lowest point along the boundary of West Heath Avenue as per Barnets Design Guidance in relation to corner properties. To maintain harmony with the local architectural style, an aesthetically pleasing addition will be introduced – a timber fence atop a masonry wall. This material choice is in keeping with the surrounding vernacular, contributing to an overall softened and visually appealing appeal.

This application seeks to insert a set of sliding doors and a single access door to use the garage as an extension to the main living space in the form of a home office or similar. The proposed doors will match those proposed in the extension to the main house.

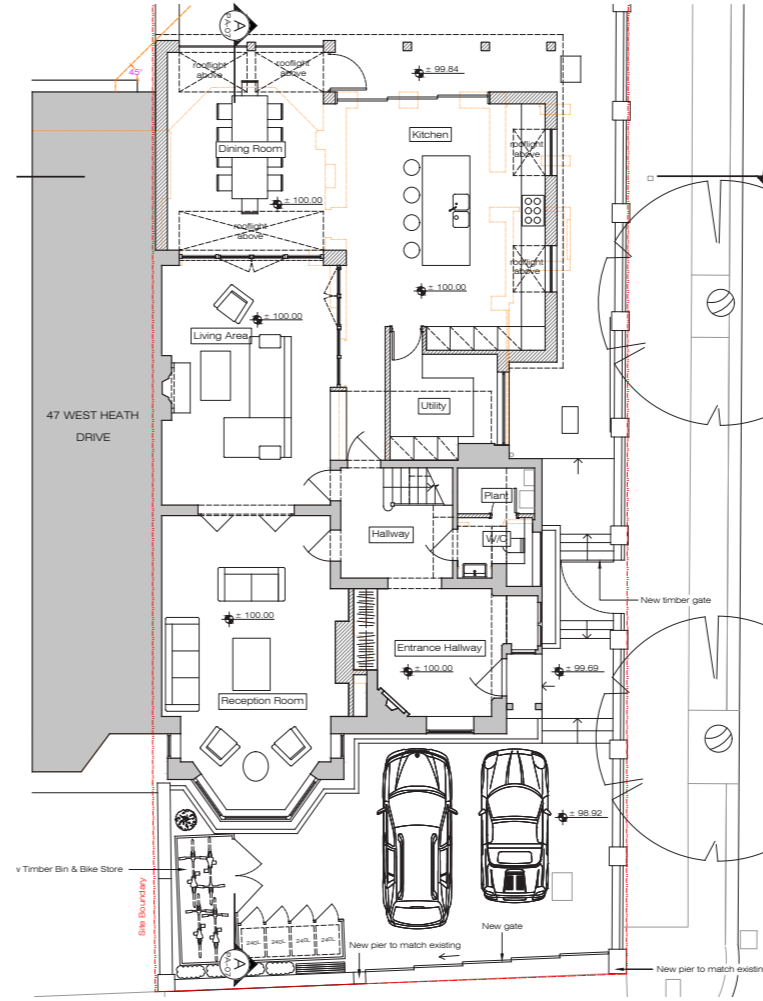


Fig 16. Proposed ground floor & driveway

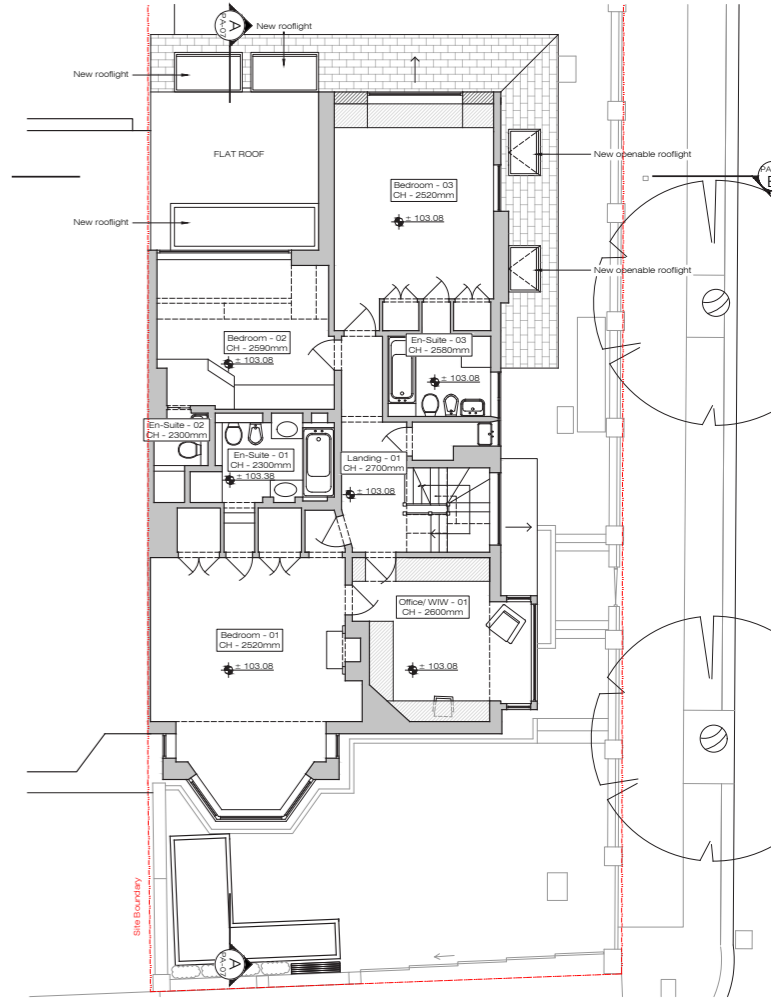


Fig 17. Proposed first floor

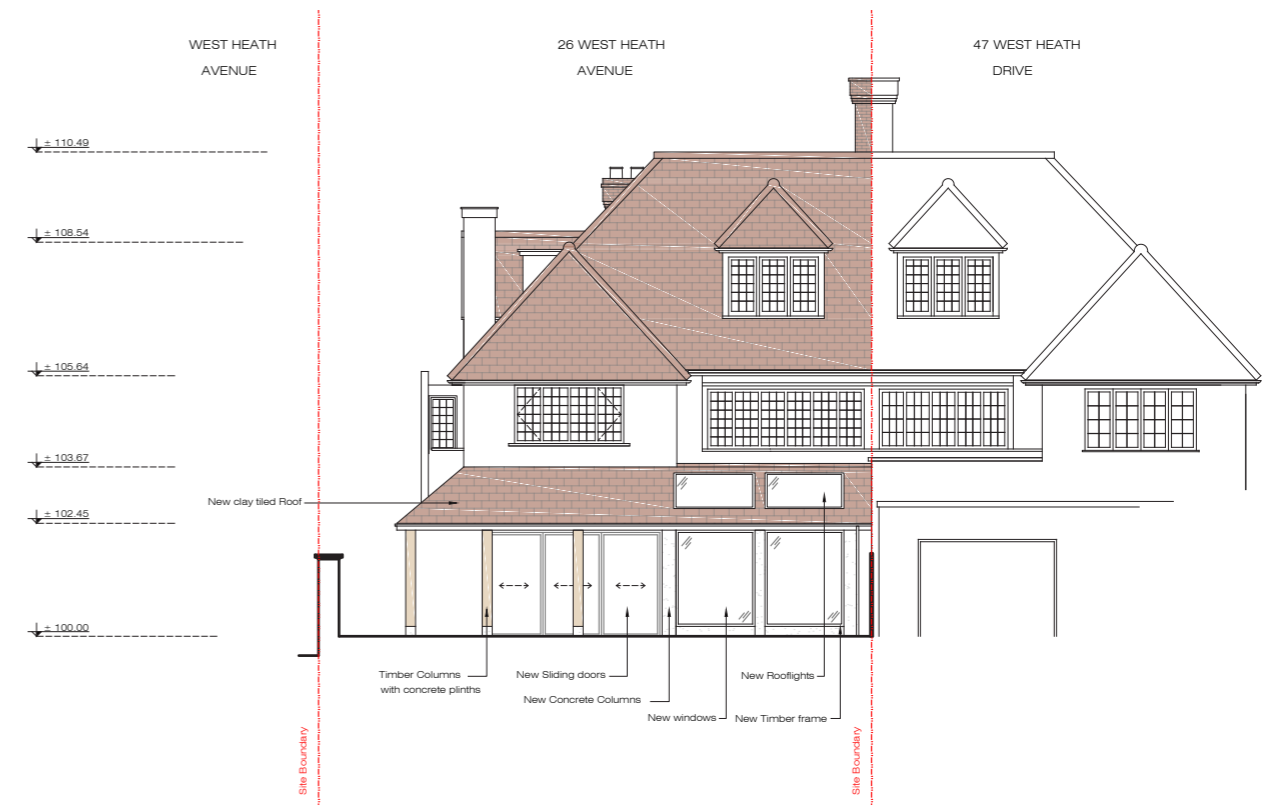


Fig 18. Proposed rear elevation



Fig 19. Proposed front elevation

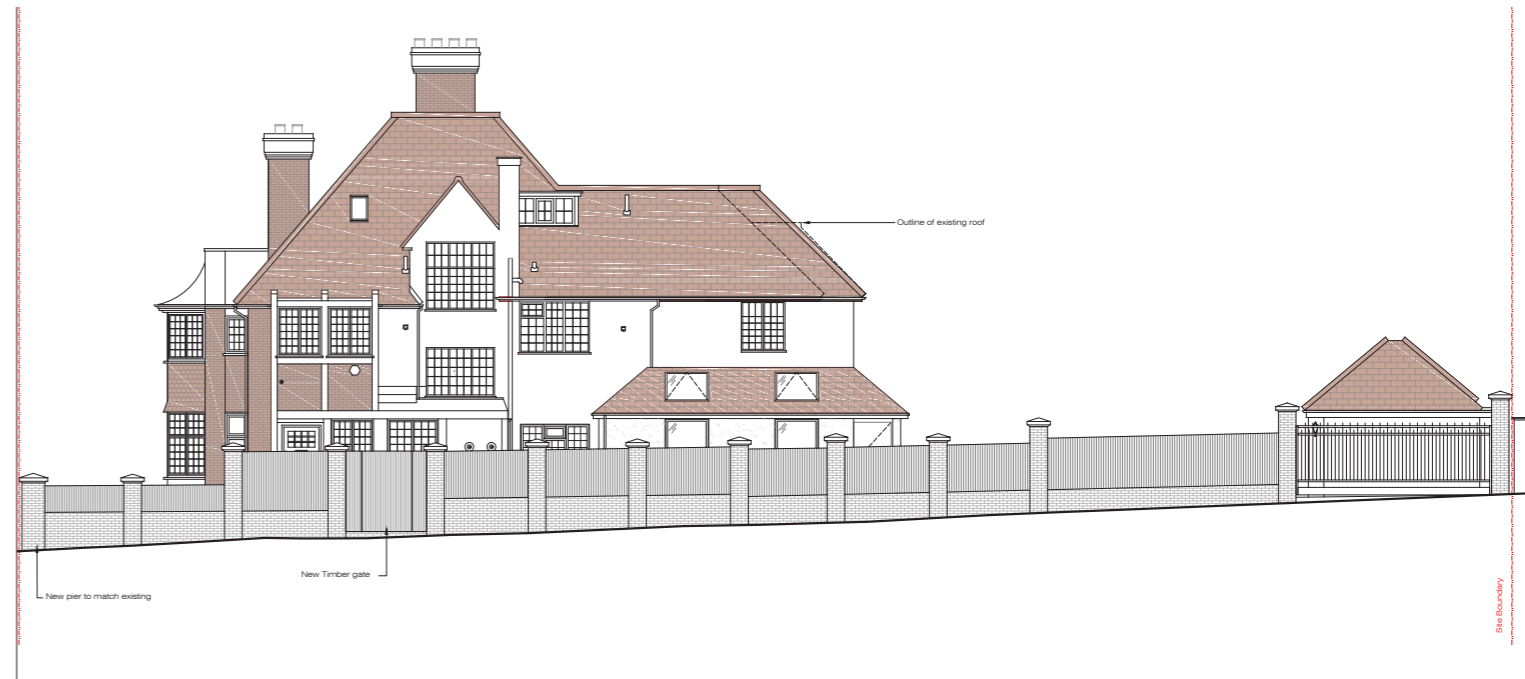


Fig 21. Proposed street elevation

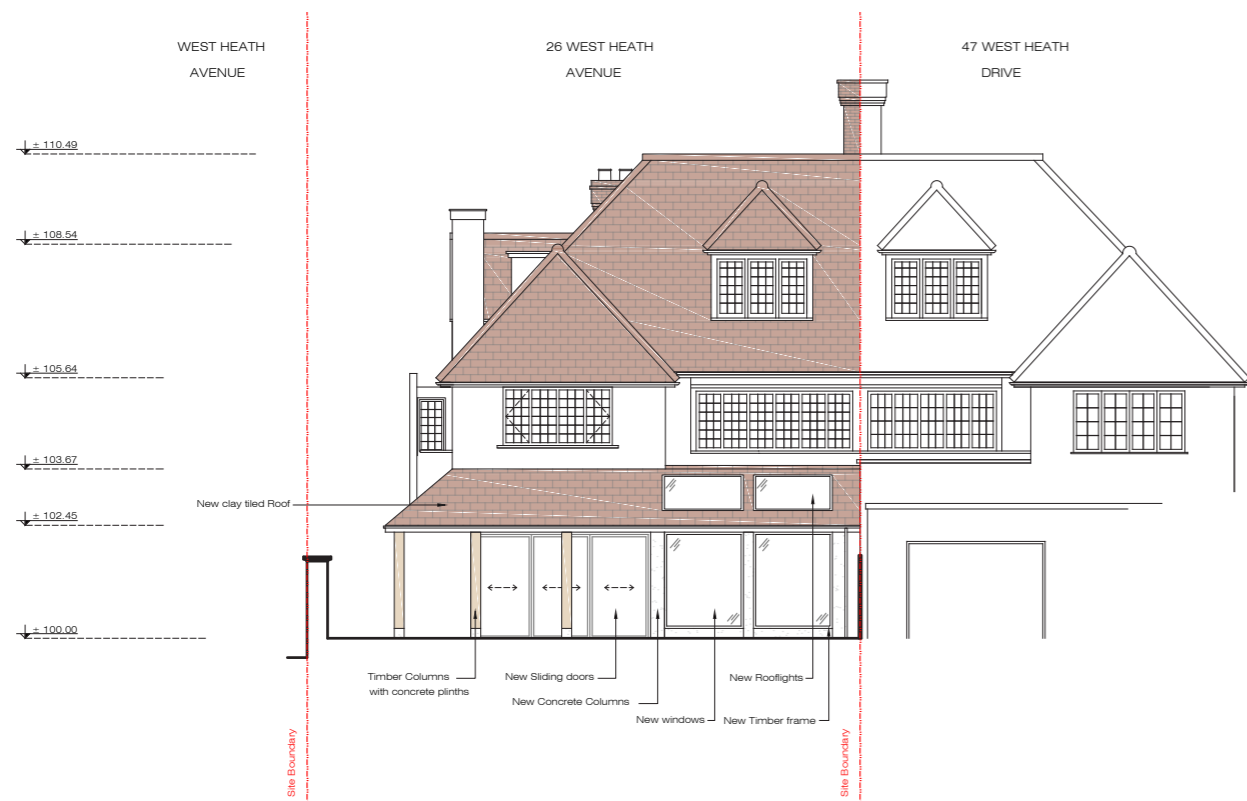


Fig 20. Proposed rear elevation

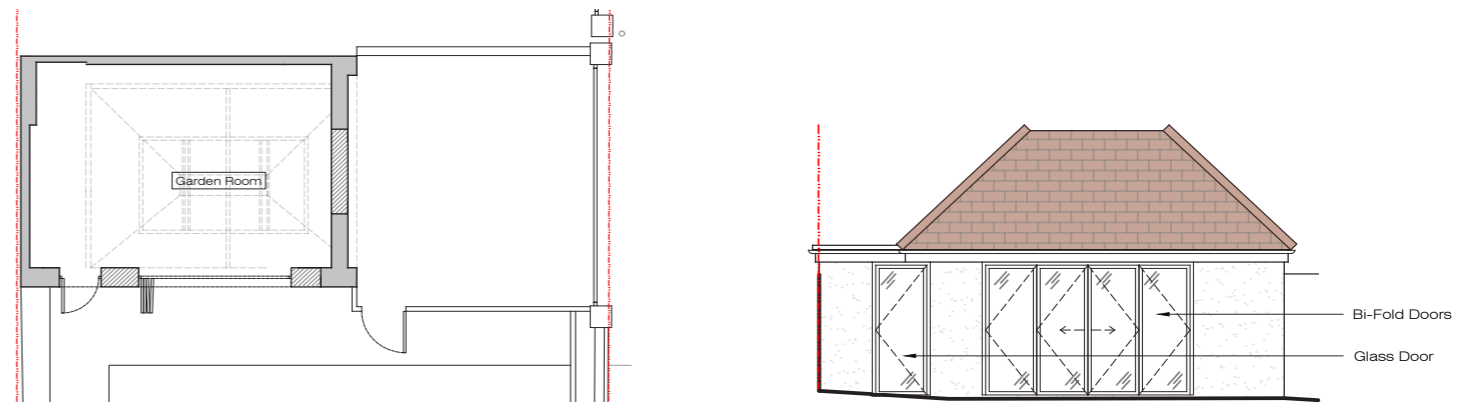


Fig 22. Proposed garage plan & elevation

6.4 Scale

The proposed ground floor extensions at the rear and side are primarily intended to replace existing structures, resulting in a total additional space of just over 7 square meters. The current conservatory is to be replaced with a properly insulated structure featuring a flat roof set at a lower level than the adjacent neighbouring extension. As the new structure extends beyond the rear elevation, the roof is designed with a downward pitch to minimize its impact on the neighboring property. To improve the connection of the side and rear extensions, a canopy supported by oak timbers is to wrap around the rear elevation.



Fig 23. Proposed rear & side extension

6.5 Appearance and Materiality

The proposal aims to be sympathetic and considerate in its appearance to the adjacent and surrounding built environment and character through the use of relevant materials, design, form and detail.

The materials and details to be used shall match the existing house as well as the neighbouring aesthetic:

- **External walls**
 - Rear & Side extensions: White Render
 - Main House: Existing white render to be replaced
 - Boundary Walls - Red Brick to match existing & Timber panelled fence
 - Oak posts with concrete plinths
- **Windows** (to be double glazed)
 - PPC aluminium windows to rear & side elevation
 - Aluminium Rooflights
 - New timber windows to match existing (All existing windows)
- **Doors**
 - PPC aluminium single leaf door & sliding doors to rear /side elevation
- **Roof**
 - Clay tiles to match existing
 - Liquid applied flat roof membrane

7.0 Access and Other Issues

7.1 Access

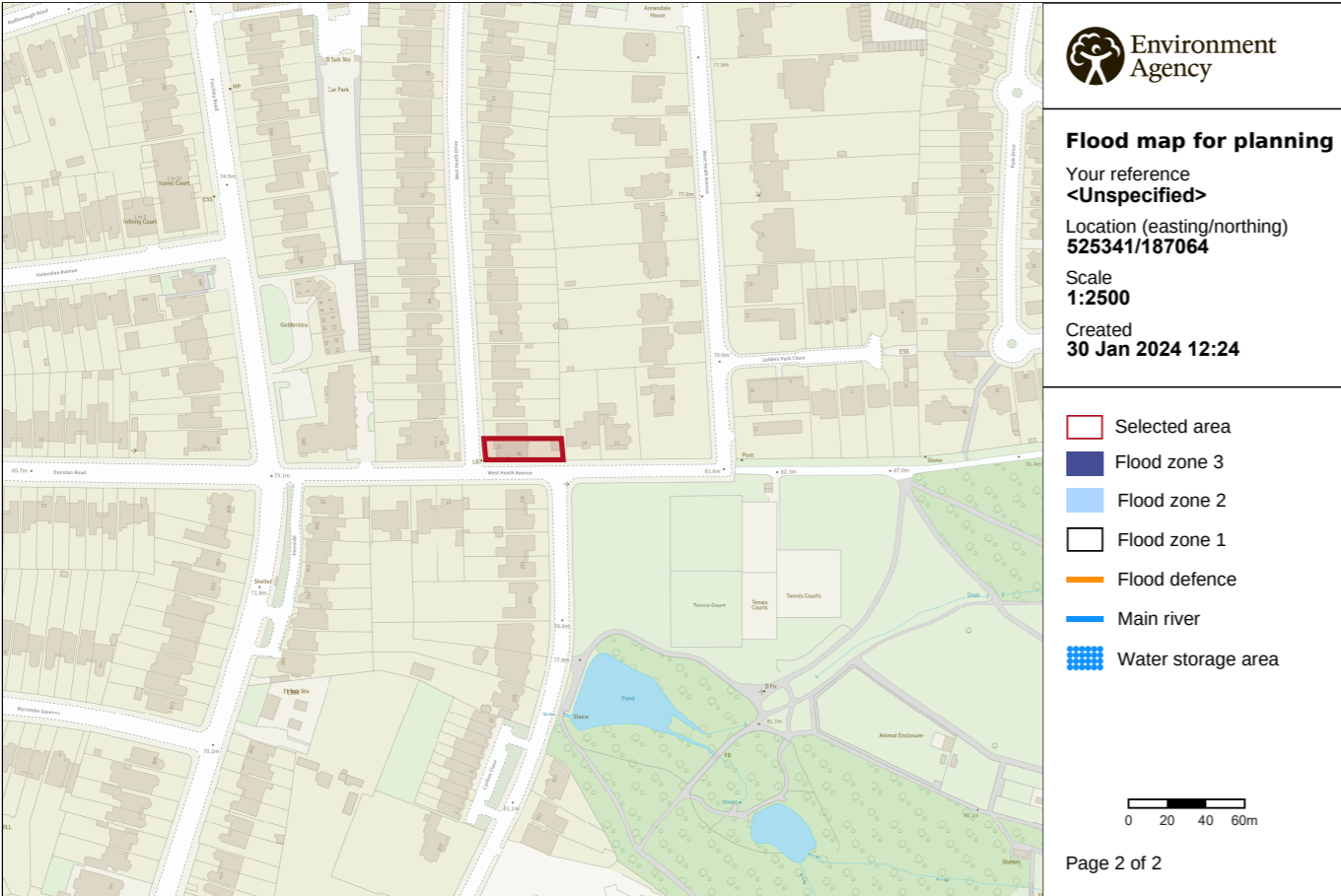
The proposed scheme will offer level access into the building. The pedestrian and vehicle entrance into and out of the site will remain the same although alterations are proposed to the boundary treatment.

7.2 Trees

There are no trees within the frontage of the site. There are a number of trees however outside of the boundary of 26 West Heath Avenue and these will not be adversely effected by the proposals.

7.3 Flood Risk

The application site is located within Flood Risk Zone 1, so a Flood Risk Assessment is not required (Fig 22).



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Fig 24. Flood risk map from the Environment Agency

8.0 Conclusion

In summary, the application provides a sensitive cohesive solution to creating much improved accommodation on the site, respectful of the character of the existing building and surrounding area. This is achieved through a considered design approach and inherent coherence with the surrounding built environment including scale, form and materiality. It is believed that the proposal will provide a positive contribution to the area whilst satisfying the requirements of future users.

Whilst we understand that every project is determined based on its own merits, this application is not substantially different from previously approved schemes on the same street.

Furthermore, based on the evidence shown on this report, along with the drawings submitted, this application seeks permission for works which are deemed compliant with the local development plans and planning policies and guidelines in place and should therefore be granted **approval**.

