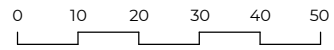




Location Plan  
1:1250



Proposed site plan  
1:500



Key

- Boundary Line
- - - Demolished

Schedule of Areas

Total Site Area	487 m <sup>2</sup>	
Existing Residential	326 m <sup>2</sup>	Existing Non-Residential
Residential area lost by change of use or demolition		Non Residential area lost by change of use or demolition
Proposed Residential	502 m <sup>2</sup>	Proposed Non-Residential
Net additional area	176 m <sup>2</sup>	

Rev No.	Date	Description
---------	------	-------------

Notes:  
Any inaccuracies or errors to be reported to the architect/surveyor immediately and prior to any work commencing. All dimensions to be verified on site. All work to comply with British Standards Code of practice. All external surfaces and materials to match existing. This drawing and all information provided within it is the copyright of UPP Consultants Ltd. and reproduction without prior consent is strictly forbidden.

Dwg No  
34RA-A-01-001 Drawn  
NS

Drawing  
Location Plan Checked  
EA

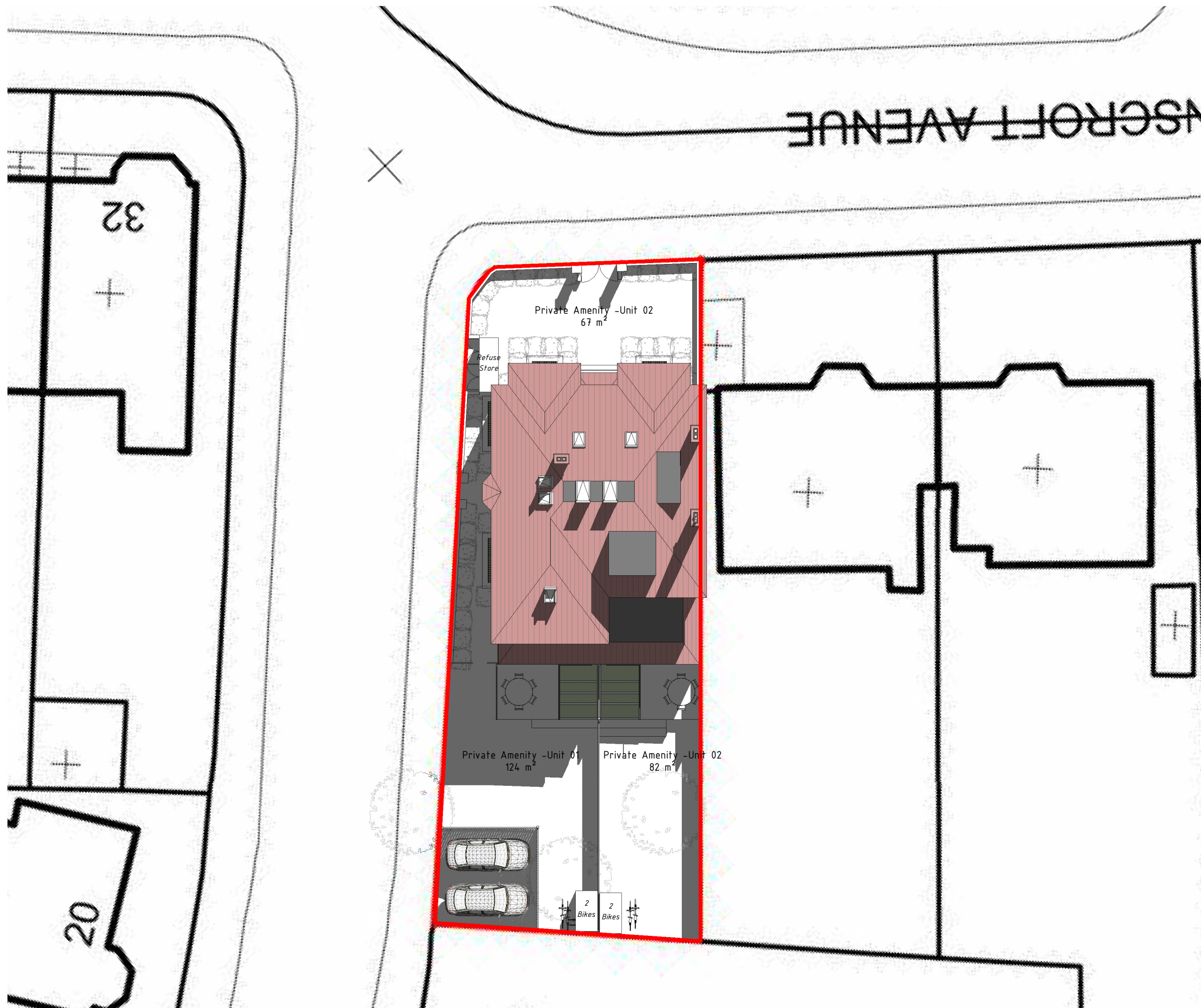
Scale  
As indicated @ A3 Issue Date  
14-09-2021



Project Address  
34 Ravenscroft Avenue

Client  
Jalojar Ltd. Status  
Planning





Key

--- Boundary Line

--- Demolished

Rev No.	Date	Description
1		

Notes:

Any inaccuracies or errors to be reported to the architect/surveyor immediately and prior to any work commencing. All dimensions to be verified on site. All work to comply with British Standards Code of practice. All external surfaces and materials to match existing. This drawing and all information provided within it is the copyright of UPP Consultants Ltd. and reproduction without prior consent is strictly forbidden.

Dwg No 34RA-A-01-002 Drawn NS

Drawing Proposed Block Plan Checked EA

Scale 1:200 @ A3 Issue Date 14-09-2021



Project Address 34 Ravenscroft Avenue

Client Jalojar Ltd. Status Planning

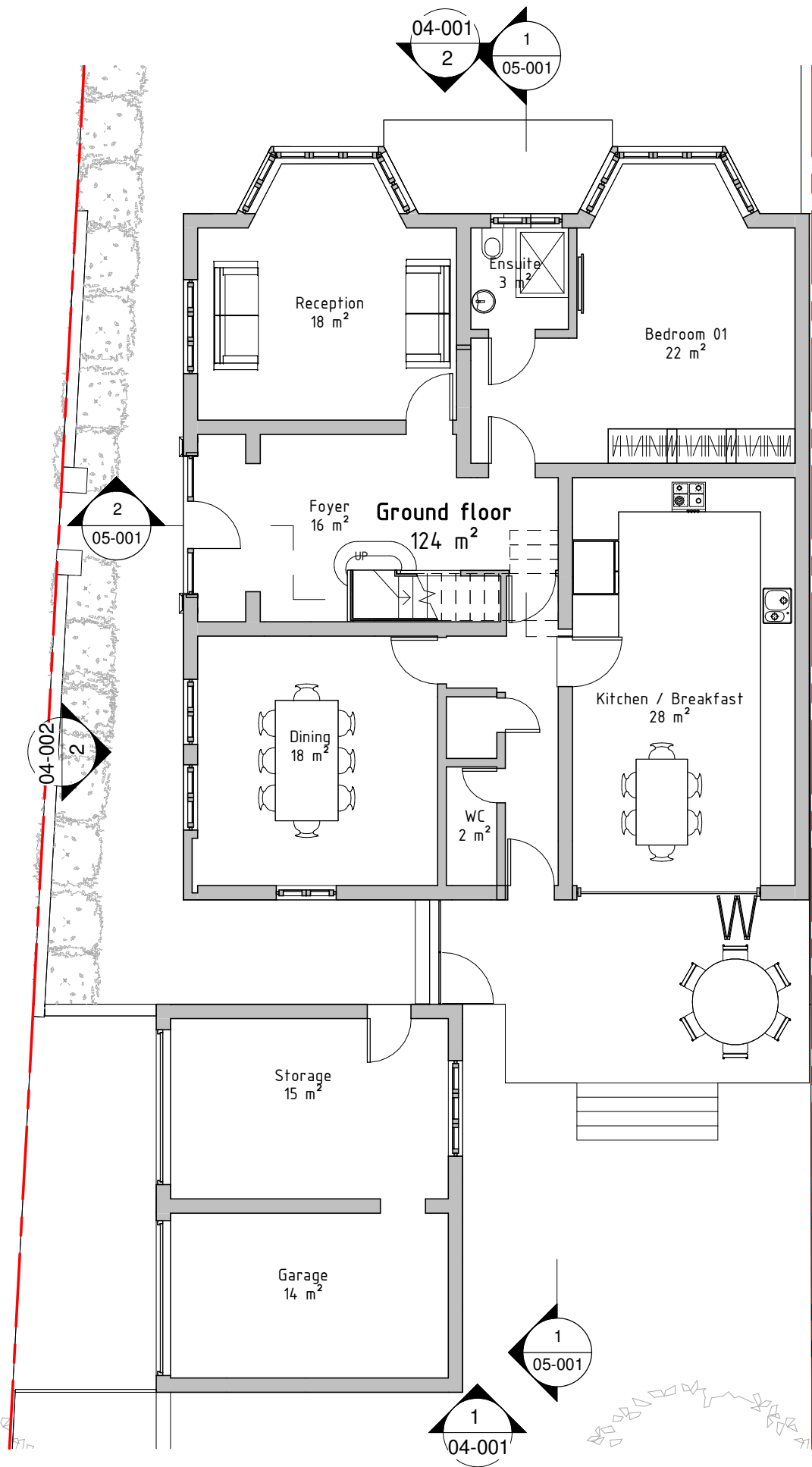
www.upp-planning.co.uk  
 info@upp-planning.co.uk  
 0208 202 9996  
 74 Brent St, Hendon,  
 London NW4 2ES



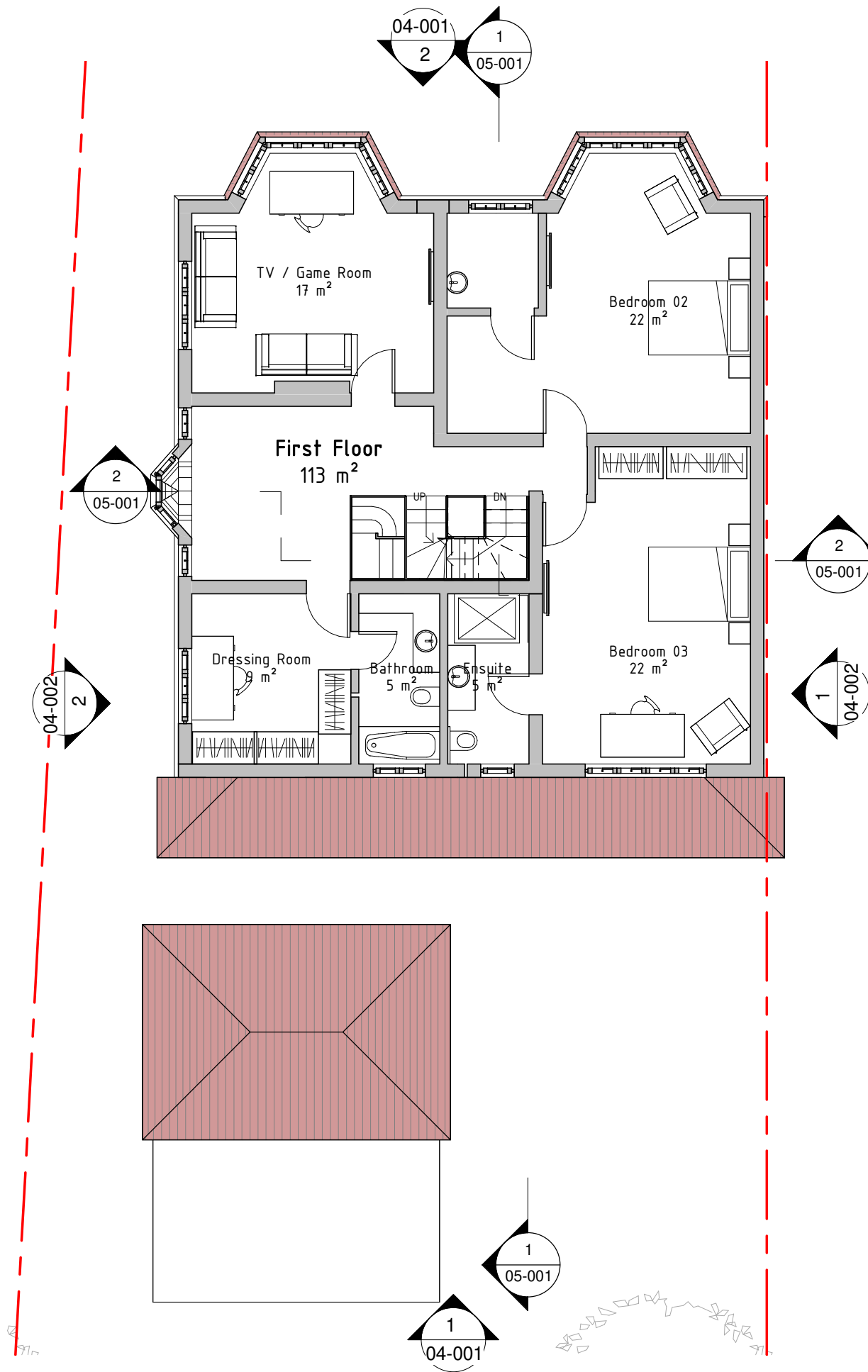
Key

- Boundary Line
- Demolished

Area Schedule (Existing)	
Name	Area
Ground floor	124 m <sup>2</sup>
Garage / Store	30 m <sup>2</sup>
First Floor	113 m <sup>2</sup>
Loft Floor	59 m <sup>2</sup>
	326 m <sup>2</sup>



00 GROUND FLOOR



01 FIRST FLOOR

Rev No.	Date	Description
---------	------	-------------

Notes:

Any inaccuracies or errors to be reported to the architect/surveyor immediately and prior to any work commencing. All dimensions to be verified on site. All work to comply with British Standards Code of practice. All external surfaces and materials to match existing. This drawing and all information provided within it is the copyright of UPP Consultants Ltd. and reproduction without prior consent is strictly forbidden.

Dwg No	34RA-A-02-001	Drawn	NS
--------	---------------	-------	----

Drawing	Existing Ground and First Floor	Checked	EA
---------	---------------------------------	---------	----

Scale	1:100 @ A3	Issue Date	14-09-2021
-------	------------	------------	------------



Project Address  
34 Ravenscroft Avenue

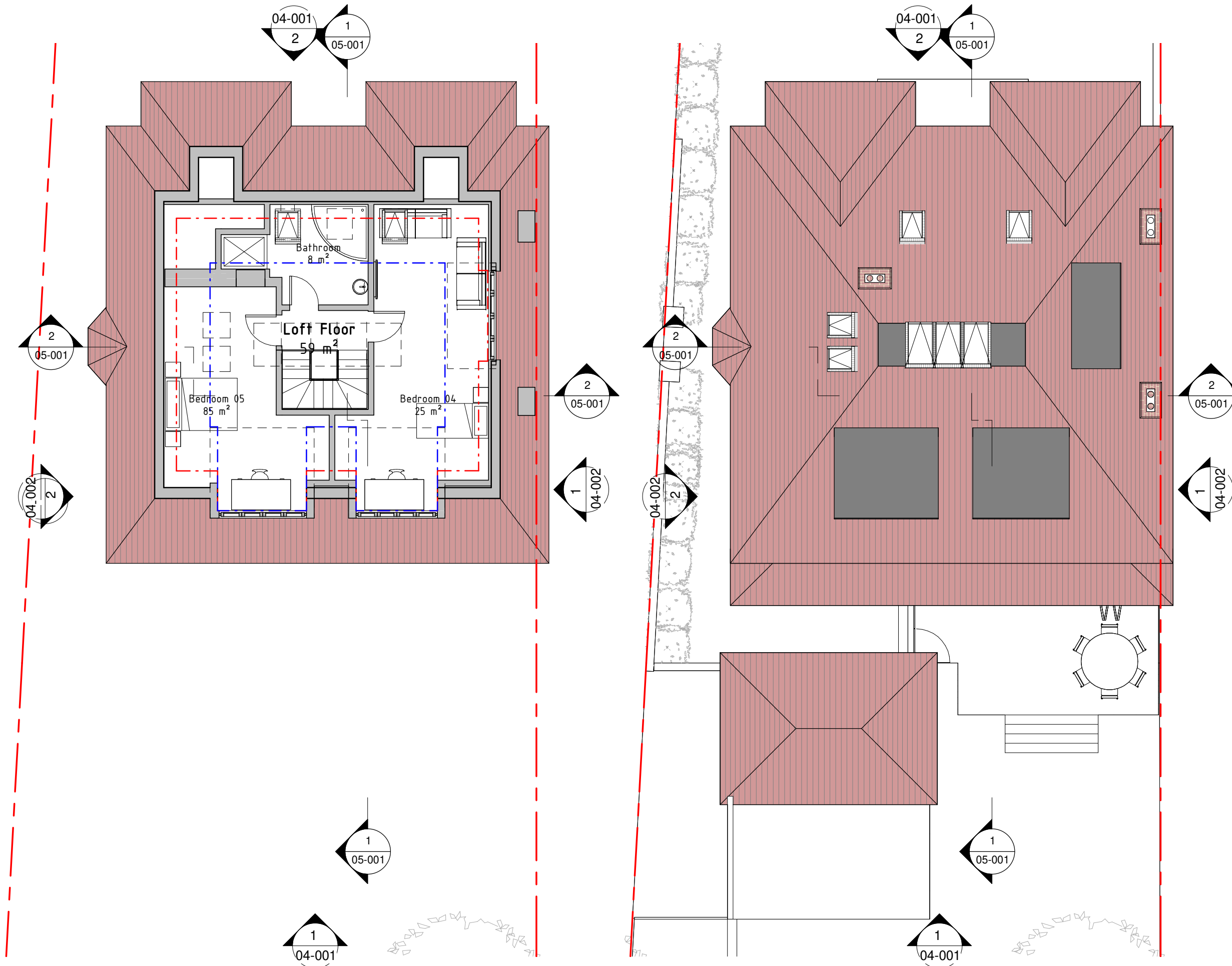
Client	Jalojar Ltd.	Status	Planning
--------	--------------	--------	----------

www.upp-planning.co.uk  
info@upp-planning.co.uk  
0208 202 9996  
74 Brent St, Hendon,  
London NW4 2ES



Key

- Boundary Line
- - - Demolished



02 SECOND FLOOR

03 THIRD FLOOR

Rev No.	Date	Description
---------	------	-------------

Notes:

Any inaccuracies or errors to be reported to the architect/surveyor immediately and prior to any work commencing. All dimensions to be verified on site. All work to comply with British Standards Code of practice. All external surfaces and materials to match existing. This drawing and all information provided within it is the copyright of UPP Consultants Ltd. and reproduction without prior consent is strictly forbidden.

Dwg No	Drawn
34RA-A-02-002	NS

Drawing	Checked
Existing Loft Floor and Roof	EA

Scale	Issue Date
1:100 @ A3	14-09-2021



Project Address  
34 Ravenscroft Avenue

Client	Status
Jalojar Ltd.	Planning

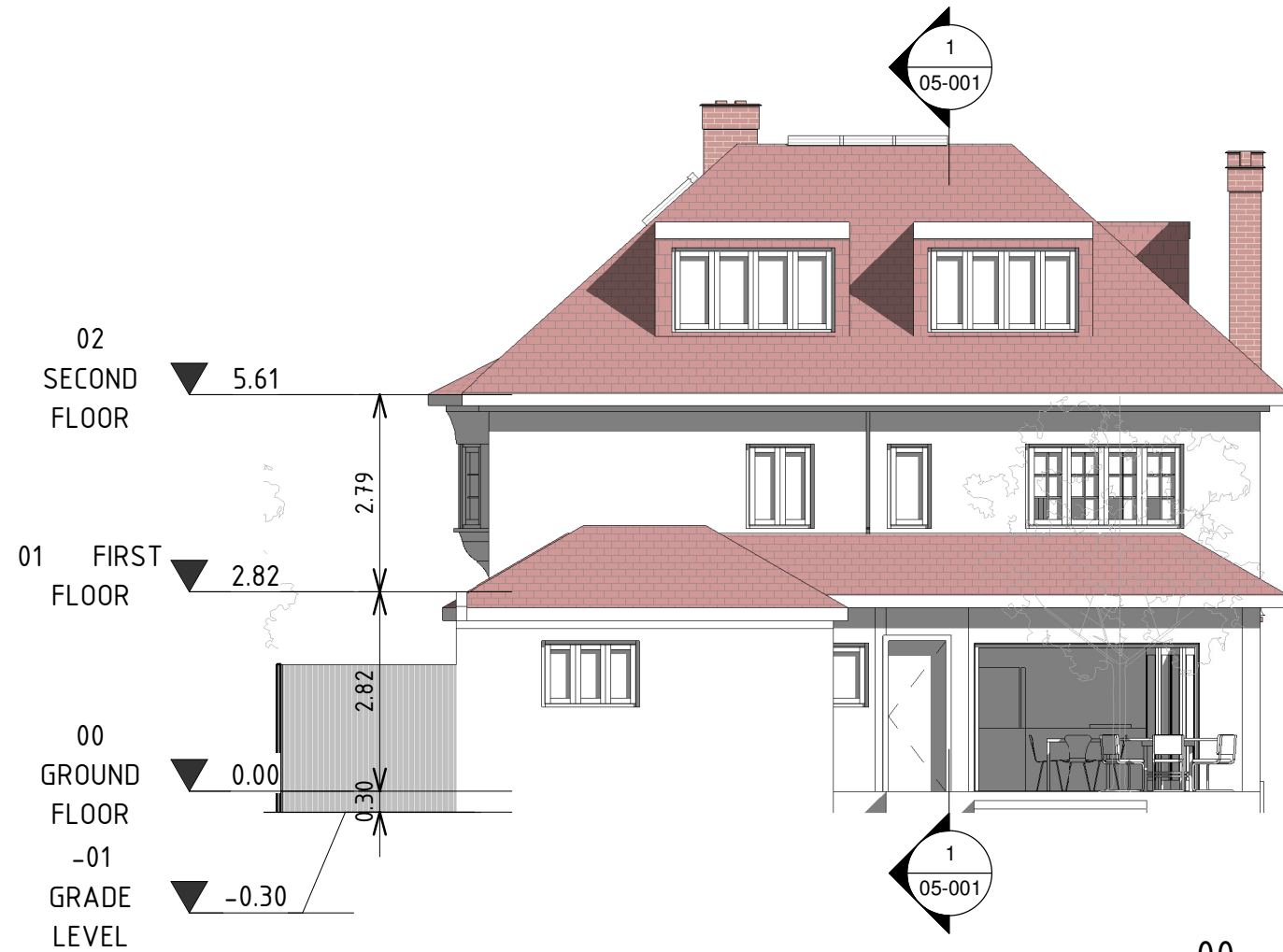
www.upp-planning.co.uk  
info@upp-planning.co.uk  
0208 202 9996  
74 Brent St, Hendon,  
London NW4 2ES



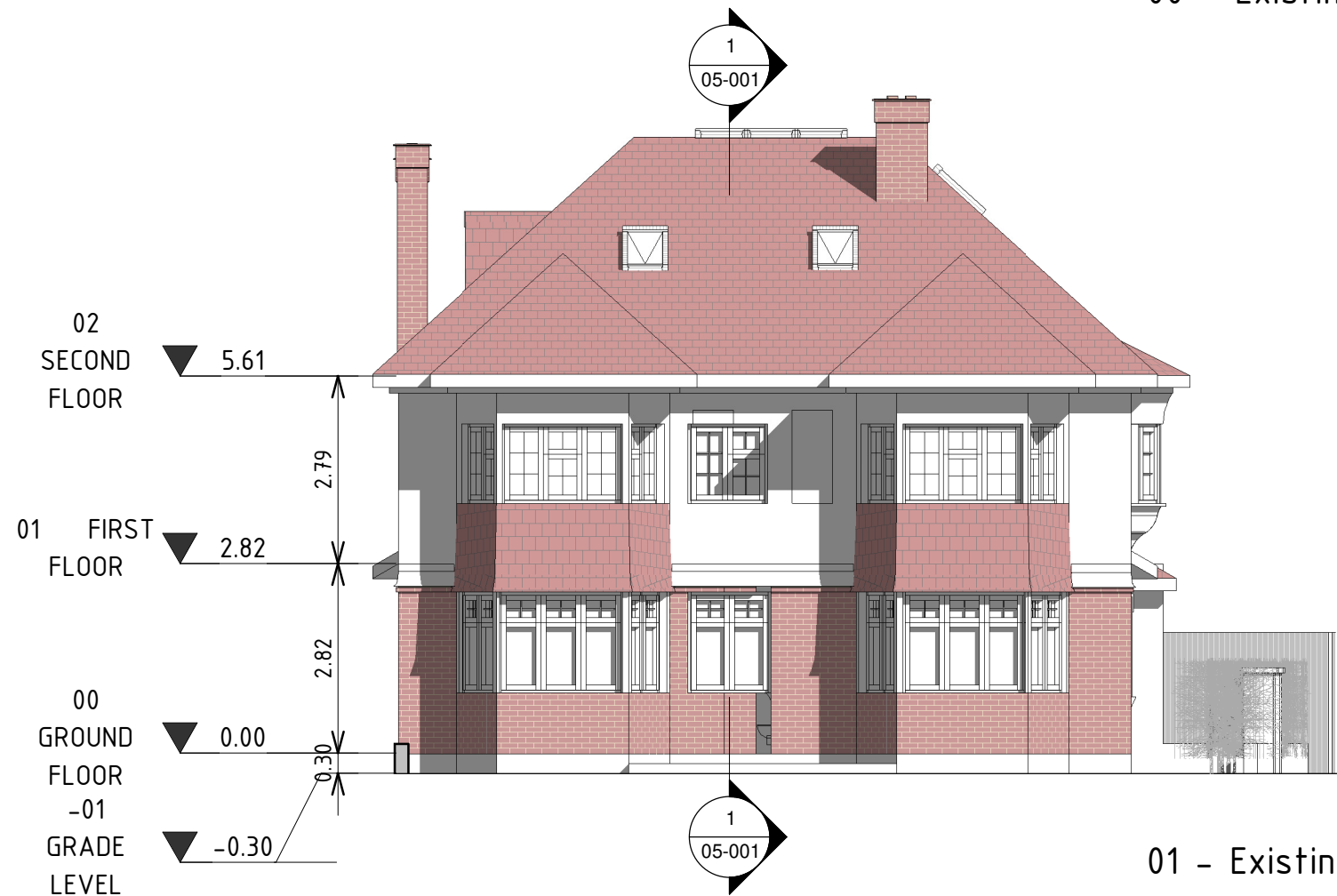


Key

- Boundary Line
- - - Demolished



00 - Existing Rear Elevation



01 - Existing Front Elevation

Rev No.	Date	Description
---------	------	-------------

Notes:

Any inaccuracies or errors to be reported to the architect/surveyor immediately and prior to any work commencing. All dimensions to be verified on site. All work to comply with British Standards Code of practice. All external surfaces and materials to match existing. This drawing and all information provided within it is the copyright of UPP Consultants Ltd. and reproduction without prior consent is strictly forbidden.

Dwg No 34RA-A-04-001	Drawn NS
-------------------------	-------------

Drawing Existing Elevation	Checked EA
-------------------------------	---------------

Scale 1:100 @ A3	Issue Date 14-09-2021
---------------------	--------------------------



Project Address  
34 Ravenscroft Avenue

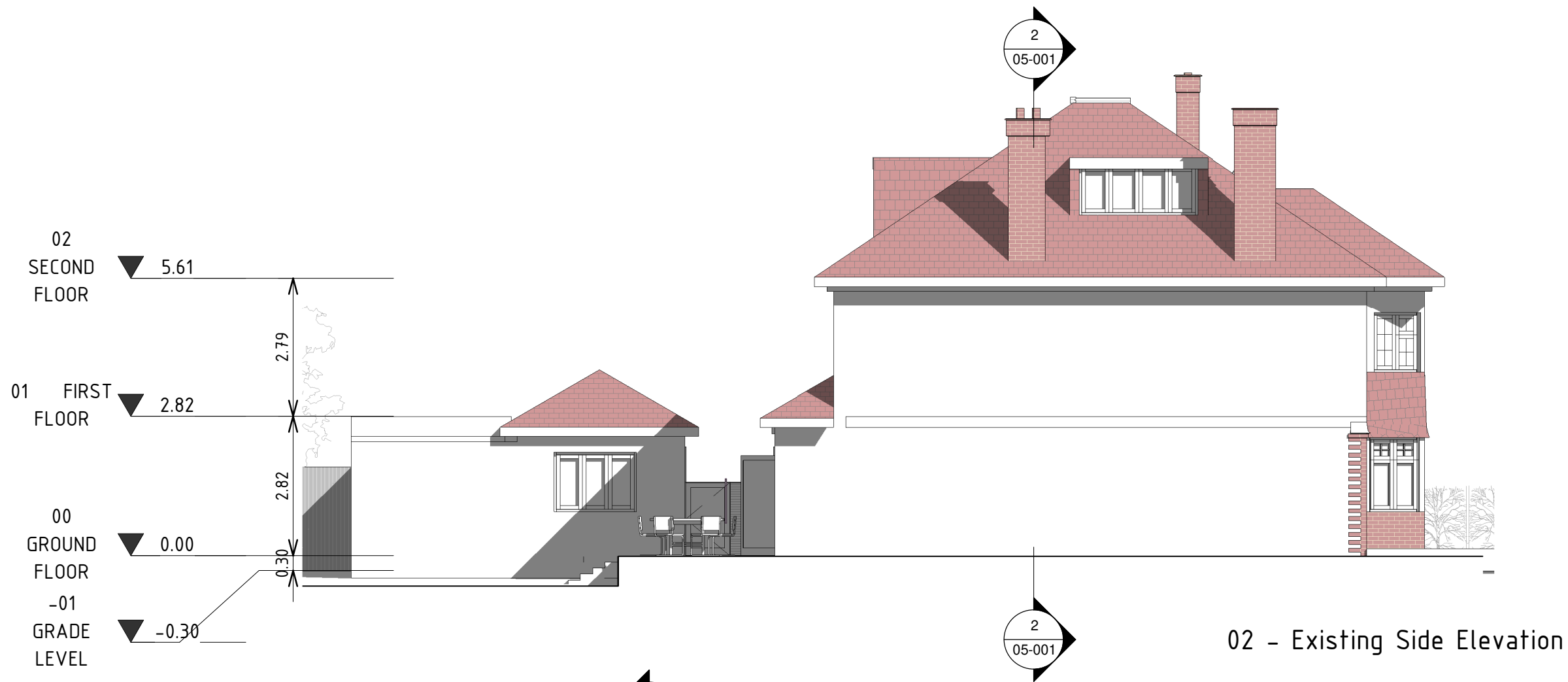
Client Jalojar Ltd.	Status Planning
------------------------	--------------------

www.upp-planning.co.uk  
info@upp-planning.co.uk  
0208 202 9996  
74 Brent St, Hendon,  
London NW4 2ES



Key

- Boundary Line
- Demolished



02 - Existing Side Elevation



03 - Existing Road Side Elevation

Rev No.	Date	Description
---------	------	-------------

Notes:

Any inaccuracies or errors to be reported to the architect/surveyor immediately and prior to any work commencing. All dimensions to be verified on site. All work to comply with British Standards Code of practice. All external surfaces and materials to match existing. This drawing and all information provided within it is the copyright of UPP Consultants Ltd. and reproduction without prior consent is strictly forbidden.

Dwg No	Drawn
34RA-A-04-002	NS

Drawing	Checked
Existing Elevation	EA

Scale	Issue Date
1:100 @ A3	14-09-2021

0 5m

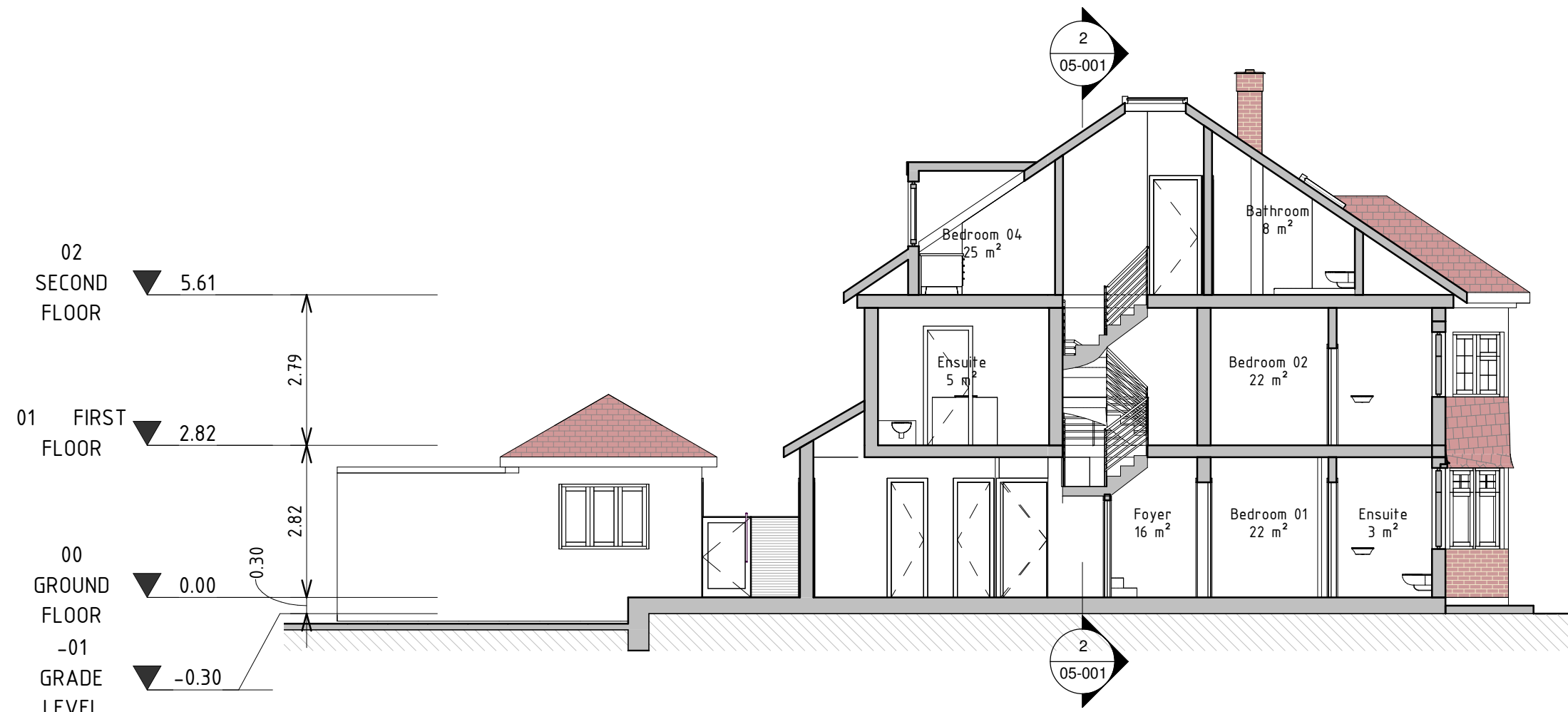
Project Address  
34 Ravenscroft Avenue

Client	Status
Jalojar Ltd.	Planning

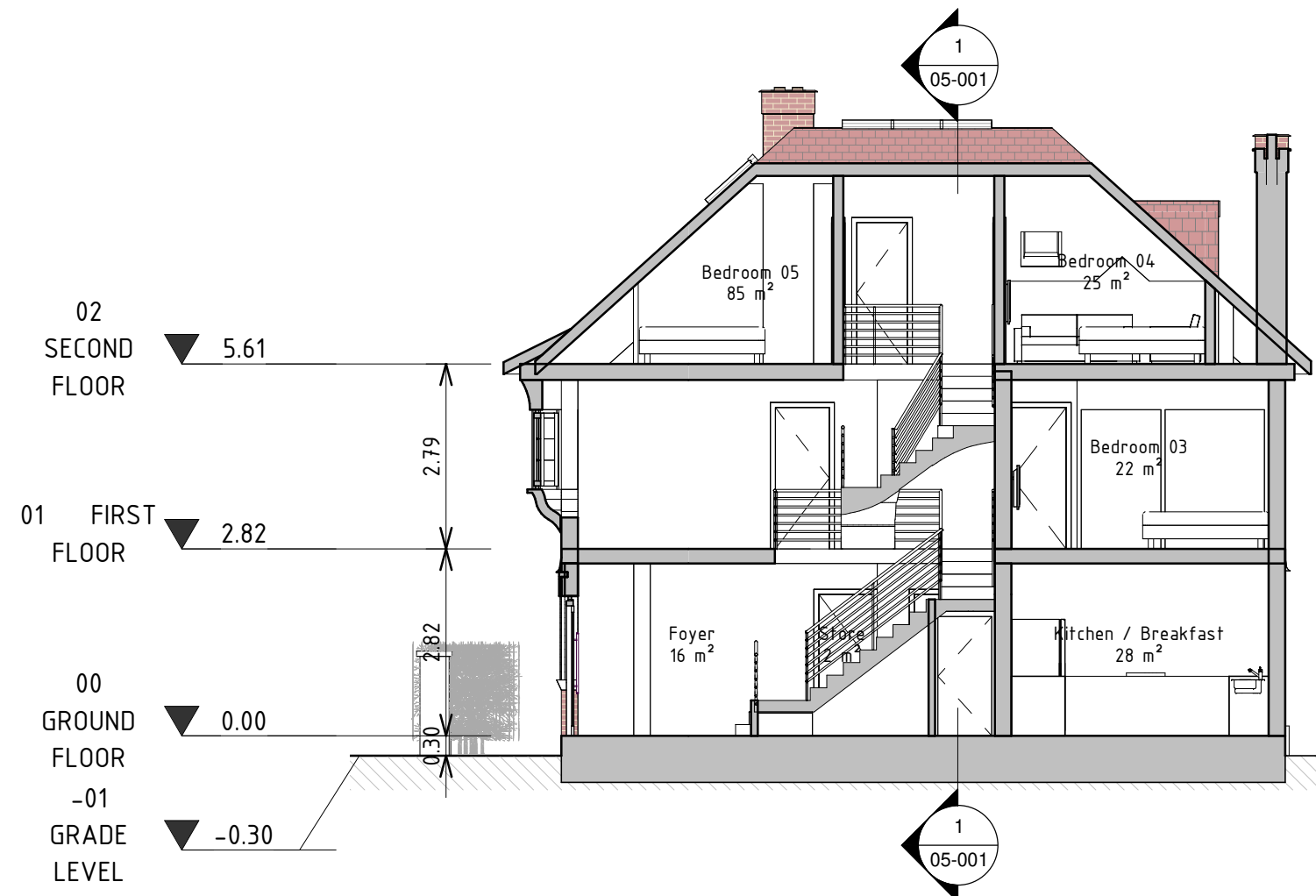
www.upp-planning.co.uk  
info@upp-planning.co.uk  
0208 202 9996  
74 Brent St, Hendon,  
London NW4 2ES



Key  
 - - - Boundary Line  
 - - - Demolished



00 Existing Section



01 Existing Section

Rev No.	Date	Description
---------	------	-------------

Notes:  
 Any inaccuracies or errors to be reported to the architect/surveyor immediately and prior to any work commencing. All dimensions to be verified on site. All work to comply with British Standards Code of practice. All external surfaces and materials to match existing. This drawing and all information provided within it is the copyright of UPP Consultants Ltd. and reproduction without prior consent is strictly forbidden.

Dwg No. 34RA-A-05-001  
 Drawn NS

Drawing Existing Section  
 Checked EA

Scale 1:100 @ A3  
 Issue Date 14-09-2021



Project Address  
 34 Ravenscroft Avenue

Client Jalojar Ltd.  
 Status Planning

Key

- — — — — Boundary Line
- — — — — Demolished



Rev No.	Date	Description
---------	------	-------------

Notes:

Any inaccuracies or errors to be reported to the architect/surveyor immediately and prior to any work commencing. All dimensions to be verified on site. All work to comply with British Standards Code of practice. All external surfaces and materials to match existing. This drawing and all information provided within it is the copyright of UPP Consultants Ltd. and reproduction without prior consent is strictly forbidden.

Dwg No	34RA-A-06-001	Drawn	NS
--------	---------------	-------	----

Drawing	Existing Visualization	Checked	EA
---------	------------------------	---------	----

Scale	@ A3	Issue Date	14-09-2021
-------	------	------------	------------

Project Address  
34 Ravenscroft Avenue

Client	Jalojar Ltd.	Status	Planning
--------	--------------	--------	----------

www.upp-planning.co.uk  
info@upp-planning.co.uk  
0208 202 9996  
74 Brent St, Hendon,  
London NW4 2ES





Key

- - - - Boundary Line
- - - Demolished



Rev No.	Date	Description
---------	------	-------------

Notes:

Any inaccuracies or errors to be reported to the architect/surveyor immediately and prior to any work commencing. All dimensions to be verified on site. All work to comply with British Standards Code of practice. All external surfaces and materials to match existing. This drawing and all information provided within it is the copyright of UPP Consultants Ltd. and reproduction without prior consent is strictly forbidden.

Dwg No	Drawn
<b>34RA-A-06-002</b>	<b>NS</b>

Drawing	Checked
<b>Existing Visualization</b>	<b>EA</b>

Scale	Issue Date
<b>@ A3</b>	<b>14-09-2021</b>

Project Address  
**34 Ravenscroft Avenue**

Client	Status
<b>Jalojar Ltd.</b>	<b>Planning</b>