

KEY

Strip out/ Removal

Existing ceiling height

PLEASE NOTE:
ALL DOORS TO BE REMOVED AND REPLACED WITH NEW FR DOORS. REFER TO SCHEDULES FOR ANY ORIGINAL SURROUNDS AND OR ARCHITRAVES

Remove existing staircase nosings

All shopfittings to be stripped and cleared away

Remove and replace rotten floor boards

All shopfittings to be stripped and cleared away

Existing rooflight above- to be cleaned and restored where required

Remove existing staircase nosings

Carefully strip-out all existing AC equipment throughout the ground floor

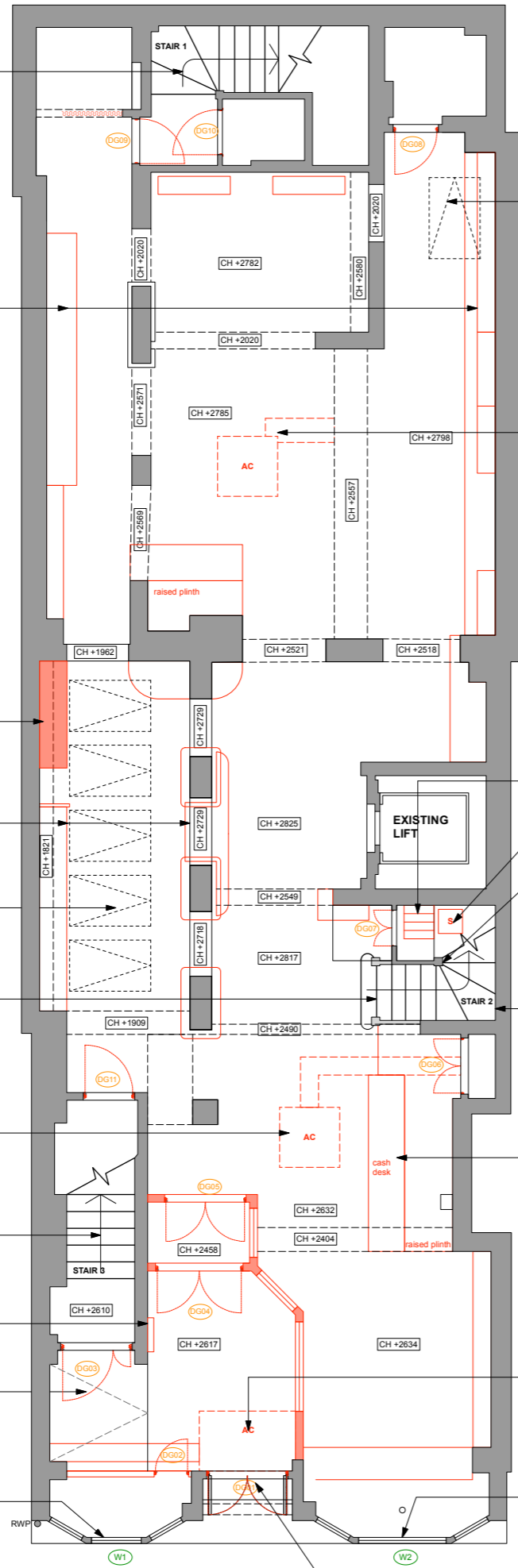
Remove existing staircase nosings

Fire Alarm Panel to be relocated to new position as shown on Builders work Plan

Change of level

Carefully remove Solar Shield film from window panes

GROUND FLOOR
scale 1:50 @ A1 / 1:100@ A3



Existing rooflight above- to be cleaned and restored where required

Hatch to ceiling

Remove existing heater

All shopfittings to be stripped and cleared away

Carefully strip-out all existing AC equipment throughout the ground floor

Carefully remove existing safe from site

Remove glazed timber cabinet and cart away from site

Existing rooflight- to be cleaned and restored where required

Carefully remove steps to basement

Carefully remove existing safe from site

Carefully strip existing paintwork to the staircase and redecorate. Any damage to be made good. Replace missing round newel cap

Wall panels paintwork to be carefully stripped and redecorated. Remove existing handrail. Any damage to the panels to be made good. New oak mopstick handrail to be installed

All shopfittings to be stripped and cleared away

Raised plinth with glazed panels

Carefully strip-out redundant AC equipment throughout the ground floor

Carefully remove Solar Shield film from window panes

Remove Existing entrance doors, subject to planning approval

NOTE: ALL PLANS ARE BASED ON LANDLORDS AGENT'S PDF PLANS COPY. FINAL DIMENSIONS TO BE CHECKED ON SITE.

GENERAL NOTES

Contractor to check all dimensions on site that relate to these drawings and to report any discrepancies to Designer prior to construction. All services to conform to Local Authorities, BCO and Environmental Health requirements. All structure to Structural Engineer's details, Local Authority and BCO requirements. All construction and materials to comply with current Building and Fire Regulations.

Contractor shall comply with: The CDM 2015 Regulations, Fire Precautions, Code of Practice for the Prevention of Fires on Construction sites and Buildings undergoing Refurbishment, Code of Welfare conditions as outlined in the National Working Rule Agreement for the Building Industry and any Statutory Rules and Orders relating to the provision and maintenance of welfare and safety measures and amenities for all work people employed on site.

All works, products, materials and installations to comply with manufacturer's printed recommendations and instructions and to the relevant British Standards. This drawing is to be read in conjunction with the Schedule of Works and Specification.

Do not scale this drawing, all dimensions to be verified on site, copyright of this drawing remains with lustedgreen LLP.

GENERAL WORKMANSHIP NOTES:
Works to be carried out in accordance with requirements within the Project Particulars, specification and schedules to include the following:

WORKMANSHIP SKILLS -
Operatives should be appropriately skilled and experienced for the type and quality of work, with Construction Skills Certification Scheme.

QUALITY OF PRODUCTS -
Supply of each product should be from the same source or manufacturer. Whole quantity of each product required to complete the Works should be consistent in kind, size, quality and overall appearance. Tolerances, where critical, measure a sufficient quantity to determine compliance.

QUALITY OF EXECUTION -
Generally, fix, apply, install or lay products securely, accurately, plumb, neatly and in alignment. Do not use different colour batches where they can be seen together. Check on-site dimensions. Finished work must not be defective, e.g. not damaged, disfigured, dirty, faulty, or out of tolerance. Adjust joints open to view so they are even and regular.

RELATED WORK -
Provide all trades with necessary details of related types of work. Before starting each new type or section of work ensure previous related work is, appropriately complete, in accordance with the project document, to a suitable standard, in a suitable condition to receive the new work and ensure all necessary preparatory work has been carried out.

MANUFACTURER'S RECOMMENDATIONS/ INSTRUCTIONS -
Comply with manufacturer's printed recommendations and instructions current on the date of the invitation to tender.

BRITISH STANDARDS -
Comply with all relevant British Standards and other standards relative to the trade and or product.

SAMPLES -
To be submitted for all materials and finishes and proposed ironmongery types for approval prior to ordering. Undertake or arrange to suit the Works programme.

SETTING OUT -
General tolerances (maximum): To BS 5606, tables 1 and 2. The Contractor is to be responsible for the execution of all setting out drawing to co-ordinate and execute the whole of the works.

THIS DRAWING SHOWS THE DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETAILED CONSTRUCTION DESIGN AND DETAIL, SUITABILITY OF MATERIALS AND STRUCTURAL STABILITY OF ALL ITEMS SHOWN ON THIS DRAWING. CONSTRUCTION/ FABRICATION DRAWINGS TO BE SUBMITTED TO DESIGNER FOR REVIEW PRIOR TO MANUFACTURE.

ALSO REFER TO SCHEDULES FOR FINISHES, DOORS, IRONMONGERY, SANITARYWARE AND FF&E

REV DATE COMMENTS

Trailfinders
CLIENT

24 High Street, Windsor
Berks, SL4 1LH LG22/158
PROJECT NAME PROJECT NUMBER

Existing/Strip-out Ground and First Floor
DRAWING TITLE

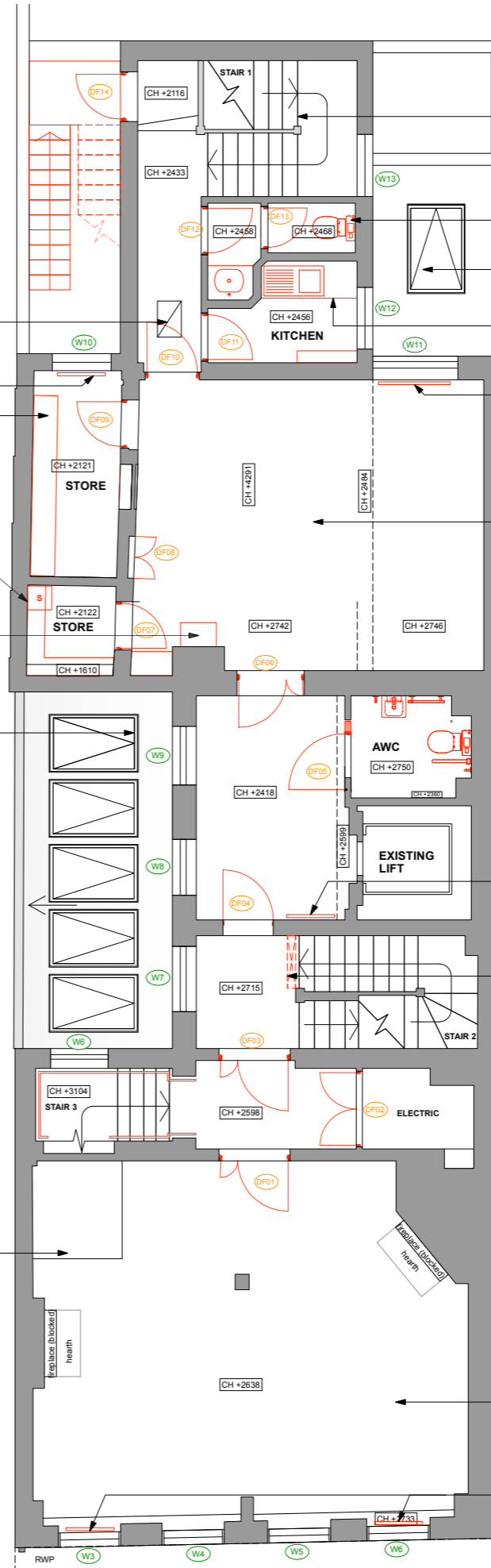
1:50 1:100
SCALE @ A1 SCALE @ A3

101
DRAWING NUMBER REV

lustedgreen

020 3176 2770
www.lustedgreen.com
studio@lustedgreen.com
Cargo Works | 1-2 Hatfields | London | SE1 9PG

FIRST FLOOR
scale 1:50 @ A1 / 1:100@ A3



Remove existing staircase nosings

All sanitaryware to be stripped and carted away

Existing rooflight- to be cleaned and restored where required

All kitchen fittings to be stripped and carted away

Remove existing heater

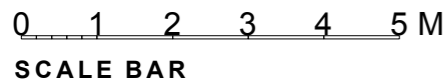
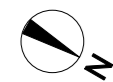
Roof light above - to be removed and replaced with solid slate roof to match surrounding roofs

Remove existing heater

Existing fire shutter to be carefully removed and replaced with fire curtain

Remove existing dropped ceiling and cornices

Remove existing heaters



PLANNING ISSUE