

EXISTING GROUND FLOOR
scale 1:50 @ A1 / 1:100 @ A3

Ref	Location	Photograph	Comments
01	Shopfront		Heritage style metal framed single glazed bay windows and front entrance double glazed painted timber entrance doors. Condition: Water damage to the stall riser (brickwork and plinth) under both bay windows. Also water to both windows. 1. New Entrance Doors, subject to planning approval. (see DWG LG22158_201) 2. Shopfront to be made good where required and painted Dulux Weathershield black. (see DWG LG22158_201) 3. Fascia board and all mouldings to be made good where required and painted Dulux Weathershield black. 4. Water damage to the brickwork and plinth to be repaired. 5. Make repairs to water damaged window. 6. Plinth to be decorated. 7. Carefully remove Solar Shield film from window panes.
02	Arch above the entrance. Shopfront		Windsora carved into the arch above the entrance. Condition: Water damage to the arch above the entrance. 1. Water damage to be made good and rest of shopfront to be painted Dulux Weathershield black (see DWG LG22158_201)
03	Stair Two		Traditional style staircase. Painted timber handrail with newel with round newel cap and turned spindles. Condition: Missing newel cap to newel on stair landing (see photo one). There is damage to newels on both sides of the staircase the ground floor. 1. Carefully stripped existing paintwork to the staircase the ground floor, any damage to be made good and redecorated. 2. Rope hooks to be removed from the newels on ground floor. 3. Replace missing newel cap 4. Remove existing staircase nosings
04	Stair Two Ground floor to first floor		Painted board and batten wall panels around the staircase walls with painted modern mopstick handrail. Condition: Existing panels are in poor condition 1. Wall panels paintwork to be carefully stripped and redecorated. 2. Damages to the panels to be made good. 3. Remove existing handrail and install with new oak mopstick handrail.
05	Ground floor sales		Wall Condition: Water damage to section of wall underneath velux roof lights, 1. Remove existing paintwork from the wall 2. Investigate and repair the leak from source 3. Make good damage section of the wall
06	Ground floor sales		Floor Condition: Section of flooring has water damage, which is probably cause by a leak in the roof 1. Carefully remove rotten floor board and replace
07	Ground floor sales		Ceiling & Cornice Condition: Section of the dropped ceiling has water damage and cracks. Cornice (non heritage) was installed after the the ceiling was dropped 1. Carefully strip out ceiling and replace and redecorate 2. Carefully strip out shopfittings and redundant lighting 3. Carefully remove redundant A/C units from the ceiling

GENERAL NOTES

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WORKMANSHIP SKILLS -
Operatives should be appropriately skilled and experienced for the type and quality of work, with Construction Skills Certification Scheme.

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RELATED WORK -
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SAMPLES -
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SETTING OUT -
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ALSO REFER TO SCHEDULES FOR FINISHES, DOORS, IRONMONGERY, SANITARYWARE AND FF&E

REV	DATE	COMMENTS

Trailfinders
CLIENT

24 High Street, Windsor
Berks, SL4 1LH
PROJECT NAME LG22/58
PROJECT NUMBER

Existing Ground Floor Damages and Original Features Photographic Schedule
DRAWING TITLE

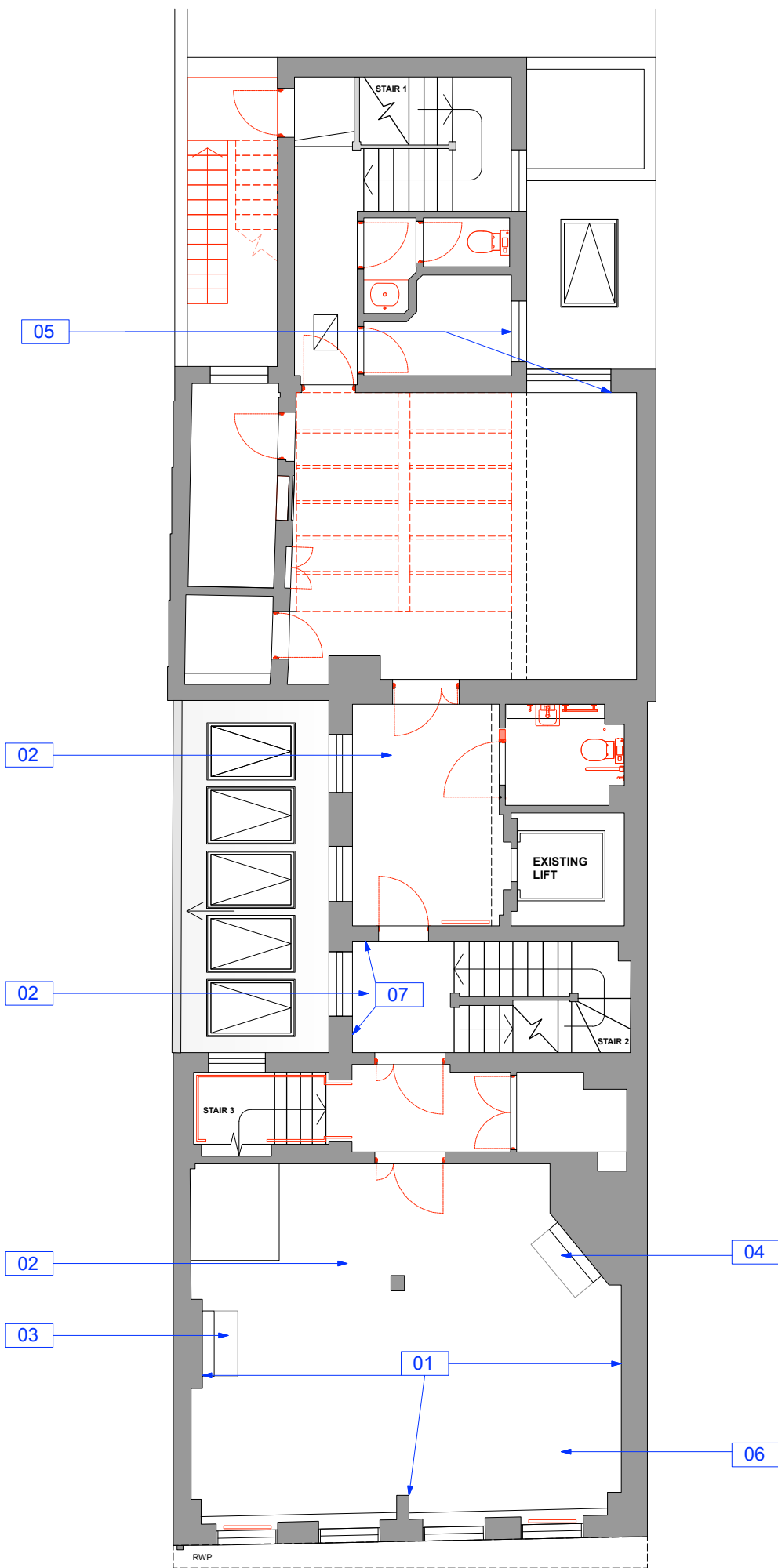
1:50 1:100
SCALE @ A1 SCALE @ A3

130
DRAWING NUMBER REV

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PLANNING ISSUE



EXISTING FIRST FLOOR
scale 1:50 @ A1 / 1:100 @ A3

Ref	Location	Photograph	Comments
01	First front sales area		Existing Painted board and batten wall panels. (shopfittings) Condition: Panels are in poor condition 1. Carefully strip out wall panels to existing walls. 2. All existing walls to be made good and prepared for decoration. All repairs to be undertaken using lime plaster
02	First front sales area flooring		Wide plank timber flooring. Condition: Flooring is in poor condition. 1. Any damage to be made good.
03	First front sales area fireplace hearth		Fireplace (heritage unknown) Existing fire place is currently blocked. Slate hearth in front of fireplace is flushed into the timber flooring. Fireplace surround is modern painted chipboard. Condition: Hearth is in reasonable condition, any damage will be made good. Fireplace to remain blocked Add grille added to existing blocked fireplace for sufficient ventilation
04	First front sales area corner fireplace hearth		Fireplace Stone hearth in front of fireplace is flushed into the timber flooring. Condition: Fireplace and surround removed and currently blocked. Hearth has a crack in the bottom right hand side. Also there are paint marks and stains. to the surface. Any damage will be made good Add grille added to existing blocked fireplace for sufficient ventilation
05	First Floor Walls		First Floor walls Condition: Water damage to section of walls throughout the first floor. 1. Remove existing paintwork from the wall 2. Investigate and repair the leak from source 3. Make good damage section of the wall 4. All existing walls to be made good and prepared for decoration. All repairs to be undertaken using lime plaster
06	First front sales area		Existing dropped ceiling with downlighters and cornice in first floor front sales area, which are modern addition to the space. 1. Existing dropped ceiling and modern cornice carefully remove. New ceiling to be installed
07	First Floor Lobby		Existing Painted board and batten wall panels. Condition: Panels are in poor condition 1. Carefully strip out wall panels. 2. All existing walls to be made good and prepared for decoration. All repairs to be undertaken using lime plaster
08	First Floor Lobby Ceiling		Existing cornice and dropped ceiling with downlighters in first floor front lobby area, which are modern addition to the space. 1. Existing dropped ceiling and cornice carefully remove. Install new ceiling and lighting
09	First Floor Stairs		Traditional style staircase. Painted board and batten wall panels around the staircase walls with painted modern mopstick handrail. Condition: Existing panels are in poor condition 1. Wall panels paintwork to be carefully stripped and redecorated. 2. Damages to the panels to be made good. 3. Remove existing staircase nosings 4. Remove existing handrail and install with new oak mopstick handrail.

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REV	DATE	COMMENTS

Trailfinders
CLIENT

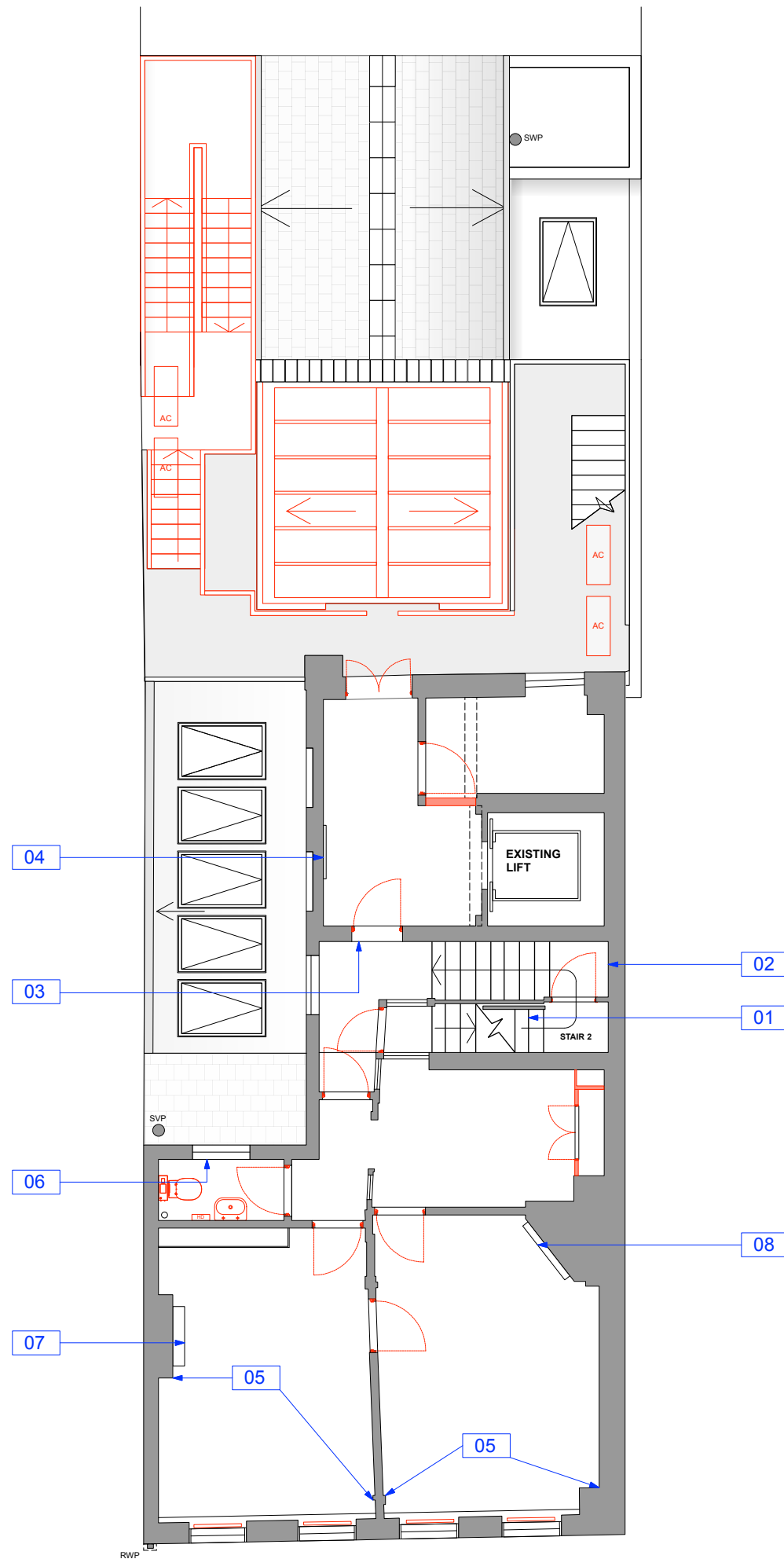
24 High Street, Windsor
Berks, SL4 1LH
PROJECT NAME
EXISTING FIRST FLOOR DAMAGES and Original Features
PROJECT NUMBER LG22/58
Schedule
DRAWING TITLE

1:50 SCALE @ A1
1:100 SCALE @ A3

131
DRAWING NUMBER REV

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PLANNING ISSUE



EXISTING SECOND FLOOR
scale 1:50 @ A1 / 1:100 @ A3

Ref	Location	Photograph	Comments
01	Staircase Two first to second floor		Traditional style staircase. Painted timber handrail with newel and turned spindles. Condition: Staircase is in a reasonable condition. Existing paintwork is very thick, with a lot of the details lost. 1. Carefully stripped existing paintwork to the staircase the ground floor, any damage to be made good and redecorated. 2. Remove existing staircase nosings and floor finish
02	Staircase Two first to second floor		Painted board and batten wall panels around the staircase walls. Condition: Panels are in a reasonable condition Wall panels to be decorated.
03	Second floor Lobby door		Decorative Architrave and surround: Second floor lobby door with painted architrave and surround Condition: Damage paintwork and plaster to the surround. 1. Damage to surround to be made good and redecorated
04	Second floor rear room		Historical frieze currently framed and protected behind glass/Acrylic Condition: Frame and glass are in good condition. To avoid any damage, the frieze will be protected throughout refurbishment.
05	Second floor front room		Walls and ceiling Condition: Some of the walls and areas of the ceiling appear to have some cracks which may require further investigation. 1. All existing walls to be made good and prepared for decoration. 2. Carefully remove dropped ceiling and replaced with new
06	Second Floor WC		WC casement window. Metal framed single glazed window, with Terracotta tiled window cill. Historical origin unknown, its the only window cill in the whole building with this style of window. Condition: Grout missing in areas, also some of the tiles are chipped along the edge. 1. Replace chipped tiles and replace with similar 2. Re-grout tiles
07	Second floor front room		Existing Fireplace Historical origin of the fireplaces unknown. Mantle surrounds looks modern and added on much later. Condition: Fireplace are in good condition. No existing hearth 1. Clean and block existing fireplace 2. Grille to be added to existing blocked fireplace for allow for sufficient ventilation
08	Second floor front room		Existing Fireplace Historical origin of the fireplaces unknown. Mantle surrounds looks modern and added on much later. Condition: Fireplace are in good condition. No existing hearth 1. Clean and block existing fireplace 2. Grille to be added to existing blocked fireplace for allow for sufficient ventilation

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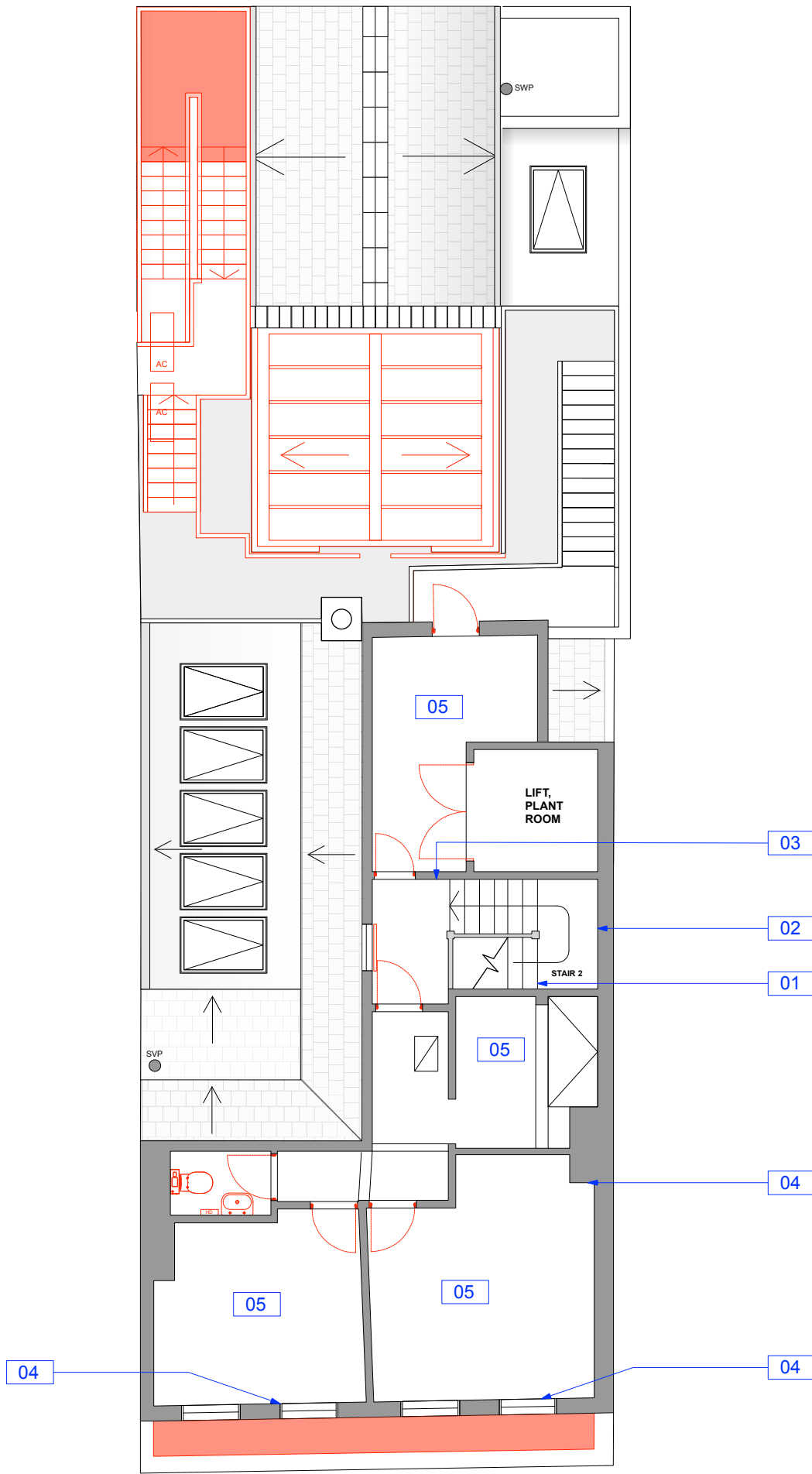
Trailfinders
CLIENT
24 High Street, Windsor
Berks, SL4 1LH
PROJECT NAME LG22/58
PROJECT NUMBER
Existing Second Floor Damages and Original Features Photographic
Schedule
DRAWING TITLE

1:50 1:100
SCALE @ A1 SCALE @ A3

132
DRAWING NUMBER REV

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PLANNING ISSUE



EXISTING THIRD FLOOR
scale 1:50 @ A1 / 1:100 @ A3

Ref	Location	Photograph	Comments
01	Staircase Two second to third floor		<p>Traditional style staircase. Painted timber handrail with newel with newel cap and turned spindles.</p> <p>Condition: Condition of the staircase is quite poor. There are chips to newels, spindles, handrail and stringer on both sides of the staircase. Also there is a thick layer of paint on the newel post, that obscure the detailing of its feature.</p> <ol style="list-style-type: none"> Carefully stripped existing paintwork to the staircase the ground floor, any damage to be made good and redecorated. Remove existing staircase nosings and floor finish Replace missing newel cap
02	Staircase Two second to third floor		<p>Painted board and batten wall panels around the staircase walls. Historical origin to panels is unknown.</p> <p>Condition: Condition of the panels is quite poor. There are chips in the timber dado rail. Light cracks in the centre of the panel. Also there are cracks that has formed at the base of the panels and staircase stringer.</p> <ol style="list-style-type: none"> Wall panels paintwork to be carefully stripped and redecorated. Damages to the panels to be made good.
03	Third Floor		<p>Walls</p> <p>Condition: Walls appear to have some cracks</p> <ol style="list-style-type: none"> Repair and make good walls
04	Third Floor Front rooms		<p>Water damage on the walls in areas of both rooms, in addition to cracks in the walls</p> <p>Condition: Condition of these areas is poor, water damage and cracks will require further investigation.</p> <ol style="list-style-type: none"> Walls to be made good and decorated.
05	Third Floor Front rooms		<p>Ceiling</p> <p>Condition: Section of the ceiling through the top floor has water damage and cracks.</p> <ol style="list-style-type: none"> Carefully strip out ceiling and replace and redecorate Carefully strip out shopfittings and redundant lighting

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REV	DATE	COMMENTS

Trailfinders
CLIENT

24 High Street, Windsor
Berks, SL4 1LH LG22/58
PROJECT NAME PROJECT NUMBER
Existing Third Floor Damages and
Original Features Photographic
Schedule
DRAWING TITLE

1:50 1:100
SCALE @ A1 SCALE @ A3

133
DRAWING NUMBER REV

lustedgreen

PLANNING ISSUE