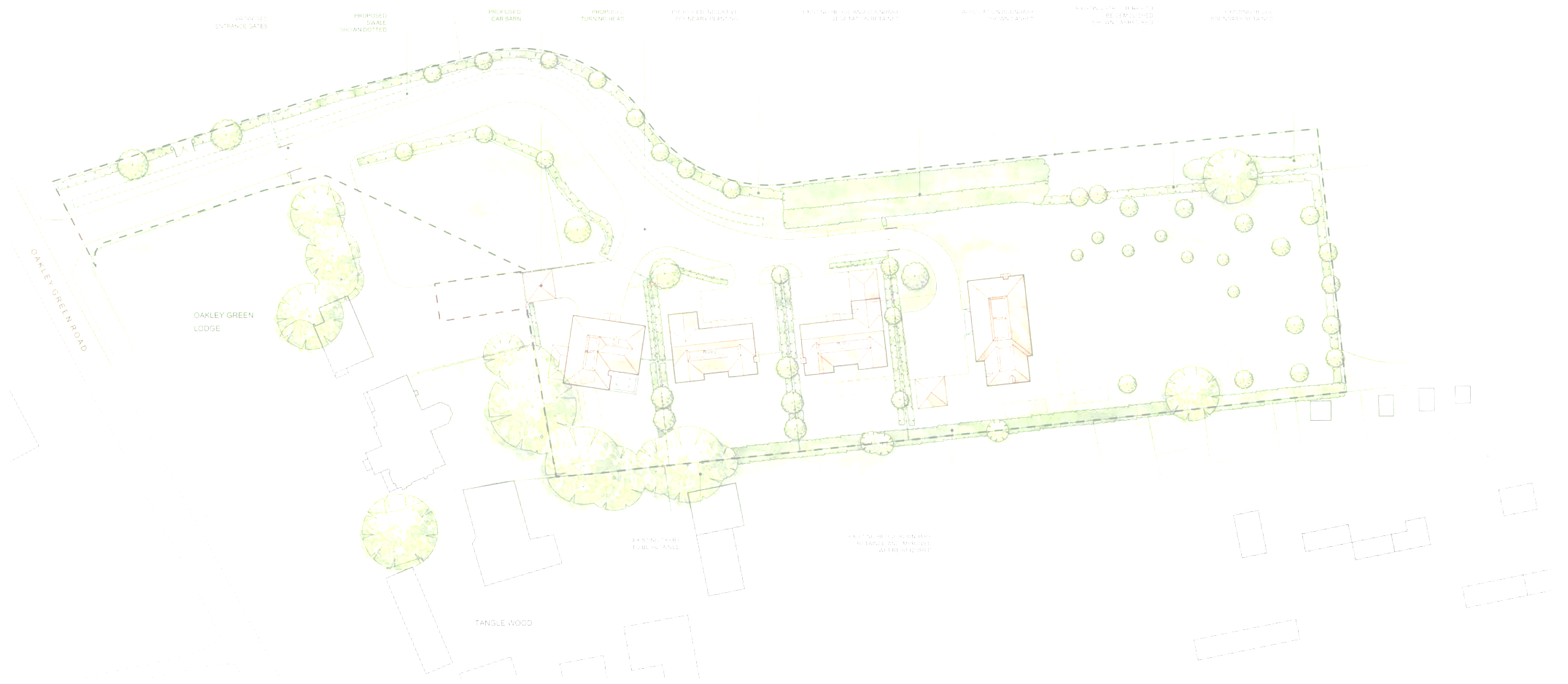


OAKLEY GREEN LODGE
OAKLEY GREEN
WINDSOR
SL4 4PZ



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1.0 INTRODUCTION

This statement has been prepared by Ascot Design Ltd on behalf of Westbourne Homes to accompany an application for full planning permission the erection of 4 detached dwellings.

It has been produced in accordance with guidance published by the Commission for Architecture and the Built Environment (CABE) and covers the following:

- An analysis of the site as existing, the immediate area and the wider context.
- A description of the design process followed to reach the final design solution, covering the subjects of Use, Amount, Layout, Scale, Landscaping, and Appearance. It considers the constraints of the site and relevant local and national planning policies to demonstrate that the proposed scheme is well conceived with the aim of integrating with its surroundings.
- Considers accessibility within the site and the relationship to transport links in the surrounding area, as well as inclusive access for the elderly and the disabled. It justifies the location of pedestrian and vehicular access points to the site and establishes accessibility to public transport.

It should be read in conjunction with all other reports and correspondence submitted with the application.

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2.0 CONTEXT

2.1 SITE LOCATION & CONTEXT

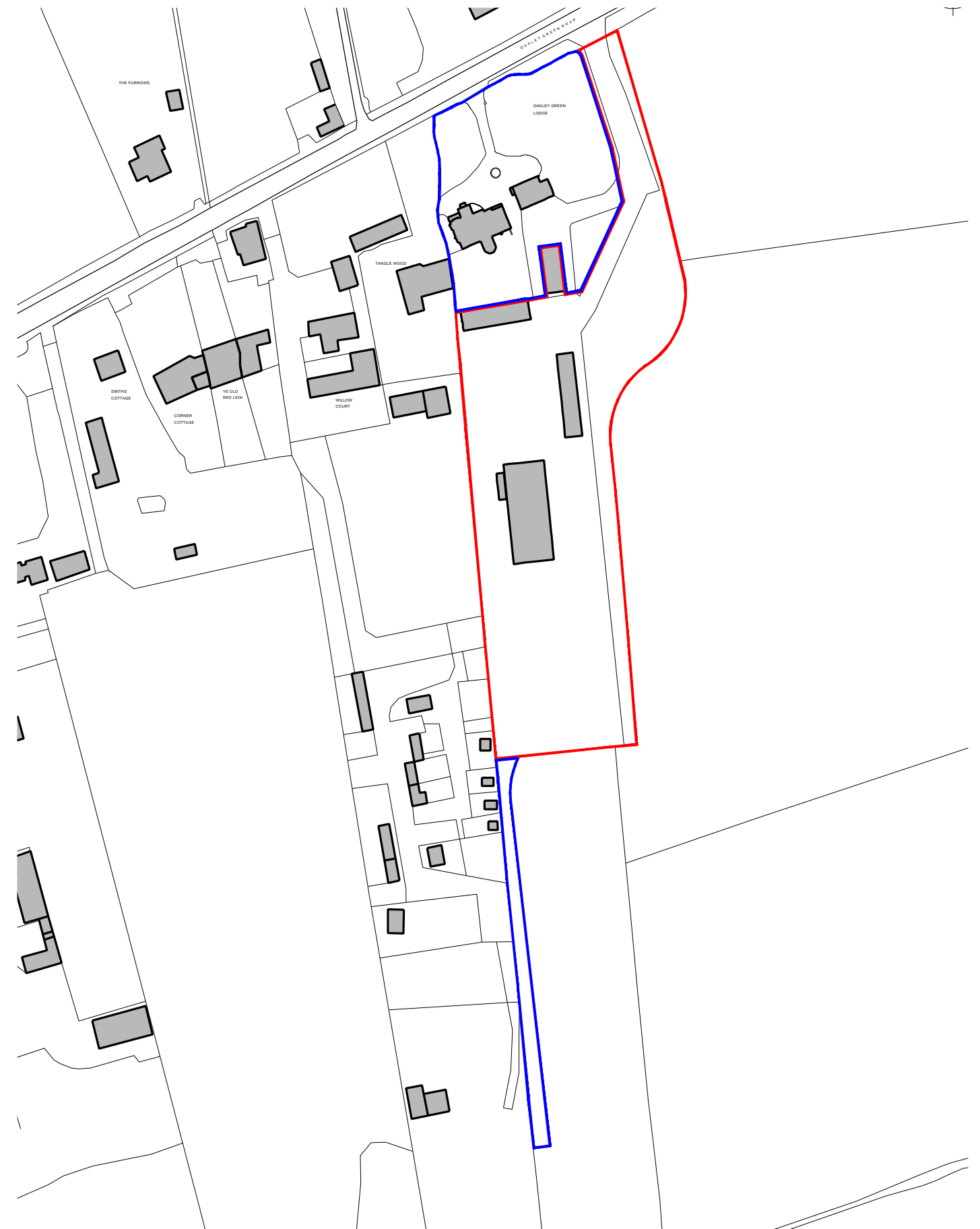
The site is located within Oakley Green, approximately 500m from the built-up areas of Dedworth and Clewer Green. Oakley Green is served by regular bus services to Windsor and other local destinations. The site is within the Green Belt.

The site is located on the southern side of Oakley Green Road, to the rear of Oakley Green Lodge which is a detached dwelling fronting onto Oakley Green Road. The site has an area of 0.49ha and is roughly rectangular in shape. It comprises of a commercial yard containing a number of substantial buildings. The yard is entirely hard surfaced and is used for the parking of cars and a large number of articulated lorries. The HGV storage / hard surfacing and existing commercial buildings dominate the site and extends across the entire 147m length, plus the additional 146 length of hard surfacing / HGV storage that extends to the very rear of the site.

This is in contrast to the surrounding area which is semi-rural in character and appearance, with scattered rows of houses and other buildings, interspersed by fields and hedgerows.



VIEW AT ENTRANCE TO HGV SITE



LOCATION PLAN (NOT TO SCALE)

2.1 SITE LOCATION & CONTEXT



CONTAINERS USED TO CREATE BOUNDARY TO EASTERN
EDGE OF SITE



HGV STORAGE AREA APPROVED UNDER CERTIFICATE OF
LAWFUL USE EXTENDING TO REAR OF SITE



HGV STORAGE AREA IN FRONT OF EARTH BOUND AT REAR
OF APPLICATION SITE TO BECOME WILDLIFE MEADOW

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3.0 PLANNING HISTORY

PLANNING APPLICATIONS:

Relaxation of condition No.2 on approval 9841/72 restricting the use of the flat to persons employed on the site

Ref. No: 00/35143/RLAX | Status: Application Withdrawn

Change of use of part of the barn for the fabrication of timber displays for exhibitions and part for repairs and servicing of motor vehicles

Ref. No: 00/35313/FULL | Status: PER

Certificate of Lawful Use in respect of the use of the land for the storage and preparation of commercial vehicles for resale.

Ref. No: 00/35347/CLU | Status: Application Permitted

Use of the Coach House as a self - contained dwelling unit.

Ref. No: 02/38143/FULL | Status: Application Permitted

FIRST FLOOR FRONT AND REAR EXTENSIONS

Ref. No: 92/01045/FULL | Status: PER

Rear conservatory

Ref. No: 96/30815/FULL | Status: PER

Extension and alterations to double garage and alterations to front boundary to increase height with piers and railings.

Ref. No: 97/31343/FULL | Status: PER

Erection of 3 x dwellings, with garages and curtilages, with access alterations, parking, landscaping and ancillary works following demolition of existing buildings and hardstanding

Ref. No: 16/00395/FULL | Status: Application Permitted

Details required by Condition 2 (materials), Condition 3 (slab levels), Condition 5 (details of means of enclosures), Condition 9 (construction management plan), Condition 11 (tree protection measures), Condition 12 (hard and soft landscaping works), Condition 13 (bat mitigation strategy) and Condition 14 (biodiversity enhancements) of planning permission 16/00395 for the erection of 3 x dwellings, with garages and curtilages, with access alterations, parking, landscaping and ancillary works following demolition of existing buildings and hardstanding

Ref. No: 19/00425/CONDIT | Status: Approved

Certificate of lawfulness to determine whether the existing 3no. dwellings, with garages and curtilages, access alterations, parking, landscaping and ancillary works following demolition of existing buildings and hardstanding is lawful.

Ref. No: 23/02831/CLD | Status: Pending Consideration

Construction of x5 dwellings with associated car ports for plots 1, 3, 4 and 5, following demolition of existing buildings and removal of all areas of hard standing

Ref. No: 19/02952/FULL | Status: Refuse

Construction of x5 dwellings with associated car port for plot 1, following demolition of existing buildings and removal of all areas of hard standing.

Ref. No: 20/00694/FULL | Status: Refuse

Certificate of lawfulness to determine whether application 16/00395/FULL for the erection of 3 x dwellings, with garages and curtilages, with access alterations, parking, landscaping and ancillary works following demolition of existing buildings and hardstanding, has been lawfully commenced.

Ref. No: 23/02831/CLD | Application Permitted

PLANNING APPEALS:

Certificate of Lawful Use in respect of the use of the land for the storage and preparation of commercial vehicles for resale.

Ref. No: 03/00109/PRPA | Status: Appeal Allowed

Appeal against the Enforcement Notice for: Change of use of the land and buildings for the servicing and repair, storage and re-sale of a number of commercial vehicles in excess of that provided by the Lawful Development Certificate granted on the 19th January 2003 (ref: APP/T0355/X/03/1121996) and the storage of cars and vans not connected with the authorised use of the land

Ref. No: 08/60126/ENF | Status: Appeal Dismissed

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4.0 DESIGN

4.1 PROPOSED SITE PLAN

The proposed layout for the erection of 4 new dwellings not only addresses the need for housing but also takes into account the overall liveability and convenience of the community. Adequate parking facilities have been included in the design to ensure that residents and visitors have convenient access without causing congestion or parking-related issues.

The layout integrates well-considered landscaping elements that contribute to both the aesthetic appeal and ecological sustainability of the project. The green spaces and plantings enhance the visual appeal of the development while promoting a healthier environment for the residents.

The proposed layout also seeks to address concerns made by RBWM during planning application 20/00694 concerning amount, separation distances & spread of development.

Furthermore, the project incorporates a carefully planned access point to ensure optimal traffic flow and safety and avoids harm to existing trees and planting.

Overall, the proposed master-plan has been informed by consultant information, and existing site opportunities and constraints.



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4.2 PROPOSED ELEVATIONS - N.T.S



PLOT 1



PLOT 2



PLOT 3



PLOT 4

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4.3 PROPOSED MATERIALS

Materials have been selected from examples used within the local area:

Plot 1 Proposed Materials



- Red Brick with matching brick detailing
- Rustic Oak Cladding
- Clay Roof Tiles with Bonnet Hip Tiles
- Oak Porch with Herringbone brick half height panels
- Sliding Sash Windows finished in Little Greene - 'Portland Stone 155'
- Traditional timber front door finished in Little Greene - 'Portland Stone 155'

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4.3 PROPOSED MATERIALS

Materials have been selected from examples used within the local area:

Plot 2 Proposed Materials



- Red Brick with matching brick detailing
- Rustic Oak Cladding
- Clay Roof Tiles with Bonnet Hip Tiles
- Oak Porch with Herringbone brick half height panels
- Sliding Sash Windows finished in Little Greene - 'Portland Stone 155'
- Traditional timber front door finished in Farrow & Ball 'Light Blue'
- Brick porch with brick and roof tile to match main house

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4.3 PROPOSED MATERIALS

Materials have been selected from examples used within the local area:

Plot 1 Proposed Materials



- Red Brick with matching brick detailing
- Rustic Oak Cladding
- Clay Roof Tiles with Bonnet Hips Tiles
- Oak Porch with Herringbone brick half height panels
- Sliding Sash Windows finished in Little Greene - Portland Stone 155
- Traditional timber front door finished in Farrow & Ball 'Bone'

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4.3 PROPOSED MATERIALS

Materials have been selected from examples used within the local area:

Plot 4 Proposed Materials



- Main house - Painted brick finished in Farrow & Ball 'Pointing'
- Band finished to match painted brickwork
- Side extension - Red brick to match other dwellings. Band and plinth finished in matching brick.
- Clay Roof Tiles with Bonnet Hips Tiles
- Lead standing seam lean-to porch
- Sliding Sash Windows finished in Little Greene - Portland Stone 155
- Traditional timber front door with sidelights finished in Farrow & Ball

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4.4 THE PROPOSAL

The application proposes the erection of 4 detached dwellings.

The proposal fully takes into account local and national planning policies, and the context of the site and surrounding area. The plans and reports submitted with the application have been carefully prepared to ensure accordance with planning policy, and a fully comprehensive development proposal.

Existing planting will be retained where possible, maintaining privacy and wildlife habitat. New, meaningful, planting will be incorporated within the design to ensure the enhancement of the local character and biodiversity of wildlife on site.

4.5 THE DESIGN

The proposal has been designed to have particular regard to the location of the site within the Green Belt. The existing commercial buildings are spread over the site; these buildings are industrial in appearance and of various height / materials. The proposal seeks to replace these with 4 No. new detached dwellings that take design influences from other buildings in the locality and which will be constructed in high quality materials. The dwellings are individually designed and are all of a design that is appropriate within a semi-rural area.

The dwellings are sensitively sited in the central part of the site which enables existing boundary trees and hedges to be retained and supplemented by additional planting where necessary. This will ensure that the dwellings are well screened from the adjoining dwellings and the surrounding countryside.

The siting of the new dwellings ensures that no loss of amenity will result to existing dwellings. A generous distance is provided between the rear elevation of Oakley Green Lodge and the side elevation of the dwelling on Plot 1. In addition, trees along this boundary will be retained and will provide further screening. The rear elevation of Plots 1, 2 and 3 is also well set back from the western boundary of the site which again is well screened and as a result, there will be no material overlooking of the Tanglewood which lies to the west of the site

The proposed new dwellings will be accessed via the existing access, approved and implemented under planning approval 16/00395, onto Oakley Green Road. The access into the site follows the alignment of the eastern boundary. Each dwelling will be provided with sufficient parking spaces commensurate with their size.

(A) AMOUNT

The proposal is for 4 no. new dwellings following the demolition of the existing buildings and hard surfacing. Importantly this includes the removal of all the commercial vehicle parking on the application site and on the land to the rear of the application site, which will be achieved via a S106 agreement. The attached Planning Statement addresses the amount of development by comparison to the existing development on the site. The proposal reduces the amount of dwellings from 5 to 4 when compared with planning application 20/00694 to address concerns raised by RBWM regarding 'cramped and contrived layout' and introduce a more rural, less regular & looser layout.

(B) LAYOUT

The proposed layout ensures that the proposed development will not be unduly prominent and will not harm the openness of the Green Belt, In particular, careful consideration has been given to ensure there is additional generous spacing between the new dwellings and boundaries in order to respect and reflect the semi-rural character and appearance of the surrounding area.

The proposed layout has also been designed to carefully consider the comments made by RBWM during planning application 20/00694, particularly the perceived 'cramped & contrived layout'. The reduction from 5 dwellings to 4 allows a more rural & 'loose' appearance, thus addresses the concerns regarding the openness of the Green Belt & the rural character of the area. The greater separation distances between the proposed dwellings have a further positive impact on the 'looser' feel of the development.

As with the scheme refused under 20/00694 and the approved 3 dwelling scheme, the layout has been carefully considered to reduce to spread of development in the Green Belt. The reduction in built form on the more exposed eastern boundary and the greater separation distance between Oakley Green Lodge and plot 1 on the northern boundary, along with a reduced spread of development to the west more than compensate for plot 4 footprint being slightly further south than that of existing building 'D'.

Landscaping around the site, including mature trees and hedging will be retained and enhanced where necessary and will ensure that the new dwellings remain well screened. New hard surfaced areas (i.e. driveways) have been kept to a minimum. Each dwelling would be located within a large curtilage and the proposal allows for generous gaps to be provided between the dwellings, in keeping with the

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5.0 ACCESS AND SUSTAINABILITY

surrounding area. The reduction in proposed built form and the increased separation distances as a result allow for more appropriate, meaningful and robust landscape planting. The site area has been increased on the eastern boundary to enable the retention of important existing landscape features.

Combined, these measures will ensure that the openness of the site would be maintained and add to the rural, looser feel of the area.

(C) SCALE

The proposed dwellings have been designed to reflect the size and scale of the existing properties in the immediate area. The dwellings have been designed with a low eaves and ridge height in order to respect local character. Each house has also been designed with elements of single storey accommodation to avoid any increased impact on the greenbelt. The proposed dwellings ridge heights have been reduced to no more than 8 meters, reflective of the 2016 approval, and lower than the refused 2020 scheme.

Further considered design has been applied to the width and depth of the proposed dwellings along with a reduction of the ridge height when compared with the refused application.

With the reduction in scale of the proposed dwellings has also resulted in a reduction of hard surfacing.

The combined reduction in width, depth & ridge height, and careful consideration when designing the roofs for each plot has resulted in a further reduction in mass, bulk, scale & volume, a concern raised by RBWM when considering application 20/00694.

(D) APPEARANCE

The proposed dwellings are of a high quality, traditional design and appearance.

Each of the dwellings have been individually designed to respect and reflect the character of the area.

The nature of the site & the surrounding dwellings has heavily influenced the architectural style of each dwelling. A thorough redesign of the dwellings has been undertaken to provide a more rural aesthetic to the proposed development.

The development embodies the character of a small holding situated with a view over a field, with each dwelling originally constituting a part.

Plot 1 is reminiscent of a workers cottage, plots 2 & 3 having once been barns amalgamated with neighboring barns, and plot 4 the original main farm house.

The materials for each plot have been carefully selected following an appraisal of the local area and its vernacular.

The proposed dwellings will use a rustic style brick similar to those used in the local area with simple detailing, timber cladding, oak porches and plain tile with bonnet hip tiles. Plot 4 will feature painted brickwork. A materials schedule will accompany the application.

The above has been undertaken to address concerns raised by RBWM during the last application that the proposed dwellings are too urban in their appearance.

(E) LANDSCAPING

The proposal seeks to maintain and/or enhance important existing landscape features on the site. This has been achieved by increasing the site boundary on the eastern side of the site to encompass important existing native trees and planting.

The existing boundary planting is to be enhanced with additional native species planting where required.

The western boundary of the site is very well screened by existing hedging and trees which will be retained and strengthened where necessary.

The application is accompanied by a landscape plan which further details robust and appropriate planting on the boundaries and within the site itself.

5.0 ACCESS

The proposed new dwellings will be accessed via the existing access onto Oakley Green Road. Planning approval ref.16/00395 established that the existing access had more than sufficient vision splays of +120m in both direction and that the proposed dwellings would produce significantly less traffic movements than the existing use. The recent certificate of lawful use has further increased the existing traffic movements in and out of the site.

The proposed car ports and driveways allow for adequate vehicle parking facilities in relation to the size of the dwellings proposed and for each property to turn and leave the site in a forward gear.

A turning head at the front of plot 1 is sufficient for a refuse vehicle to enter the site, turn around and leave in a forward gear. A refuse vehicle tracking drawing is provided with the application.

All existing commercial traffic will be removed from the site and the remaining land to the rear of the site.

5.1 SUSTAINABLE DESIGN

The proposal is to construct a 4no. detached dwellings with associated carports and surface parking following demolition of the existing buildings on the site.

To minimise heat loss from the proposed dwellings and to maximise the efficiency, the proposal will incorporate the following:

- Insulated roofs, walls and floors
- Double glazed windows
- Ventilation incorporated onto the design to avoid condensation
- Energy efficient lighting
- Natural daylight to all habitable rooms

The development will be designed to allow the future potential use of on-site renewable technologies

5.2 ENERGY EFFICIENCY

Domestic appliance ratings will follow the CfSH requirements of:

- A+ Fridge Freezer
- A rated dishwasher & washing machine
- A rated tumble dryer

5.3 WATER RESOURCE MANAGEMENT

To minimise the use of water, the proposal will incorporate the following:

- Water saving devices, such as dual flush /low flush toilets
- Rainwater harvesting such as water butts and storage tanks

In order to comply with AD Part H and Requirement 4 of the SPD, the development will include the use of rainwater harvesting via the provision of water butts and will also include internal restricting devices such as flow restrictors on taps and dual flush toilets to achieve water usage per person of 120 litres a day.

5.4 FLOOD RISK MANAGEMENT

The application is not situated in a flood risk area. A sustainable Swale Infiltration System is to be incorporated into the site, details of which can be found on drawing 23-100-004-B Surface Water Drainage. A significant 75% reduction of hard surfacing will vastly reduce the level of surface water runoff from the site.

A surface water drainage strategy accompanies the application.

5.5 BIODIVERSITY

The proposal will retain and strengthen the existing trees and hedgerows. Significant quantities of new native planting will provide additional foraging and nesting habitats for native animals, insects and birds.

The Existing site has very limited ecological value. The clearance of the site planting of additional native landscaping will produce significant benefits for the locality when compare against the existing environment.

Please refer to the accompanying landscape proposal & Ecological Impact assessment which includes a biodiversity metric.

5.6 WASTE RECYCLING

The proposal will encourage responsible waste recycling and in the following ways:

- Adequate space exists for storage of waste and recycling containers with a refuse and recycling

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collection point provided near the site entrance. Adequate space exists on the site for composting facilities.

5.7 SUSTAINABLE TRANSPORT

The site is located within Oakley Green, a short distance away from the built up areas of Dedworth and Clewer Green. Oakley Green is served by regular bus services to Windsor and other local destinations.

5.8 SUSTAINABLE CONSTRUCTION

Materials will be, as far as possible, environmentally friendly and the 'Green Guide' and BRE publication 'Methodology for Environmental Profiles of Construction Materials' will be consulted. Timber will be obtained, where possible, from certified sources. A waste separation and disposal policy will be operational for the duration of the site construction.

Part 'M' Compliance

The internal arrangement including circulation space, bathrooms and services within the dwellings is in accordance with Approved Document M (2004). The principles of accessibility for disabled / elderly will also be adhered to during the construction phase of building.

Secure Homes

- Examples of the measures that could be undertaken are highlighted below:
- Minimum 1.8m high close board fence to all boundaries.
- Secure garage parking.
- Front entrance door set to PAS 24:200 standards with locking mechanisms certified to BS 3621:2007, BS 8621:2007 or
- BS 10621: 200
- Door set glazing to be laminated and include a security chain and door viewer.
- Letter plate to be fitted with a deflector, letter plate aperture must be no larger than 260mm x 40m.
- All external door sets not designated as the main access/egress route will meet the same physical standard as 'Front door'.
- Vehicle access door sets to Loss Prevention Certification Board standard –LPS 1175 security rating.
- Ground floor windows to BS 7950: 199 standards
- Lighting to illuminate all external doors.
- Power point for an intruder alarm (if required)
- Secure bicycle parking (garage).
- External composting containers supplied to meet 'Code for Sustainable Homes' 'Was 3' will be sited in such a way that they cannot be used to climb over fences or otherwise used as a climbing aid to commit crime.

6.0 SUMMARY & CONCLUSION

The planning application provides for the erection of 4 detached dwellings of a very high quality. The proposal meets in full the Council's adopted Local Plan policies and should be supported for the following reasons:

The proposal has been carefully designed to respond to and address concerns raised by the council following refusal of planning application 20/0096, particularly in the following areas -

- Mass, bulk & scale of the proposed dwellings.
- Appearance of the proposed dwellings and their materials.
- Spread of development in the Green Belt
- Site layout, grain & distances between the dwellings

The proposal provides a form of development that is in-keeping with the character and appearance of the local area in terms of size, scale & layout.

The site is set within the Green Belt and utilises 'Previously Developed Land' to provide high quality new dwellings and improve the quality of the site.



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