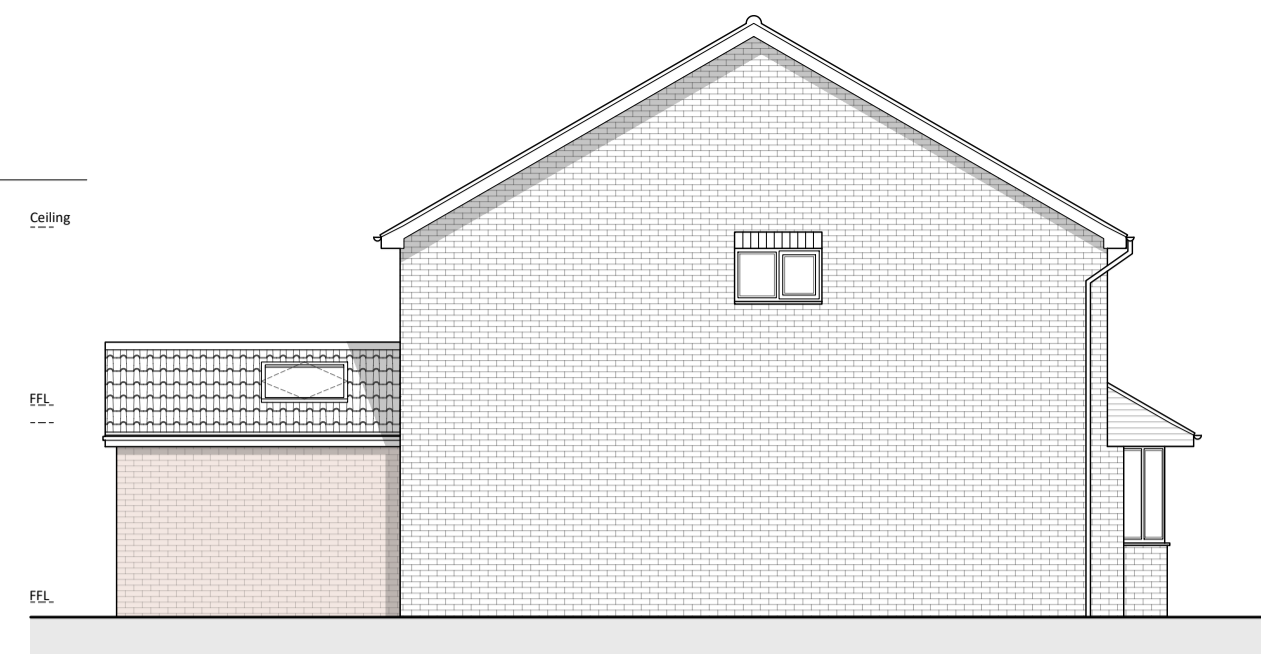
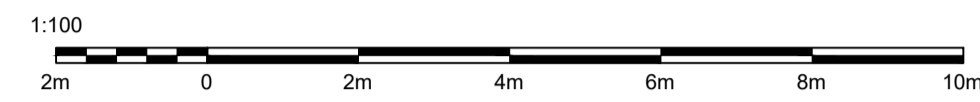


**Schedule of Materials:**

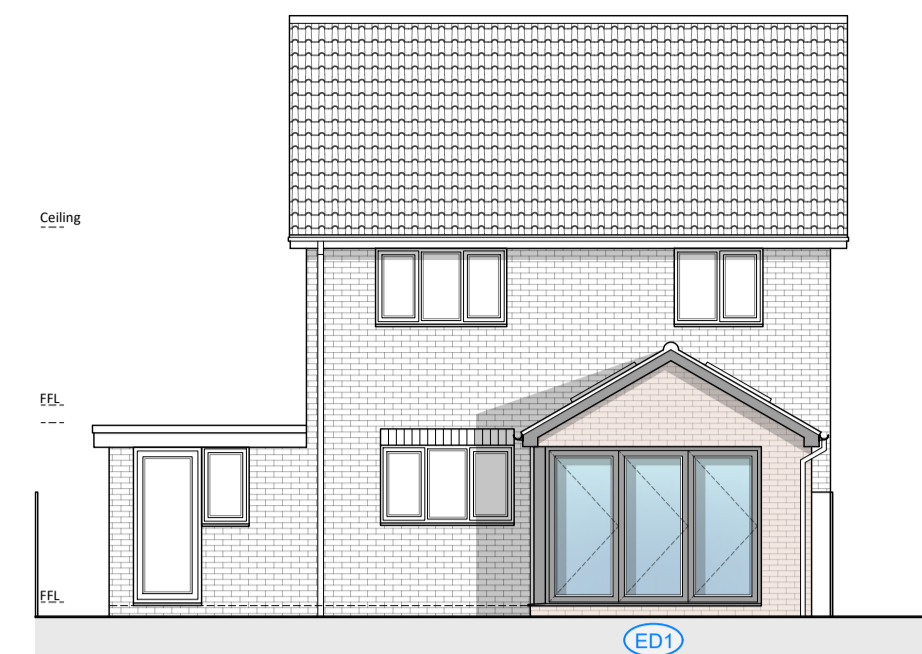
- Facing Brick Walls
- UPVC Doors
- UPVC Windows
- Profiled Roof Tiles
- UPVC Downpipes and Guttering



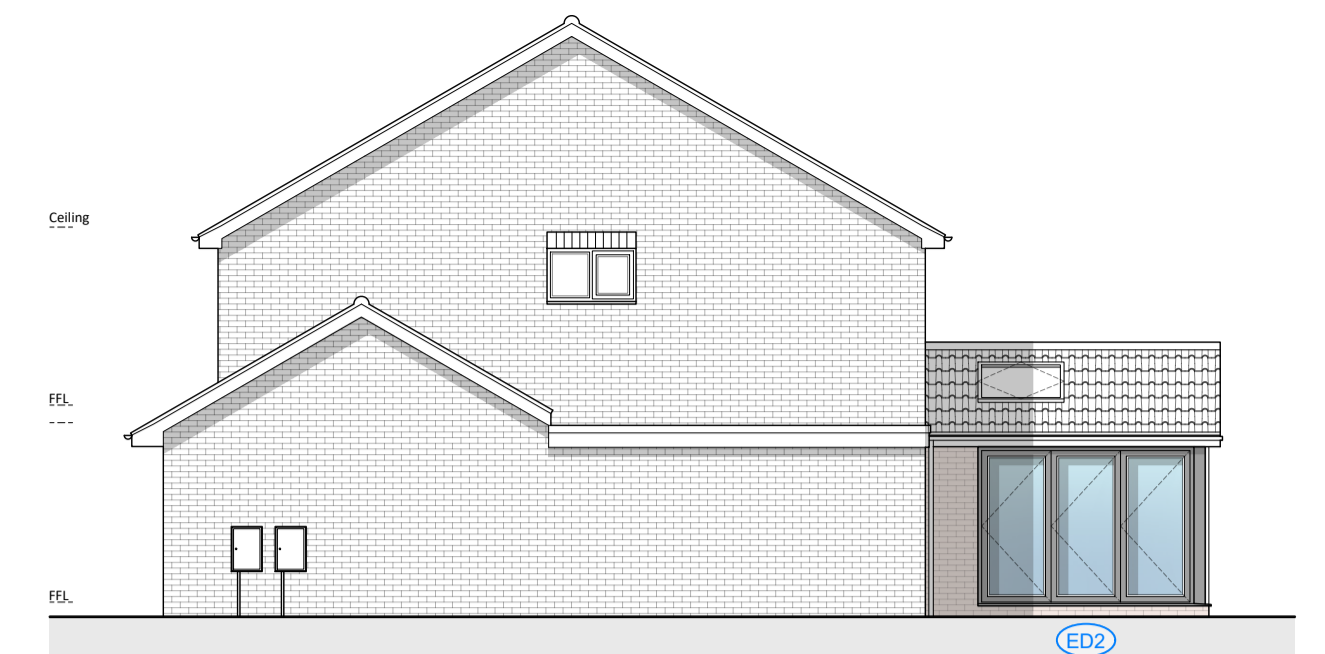
**North West Elevation** [SCALE 1:100]



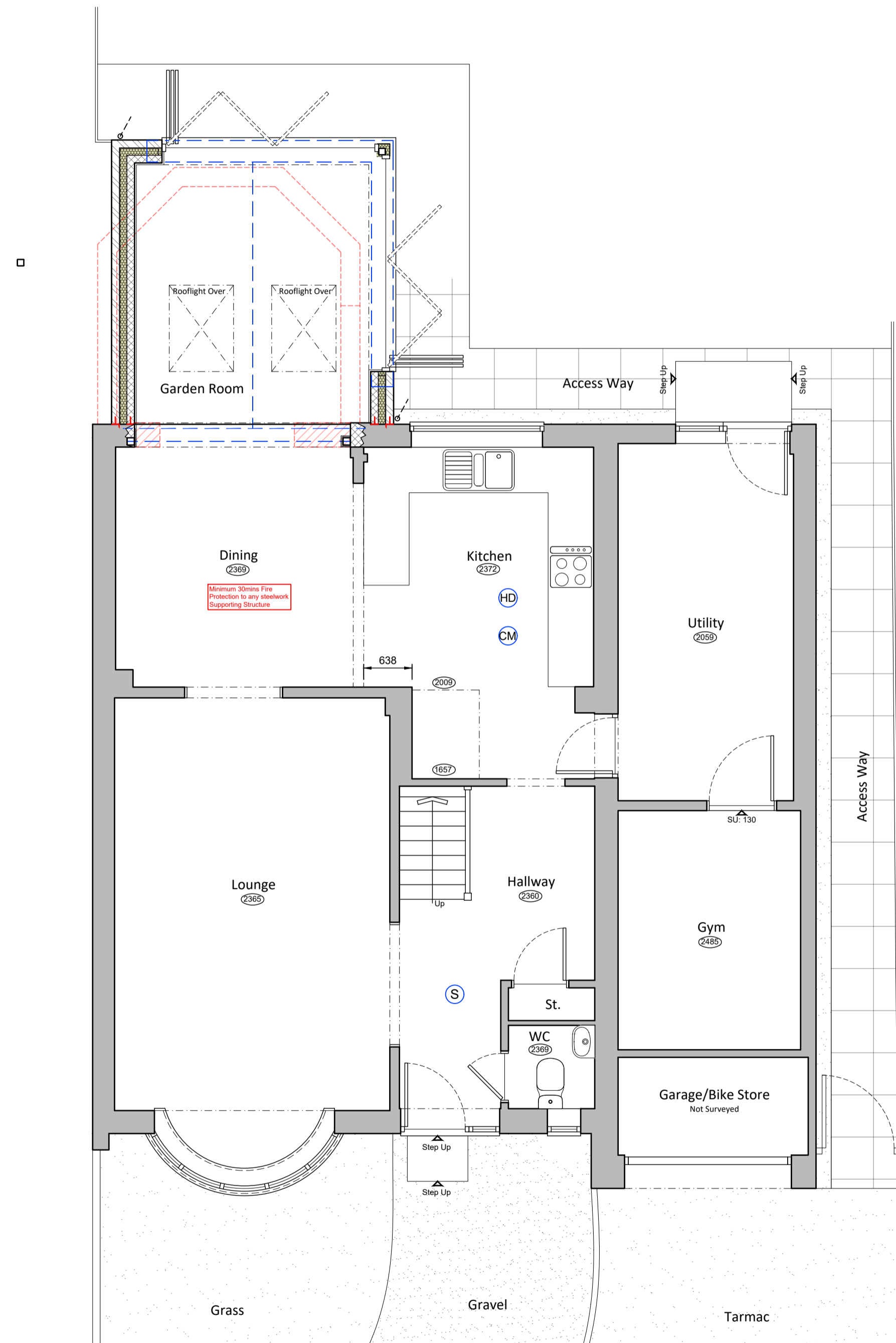
**North East Elevation** [SCALE 1:100]



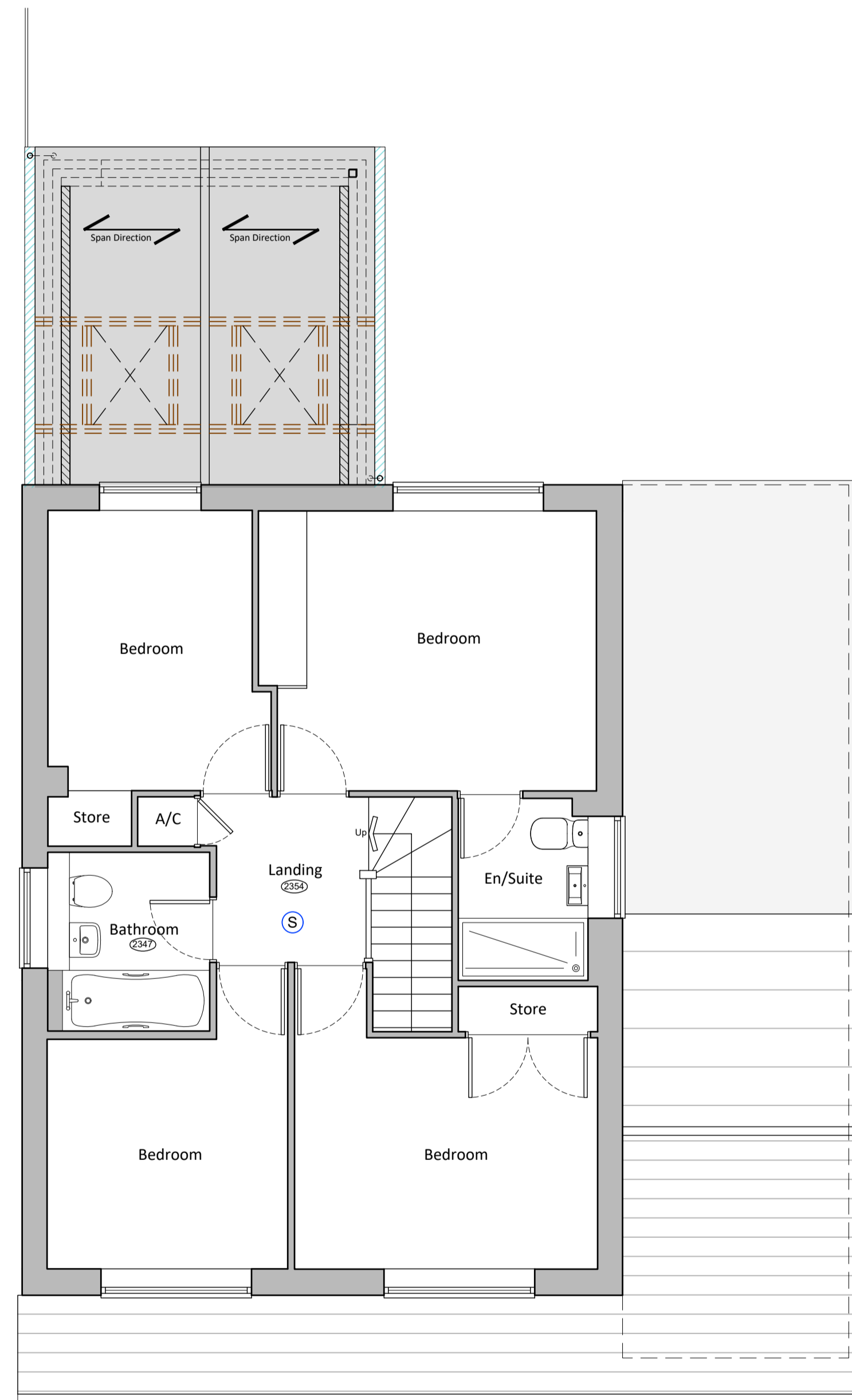
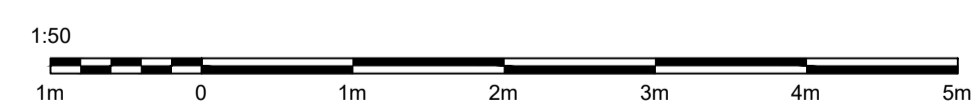
**South East Elevation** [SCALE 1:100]



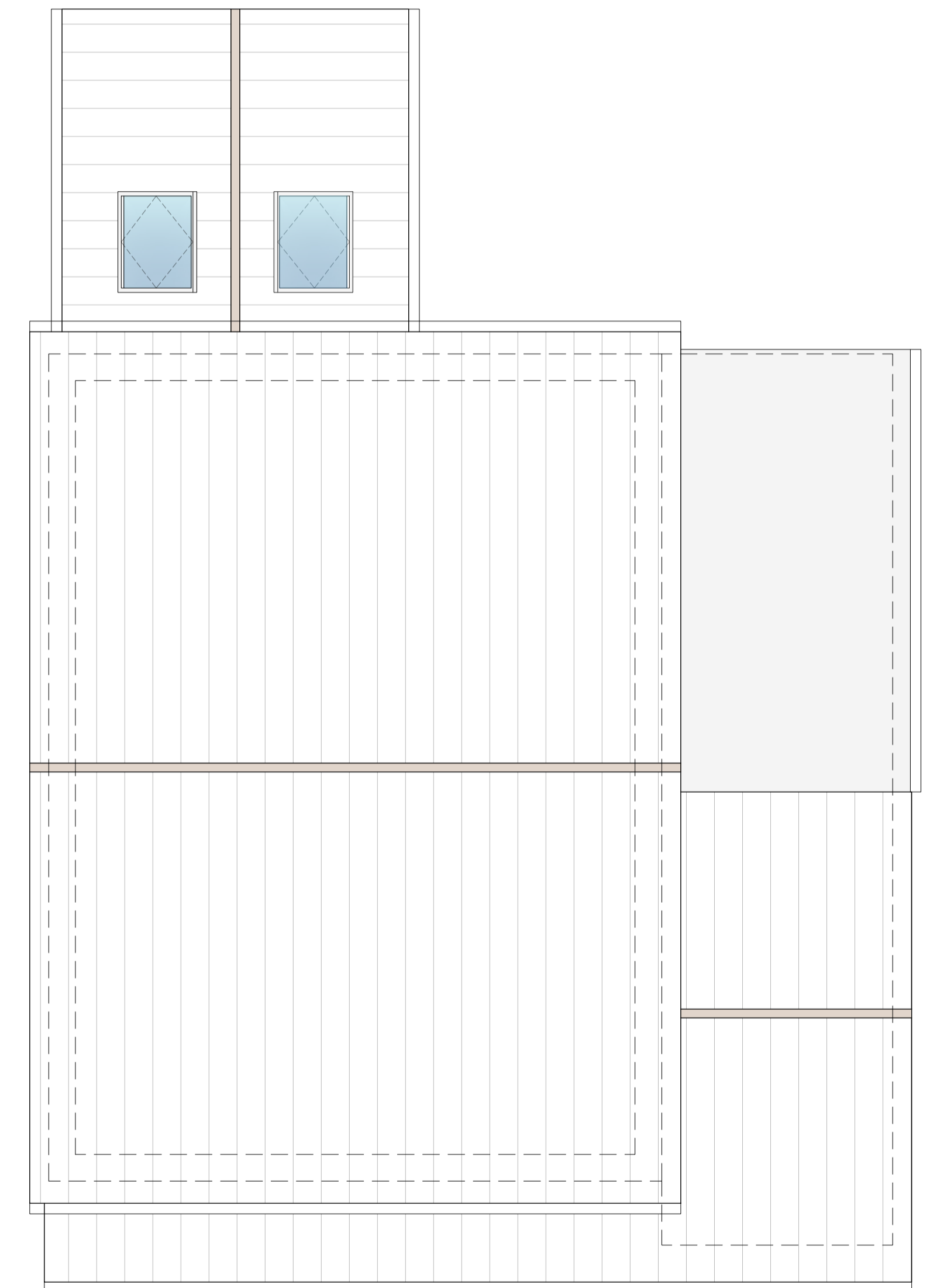
**South West Elevation** [SCALE 1:100]



**Ground Floor Plan** [SCALE 1:50]



**First Floor Plan** [SCALE 1:50]



**Roof Plan** [SCALE 1:50]

**Planning Drawing**

**JUSTIFICATION FOR PERMITTED DEVELOPMENT APPLICATION**

1. No more than half the area of land around the "original house" would be covered by additions or other buildings.
2. Materials to be used in exterior work are similar in appearance to those of the exterior of the existing house.
3. The Proposed extension is within 2m of a boundary, the maximum eaves height are considerably less than 3m permitted.
4. The proposed single-storey rear extension does not extend beyond the original house by more than 4m (detached dwelling)
5. The Maximum Height of the proposed extension is less than 4m

<b>PROJECT</b> Replace Conservatory and internal alterations at 75 Down Road, Pottershead, BS20 8RB		
<b>DRAWING TITLE</b> Planning Drawing		
<b>SCALE @ A1</b> As Shown	<b>DATE</b> January 24	<b>DRAWN</b> RT
<b>DRAWING NUMBER</b> 23-091-200		<b>REVISION</b>



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REVISION	DATE	DETAILS	REVISION	DATE	DETAILS