

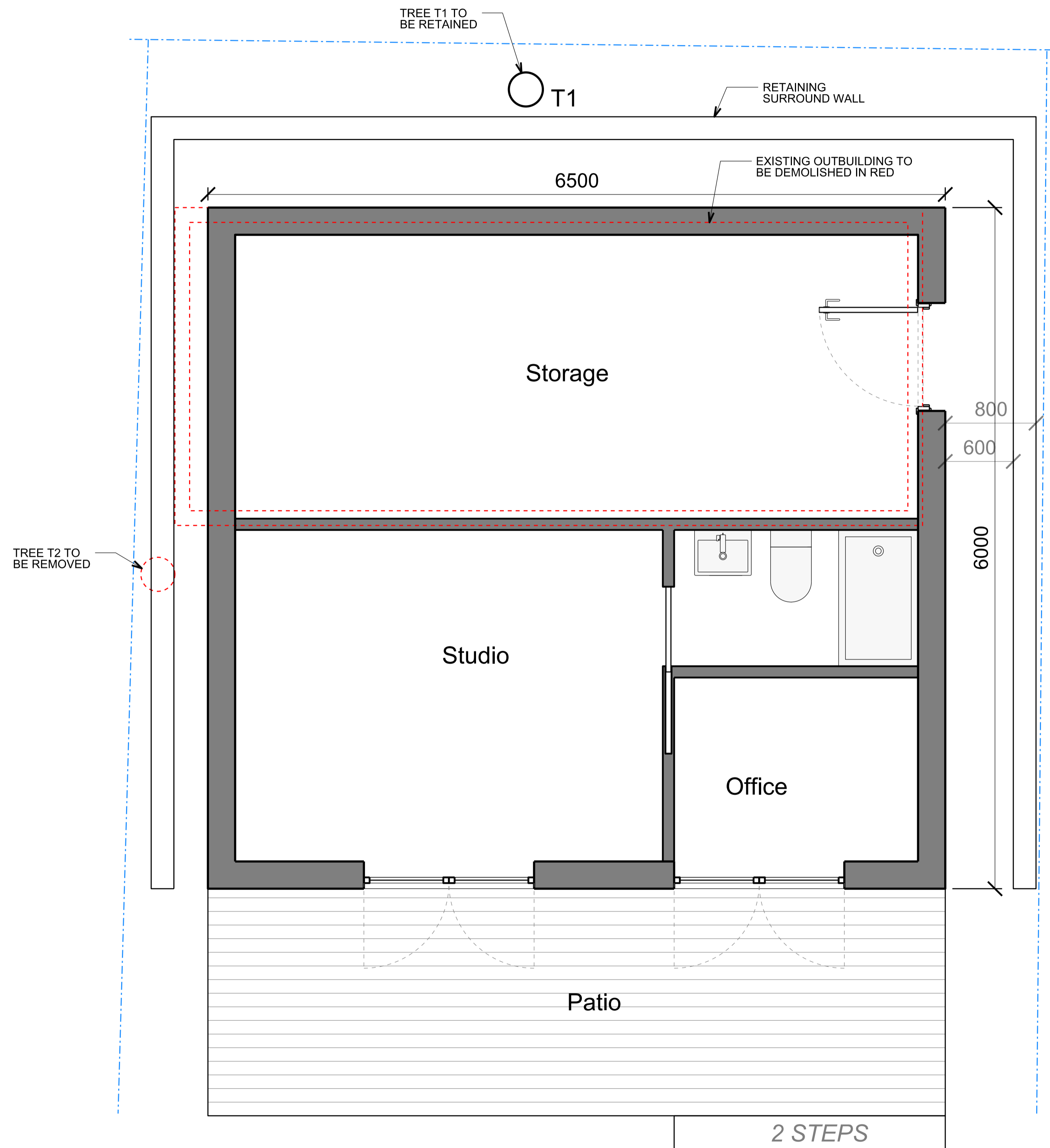
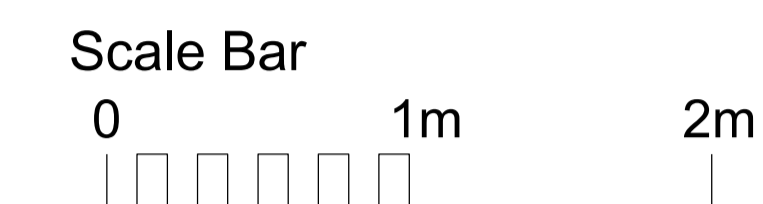
NOTE:
 Attention is drawn to successful similar outbuildings of the properties and respective approved planning applications listed below.

Property address:	Planning Ref:	Dimensions:
142 Crookston Road	21/2782/HD	3.9m (Ridge) 2.4m (Eaves) 6.39m (Width) 5.0m (depth)
61 Dairsie Road	21/1383/HD	3.65m (Ridge) 2.4m (Eaves) 6.46m (Width) 6.41m (depth)
18 Radfield Way	19/3639/HD	4.0m (Ridge) 2.4m (Eaves) 7.2m (Width) 4.5m (depth)
106 Ankerdine Crescent	23/0385/HD	3.5m (Ridge) 2.5m (Eaves) 4.5m (Width) 8.0m (depth)
226 Burrage Road	22/0547/HD	3.8m (Ridge) 2.7m (Eaves) 7.3m (Width) 6.6m (depth)

Current proposal is:

Property address:	Dimensions:
82 Dunvegan Road	3.9m (Ridge) 2.4m (Eaves) 6.5m (Width) 6.0m (depth)

- NOTE:**
- Do not scale from these drawings, use dimensions only.
 - Contractors are to check all dimensions prior to commencement on site and notify the architect of any errors, omissions, or discrepancies.
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01 GROUND FLOOR PLAN
 PROPOSED

Rev	Description	Date	Checked
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Status
 PLANNING

Client
 Paul George

Address
 81 DUNVEGAN ROAD
 SE9 1SB LONDON

Project
 NEW OUTBUILDING IN THE REAR GARDEN, TO INCLUDE A STORAGE SPACE, AN OFFICE, A STUDIO SPACE AND A SMALL BATHROOM.

Drawing
PROPOSED PLANS

Scale	Drawn	Date	Checked
1:25 @ A1	DC	30.01.2024	DC
1:50 @ A3			

Project no.	Drg	Revision
2314	A-20	00

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