

Property information for  
**FLAT 4 AT 751A, FINCHLEY  
ROAD, LONDON, NW11 8DL**

**Local Authority** Barnet (<http://www.barnet.gov.uk/>)

---

**Local authority reference number** 1582007511007A

---

**Council Tax band** A

---

**Improvement indicator** No

---

**With effect from** 31 January 2017

---

**Mixed-use property** No

---

**Court code** None

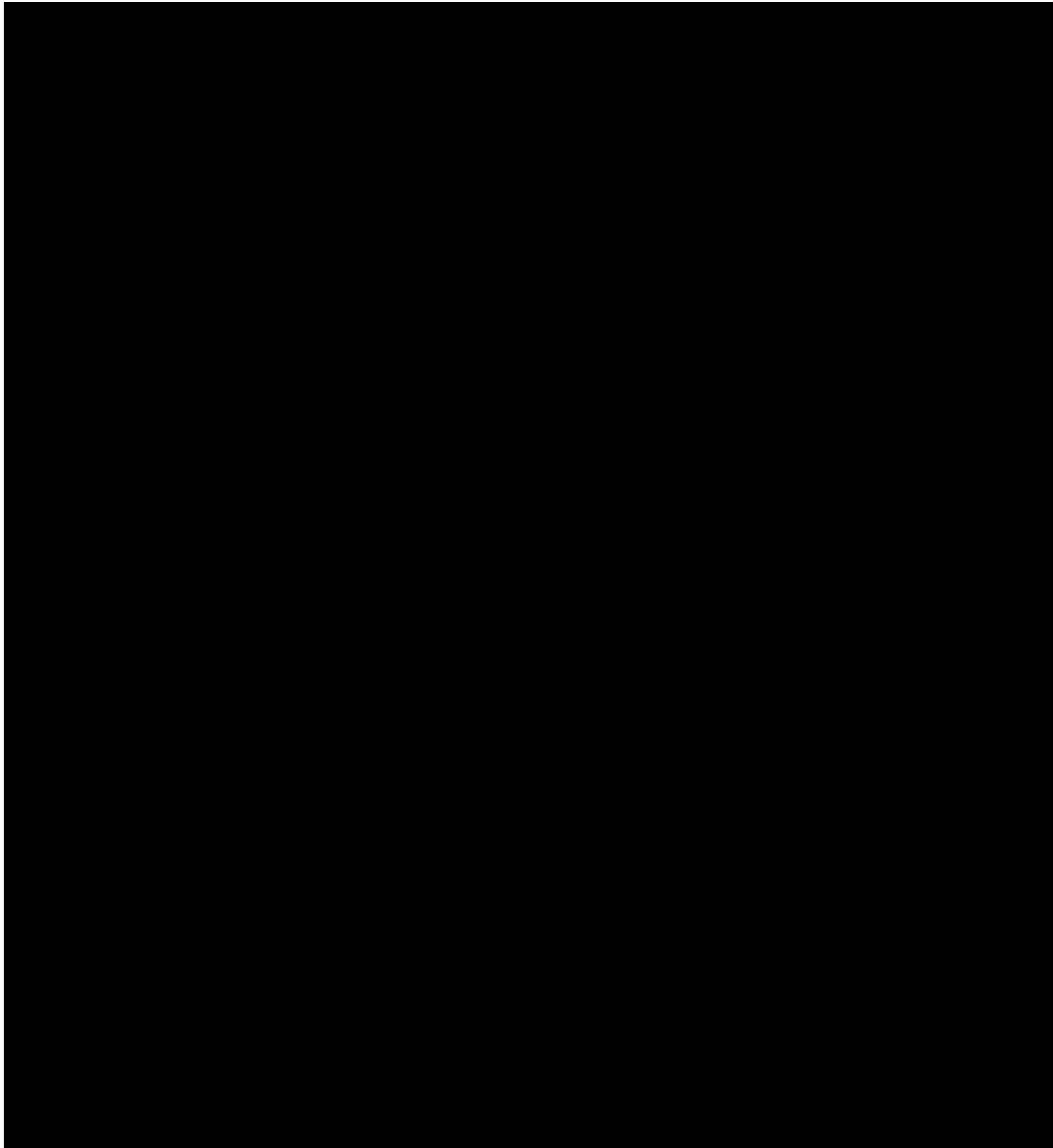
---



om>

**flat 4 751A Finchley Rd**

1 message



# TENANCY AGREEMENT

and must not be reproduced

for letting a furnished dwelling-house  
on an assured shorthold tenancy  
under Part I of the Housing Act 1988

is a form of legal document and  
produced or drafted for use  
without technical assistance, by  
persons unfamiliar with the law of  
land and tenancy.

IF EITHER PARTY DOES NOT  
UNDERSTAND THIS AGREEMENT OR  
ANYTHING IN IT, HE OR SHE IS  
SOLELY ADVISED TO ASK AN  
INDEPENDENT PERSON FOR AN  
EXPLANATION. SUCH AN  
EXPLANATION MIGHT BE GIVEN BY  
A SOLICITOR, A CITIZENS' ADVICE  
BUREAU OR A HOUSING ADVICE  
CENTRE.

It is to be noted that any assured tenancy  
(including a statutory periodic  
tenancy) commencing on or after 28th  
February 1997 will be an assured  
shorthold tenancy unless it falls  
in any paragraph in Schedule 2A  
of the Housing Act 1988.

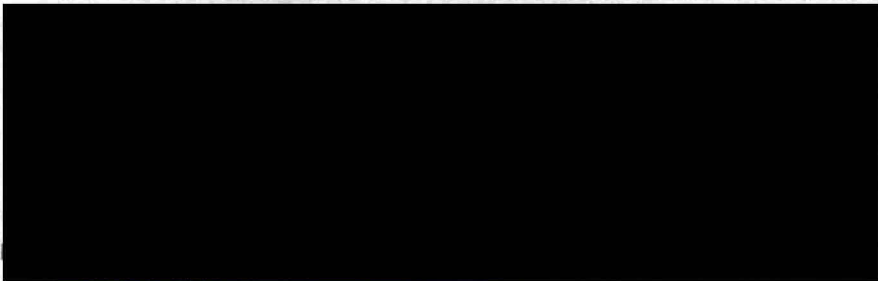
This form should not be used for  
letting a tenancy to a person who is  
already a protected or statutory  
tenant or a protected occupier: see  
section 1 of the Housing Act 1988.

DATE  
PARTIES

2nd August 2017

1. THE Landlord  
Salata Ltd C/O 29 Fountayne Road, London, N16 7EA ( Tel No  
02071834943 or 02071834942, 02088065861)

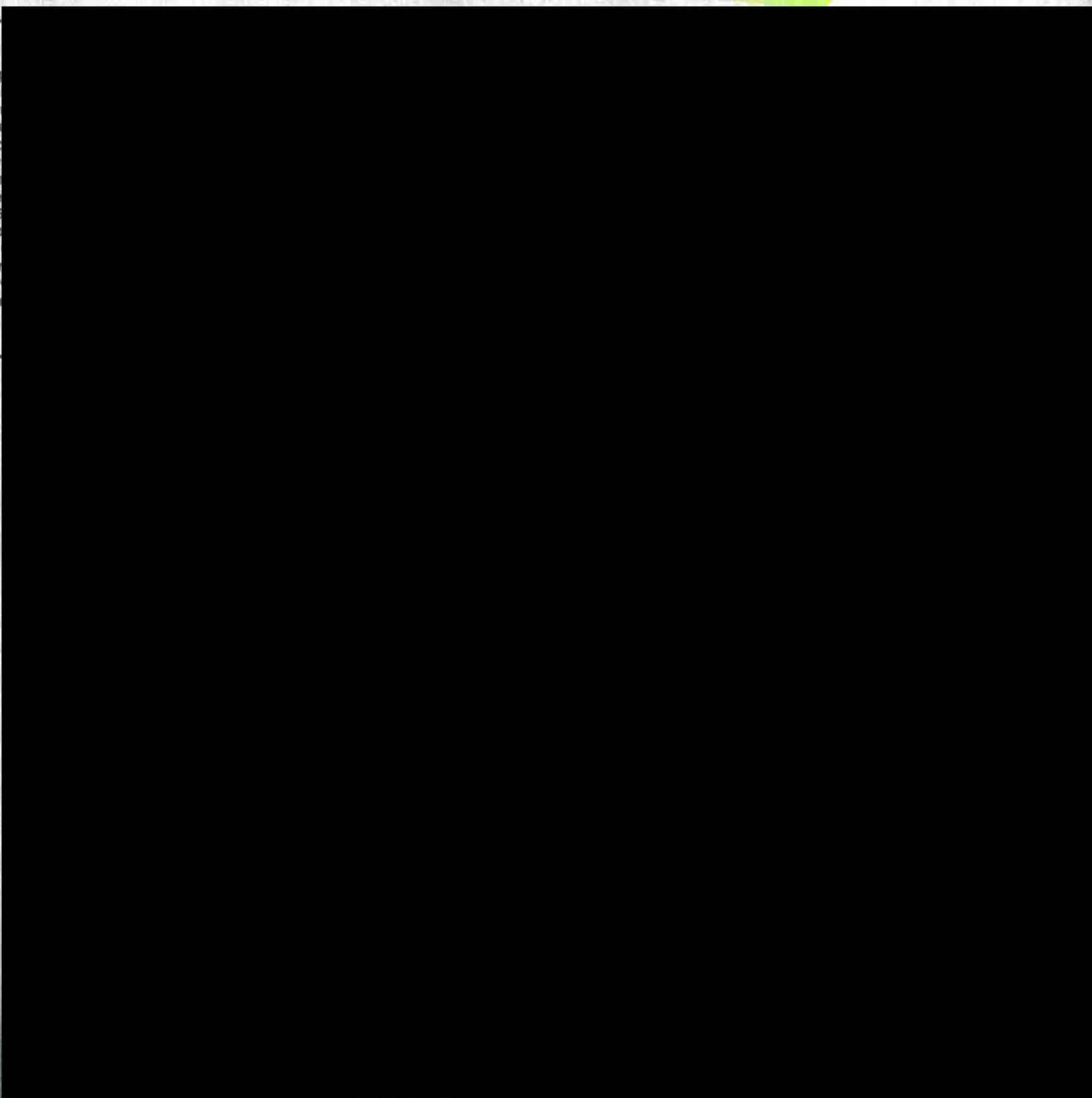
PROPERTY



Flat 4, 75A Finchley Road, London, NW11 8DL

### DEPOSITS

If the landlord takes a deposit, the  
landlord must, within 30 days  
of the date of payment of the  
deposit by the tenant and any  
person on his behalf, certain  
information about the deposit  
to the relevant authority. The  
deposit is protected. See  
section 213 of the Housing Act  
2004 (Tenancy Deposit  
Protection Scheme (TDPS) (as  
prescribed Information) (SI  
2007/797). The law does not  
require a deposit for tenancies  
of property other than  
residential property.



# Deposit Protection Certificate



This Certificate confirms that your landlord/agent has protected your deposit with my|deposits, a government authorised tenancy deposit scheme, and complied with the Housing Act 2004 legislation. It must be read in conjunction with the 'Information for Tenants' leaflet which your landlord/agent should have given you with this certificate. A copy is available at [www.mydeposits.co.uk](http://www.mydeposits.co.uk) in the tenant section. This Certificate is valid for the duration of the fixed term AST agreement (details below). If at the end of this agreement any of the terms change or you sign a new AST agreement then your landlord/agent must re-protect your deposit and issue you a new Certificate.

This Certificate has four sections:

1. Warnings to Tenants
2. Details of the Protected Deposit
3. Key details of The Housing Act 2004 - Prescribed Information Order
4. The end of your Tenancy

## Section 1 – Warnings to Tenants:

- A landlord may protect the tenant's deposit with my|deposits. Alternatively a landlord may instruct an agent to protect the tenant's deposit on the landlord's behalf.
  - Your landlord always remains responsible for your deposit even if the landlord has instructed an agent to protect it on their behalf.
  - my|deposits does not hold your deposit, except during a deposit dispute when we will hold the disputed amount until the dispute is resolved.
  - Within 30 days of receiving your deposit your landlord/agent must provide you with a signed Deposit Protection Certificate and the my|deposits 'Information for Tenants' leaflet.
  - You should sign this Certificate to confirm the details are correct, or contact your landlord/agent with any errors.
  - my|deposits agent members must hold your deposit in a client bank account separate from other business monies.
- IF YOU HAVE PAID YOUR DEPOSIT TO AN AGENT YOU MAY WANT TO CHECK THIS**

## Section 2 – Details of the Protected Deposit:

Property Address:

Flat 4, 751a Finchley Road, London, NW11 8DL

## Section 3 – Key details Housing Act 2004 - Prescribed Information Order

As well as protecting your deposit with an authorised Tenancy Deposit Protection Scheme, the Housing Act 2004 also requires your Landlord/Agent to provide you with specific information regarding the protection of your deposit – The Prescribed Information.

mydeposits assists your Landlord/Agent by providing much of the required information in this Certificate and within the 'Information for Tenants' leaflet. It is the responsibility of your Landlord/Agent to provide this information within 30 days of receiving the deposit from you. mydeposits cannot be held liable in any way for the failure of your Landlord/Agent in providing this information or by the failure to provide it within the 30 day period. For a full transcript of the requirements of The Housing (Tenancy Deposits) (Prescribed Information) Order 2007, please download a copy from our website: [www.mydeposits.co.uk](http://www.mydeposits.co.uk)

The Prescribed Information requirements relating to tenancy deposits and how mydeposits assists the Landlord/Agent to meet the requirement for you:

Requirement:	How met:
(a) The name, address, telephone number, e-mail address and any fax number of the scheme administrator of the authorised tenancy deposit scheme applying to the deposit.	mydeposits is administered by HFIS plc, T/A Hamilton Fraser Insurance (The Scheme Administrator). mydeposits, Premiere House, Elstree Way, Borehamwood, Hertfordshire, WD6 1JH. Tel 0333 321 9401 • Fax 0845 634 3403 • <a href="mailto:info@mydeposits.co.uk">info@mydeposits.co.uk</a>
(b) Any information contained in a leaflet supplied by the scheme administrator to the landlord which explains the operation of the provisions contained in sections 212 to 215 of, and Schedule 10 to, the Act.	Provided within the 'Information for Tenants' leaflet that should be given to you by your Landlord/Agent with this Certificate.
(c) The procedures that apply under the scheme by which an amount in respect of a deposit may be paid or repaid to the tenant at the end of the shorthold tenancy ("the tenancy").	Provided within the 'Information for Tenants' leaflet that should be given to you by your Landlord/Agent with this Certificate.
(d) The procedures that apply under the scheme where either the landlord or the tenant is not contactable at the end of the tenancy. NB: For the purposes of this paragraph the reference to a landlord or a tenant who is not contactable includes a landlord or tenant whose whereabouts are known, but who is failing to respond to communications in respect of the deposit.	If your Landlord/Agent is not contactable at the end of the tenancy you should contact mydeposits to raise a possible deposit dispute on 0333 321 9401 or notify us of a possible deposit dispute online at <a href="http://www.mydeposits.co.uk">www.mydeposits.co.uk</a>
(e) The procedures that apply under the scheme where the landlord and the tenant dispute the amount to be paid or repaid to the tenant in respect of the deposit.	Provided within the 'Information for Tenants' leaflet that should be given to you by your Landlord/Agent with this Certificate.
(f) The facilities available under the scheme for enabling a dispute relating to the deposit to be resolved without recourse to litigation.	Provided within the 'Information for Tenants' leaflet that should be given to you by your Landlord/Agent with this Certificate.
(g) The following information in connection with the tenancy in respect of which the deposit has been paid:	
(i) the amount of the deposit paid;	Provided within this Certificate of Protection.
(ii) the address of the property to which the tenancy relates;	Provided within this Certificate of Protection.
(iii) the name, address, telephone number, and any e-mail address or fax number of the landlord;	Unless protected under an Agent - the AST should contain the Landlords details.
(iv) the name, address, telephone number, and any e-mail address or fax number of the tenant, including such details that should be used by the landlord or scheme administrator for the purpose of contacting the tenant at the end of the tenancy;	The name and address of the tenant are provided within this Certificate of Protection but the telephone number, and any e-mail address or fax number of the tenant are recorded only in the mydeposits system data base.
(v) the name, address, telephone number and any e-mail address or fax number of any relevant person;	Provided within this Certificate of Protection when applicable.
(vi) the circumstances when all or part of the deposit may be retained by the landlord, by reference to the terms of the tenancy;	* <a href="#">mydeposits cannot assist here</a> - this should be explained within the AST that you have signed.
(vii) confirmation (in the form of a certificate signed by the landlord) that - (aa) the information he provides under this sub-paragraph is accurate to the best of his knowledge and belief;	* <a href="#">mydeposits cannot assist here</a> - only the Landlord/Agent can sign to confirm this.
(bb) he has given the tenant the opportunity to sign any document containing the information provided by the landlord under this article by way of confirmation that the information is accurate to the best of his knowledge and belief.	* <a href="#">mydeposits cannot assist here</a> - you should check the details of your deposit recorded hereon and only sign if they are correct. If any information about your deposit recorded on this certificate is incorrect you should contact your Landlord/Agent.

\* Please note that mydeposits is unable to fulfil the requirements in paragraphs (g) (vi) and (vii) above on behalf of your Landlord/Agent and these requirements will have to be satisfied by them personally as explained above.

## Section 4 – The end of your Tenancy:

Please visit [www.mydeposits.co.uk](http://www.mydeposits.co.uk) to notify us of any dispute about the return of your deposit at the end of your tenancy. The 'Information for Tenants' leaflet provides further information.

# BERNS & COMPANY

43 Mill Lane  
West Hampstead  
London NW6 1NB  
Tel 020 7431 6880 Fax 020 7431 6882

## STATEMENT

Sellata Ltd

C/o 29 Fountayne Road  
LONDON  
N16 7EA

October 29, 2017

MONEY COLLECTED

Rent

Deposit

Commission

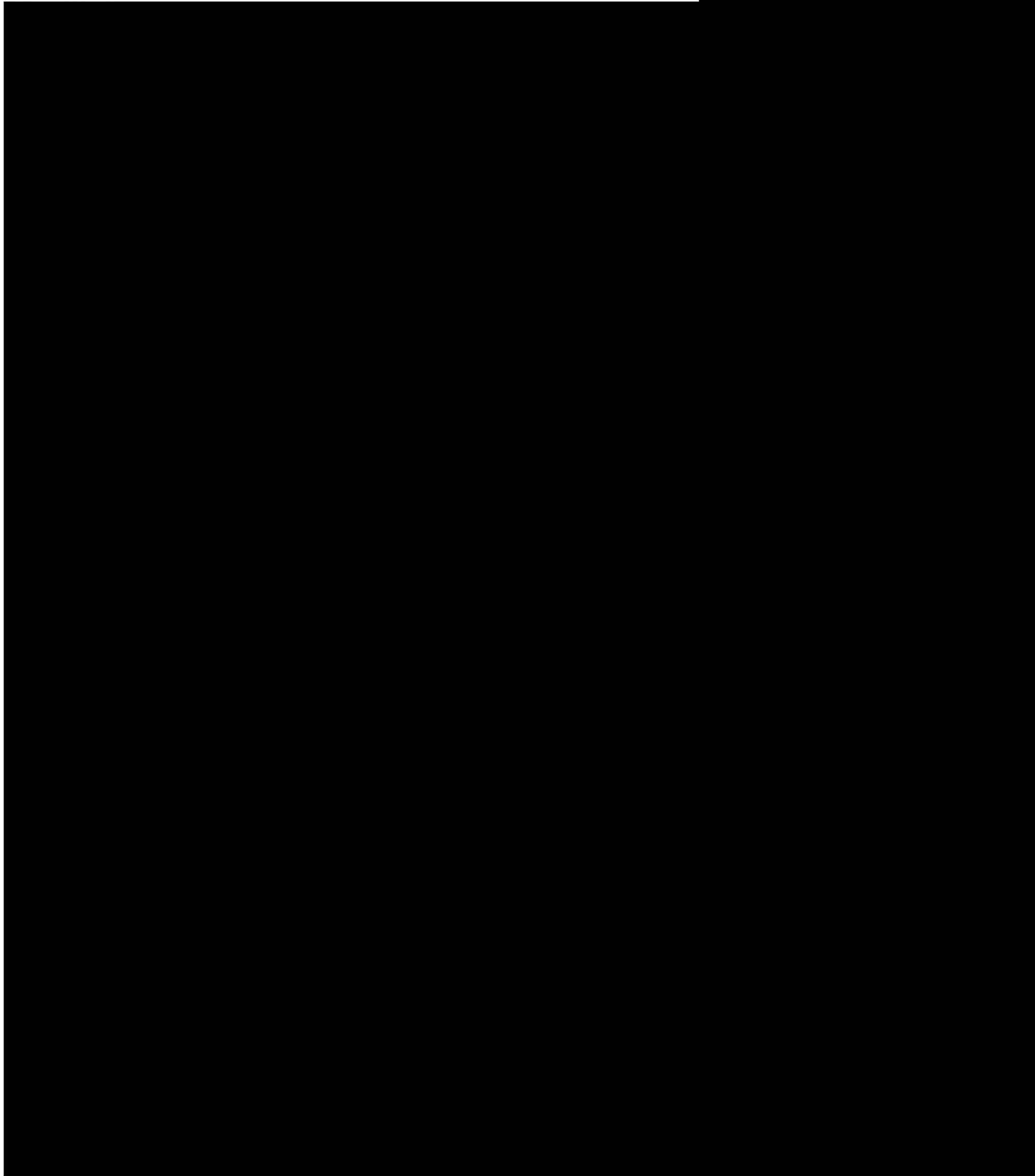
Flat 4 751a Finchley Road NW11

\*\*\*We confirm that Berns & Company  
and are registering it with Tenancy Dep



**Re: re Flat 4, 751a Finchley Rd.**

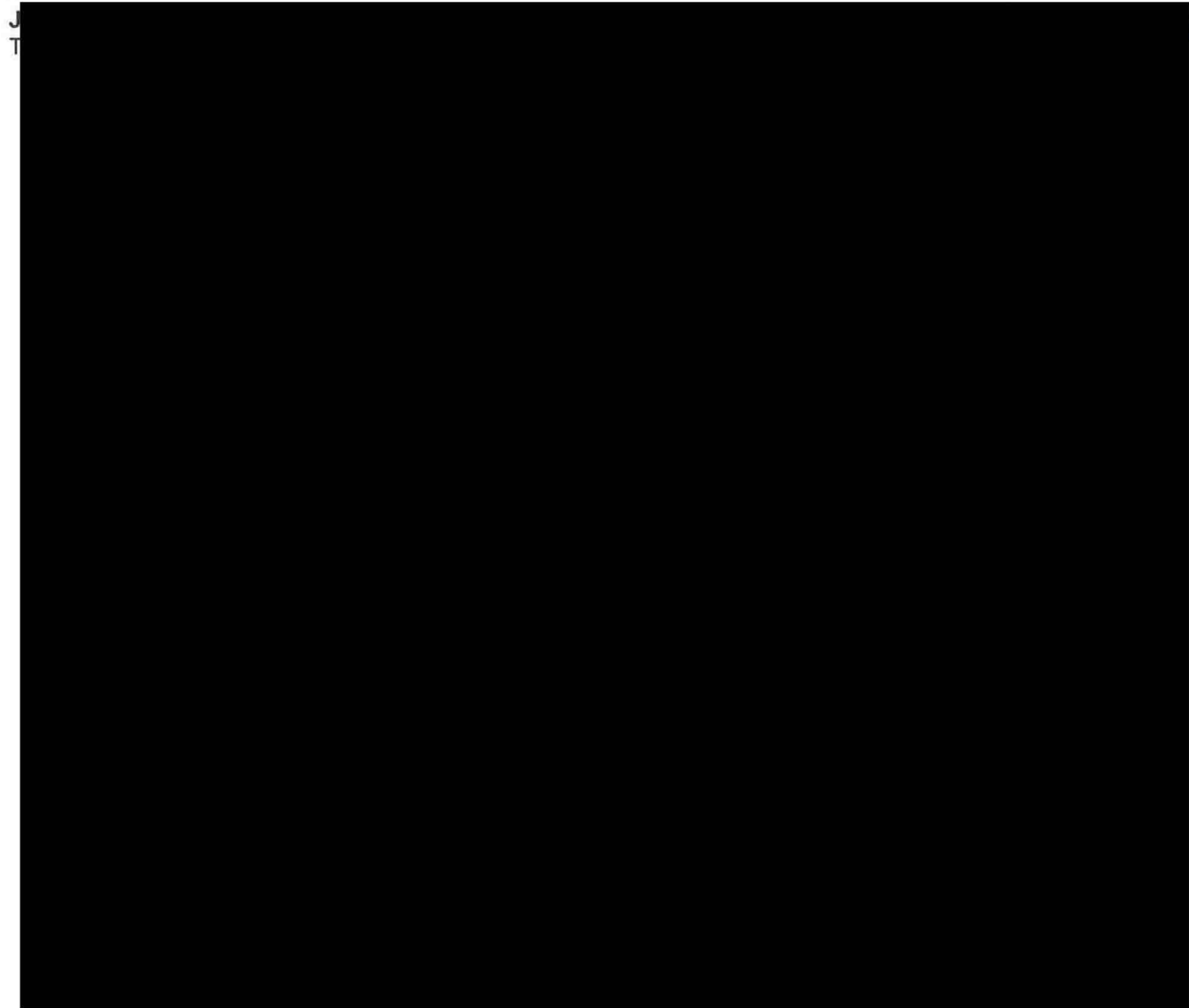
1 message





Re: 4/751a fr

1 message



19:40

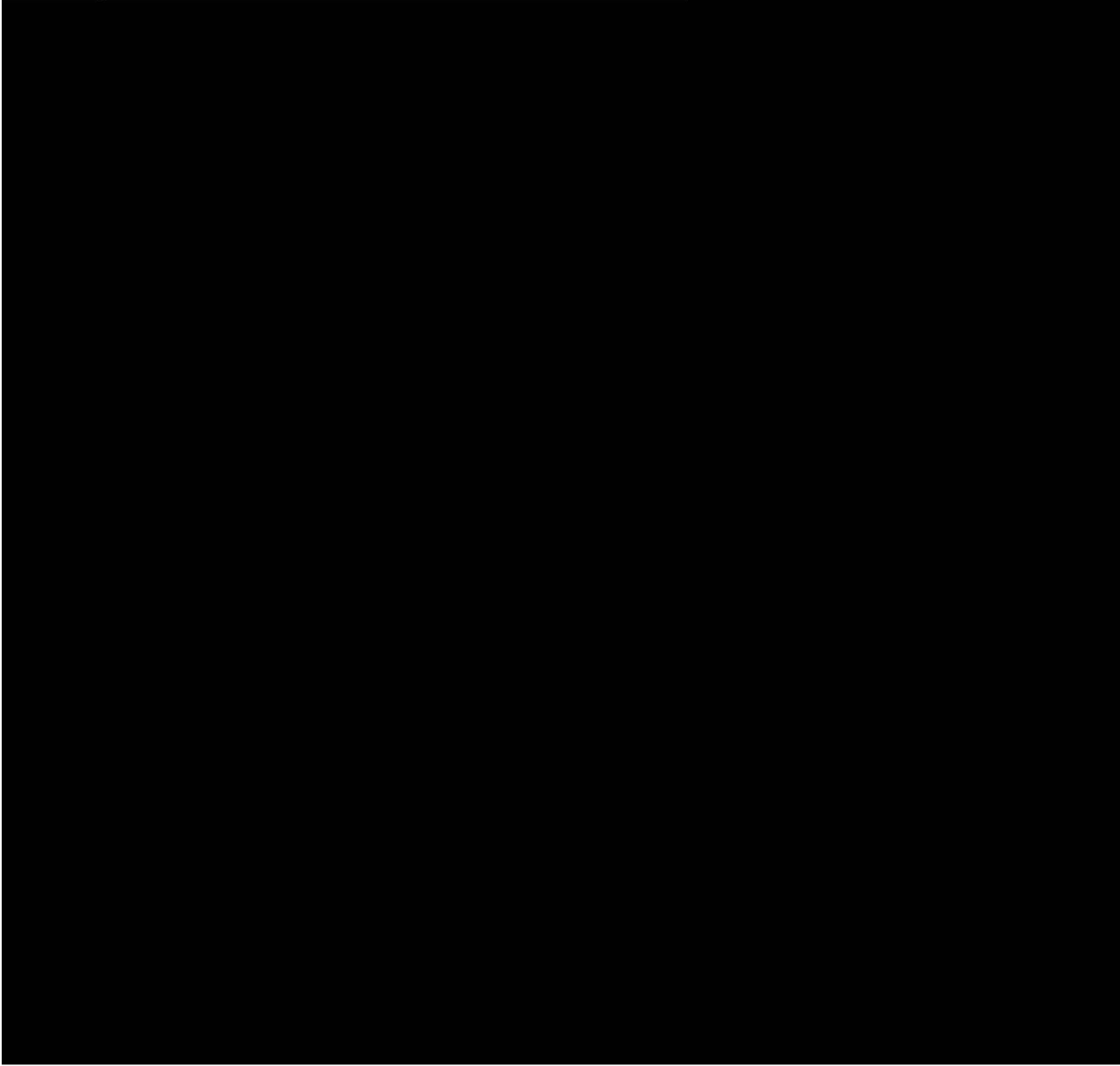
Sent from my iPhone





**4/751A Finchley Rd**

1 message

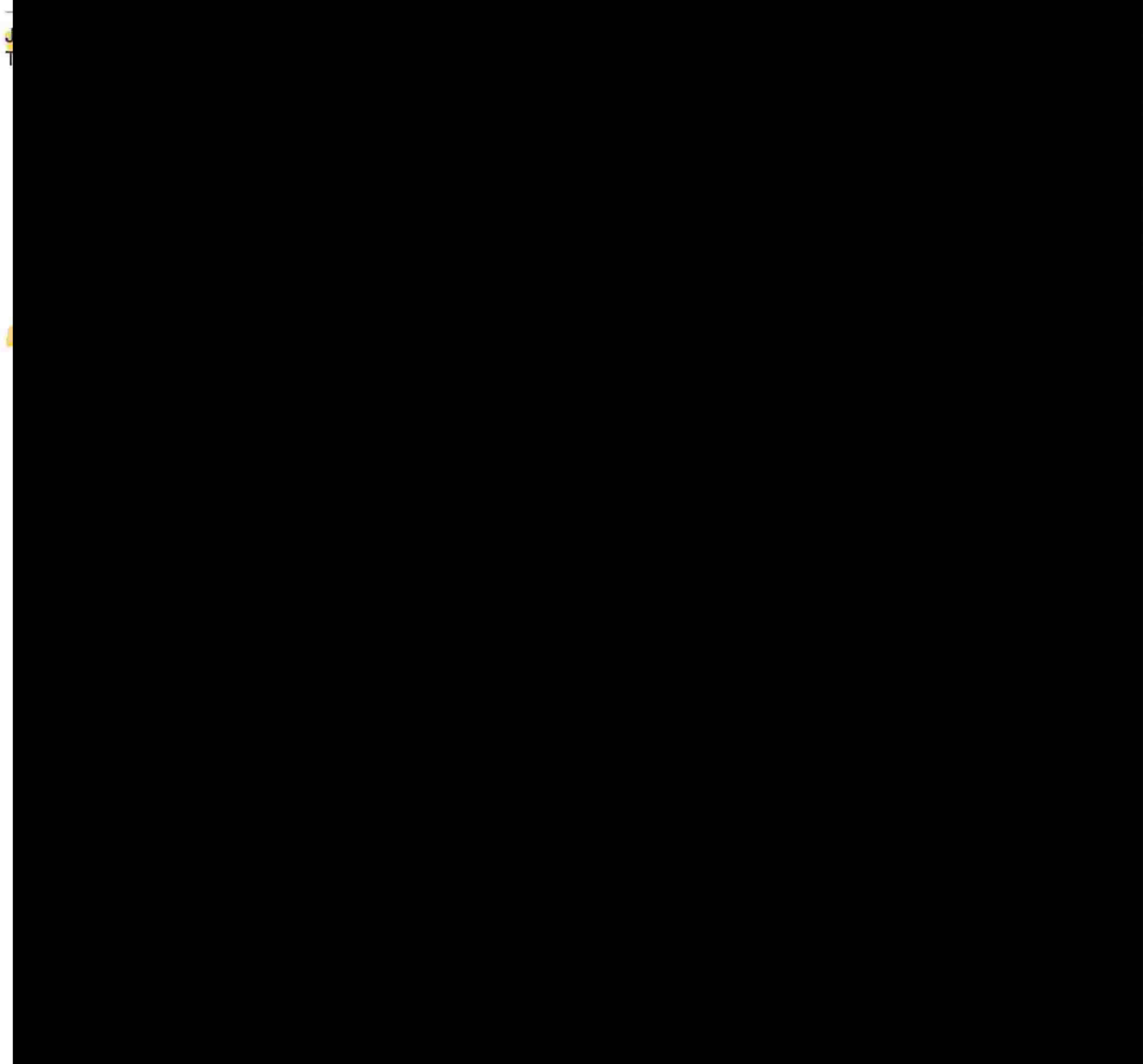


:44



**RE: re flat 4, 751a Finchley Road**

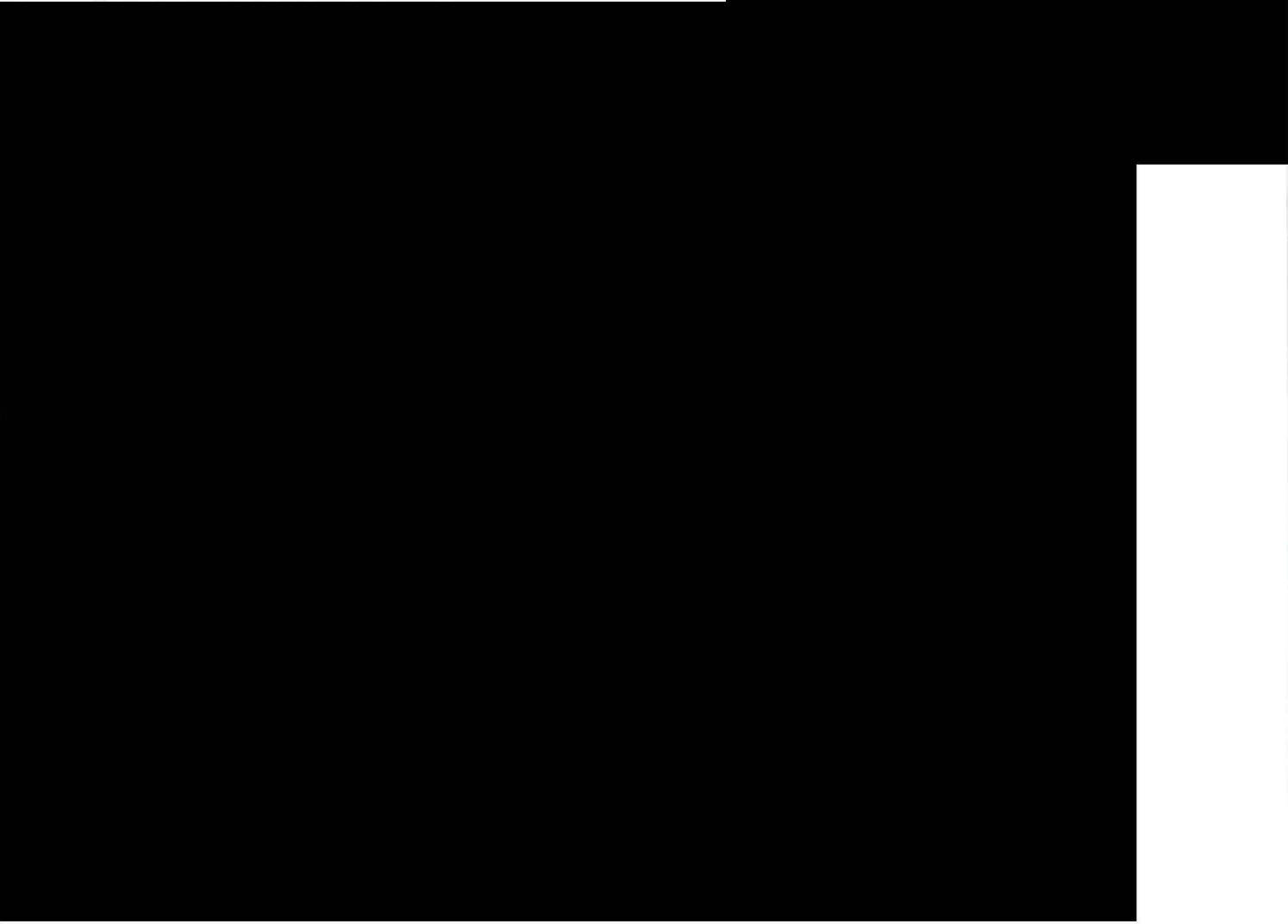
1 message





**re flat 4, 751a Finchley Road**

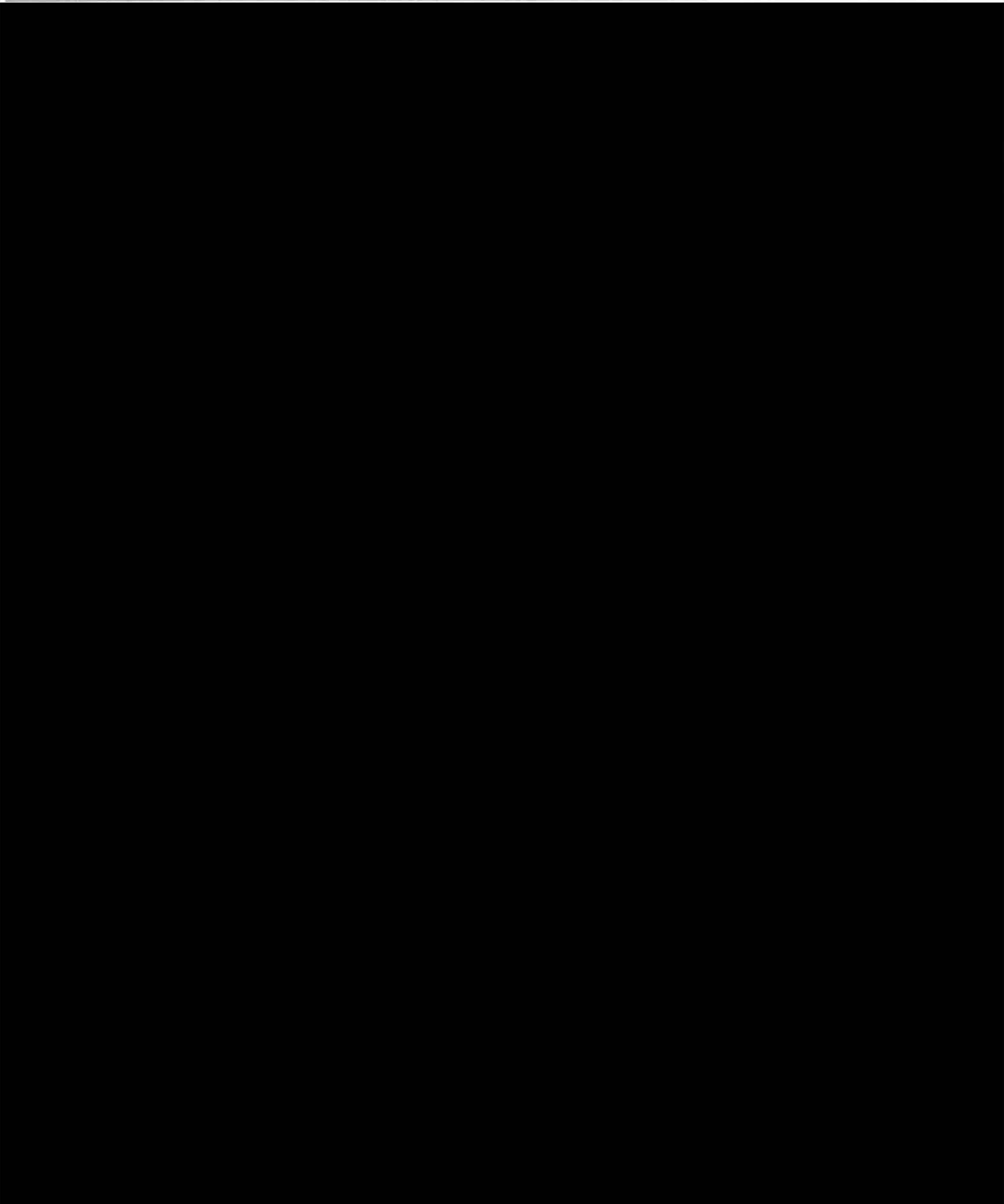
1 message





**RE: re Flat 4, 751a Finchley Road**

1 message



Accounts Administrator





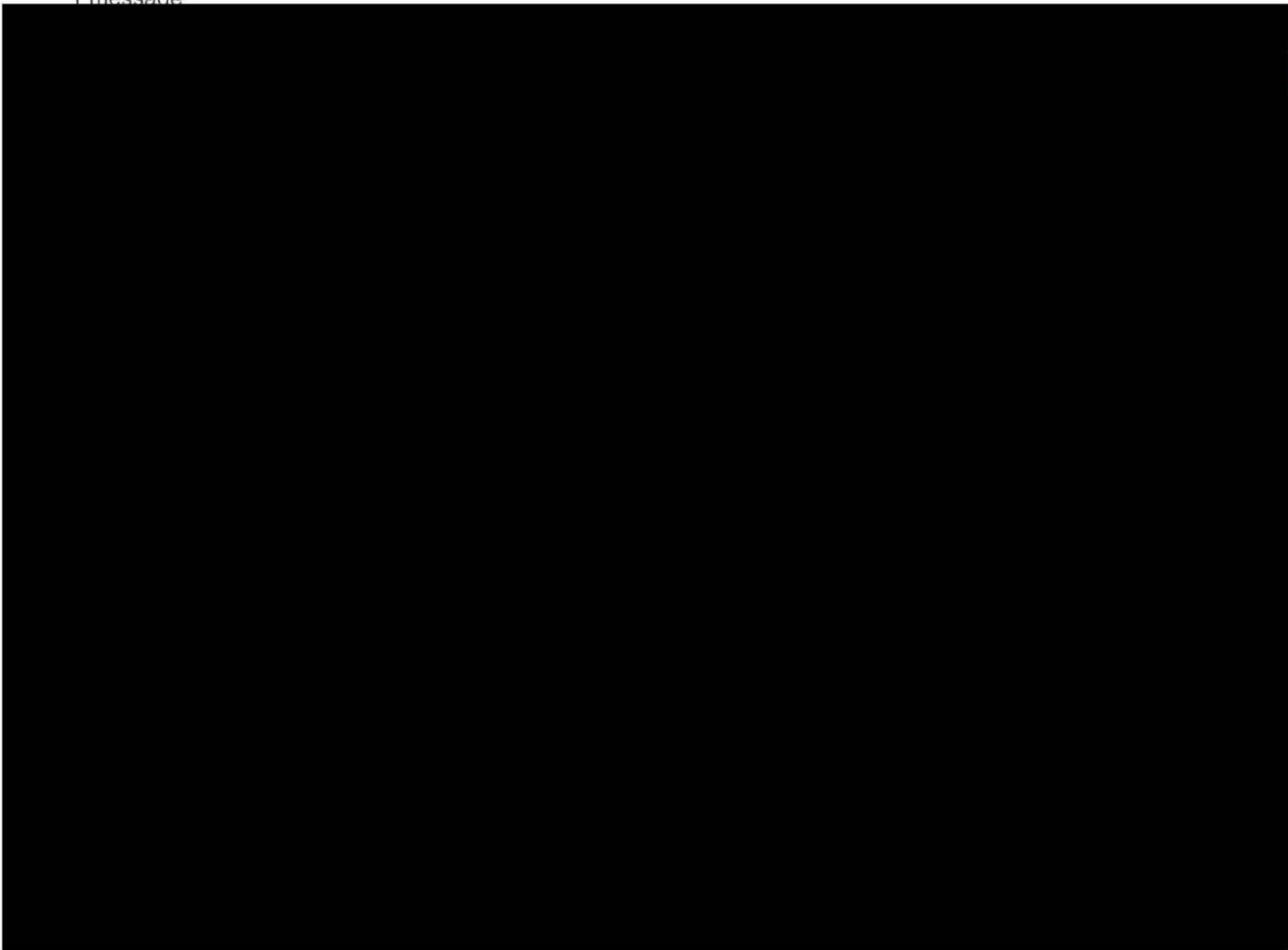
**Re: re Flat 4, 751a Finchley Road**

[Redacted content]



**Re: re Flat 4, 751a Finchley Road**

1 message



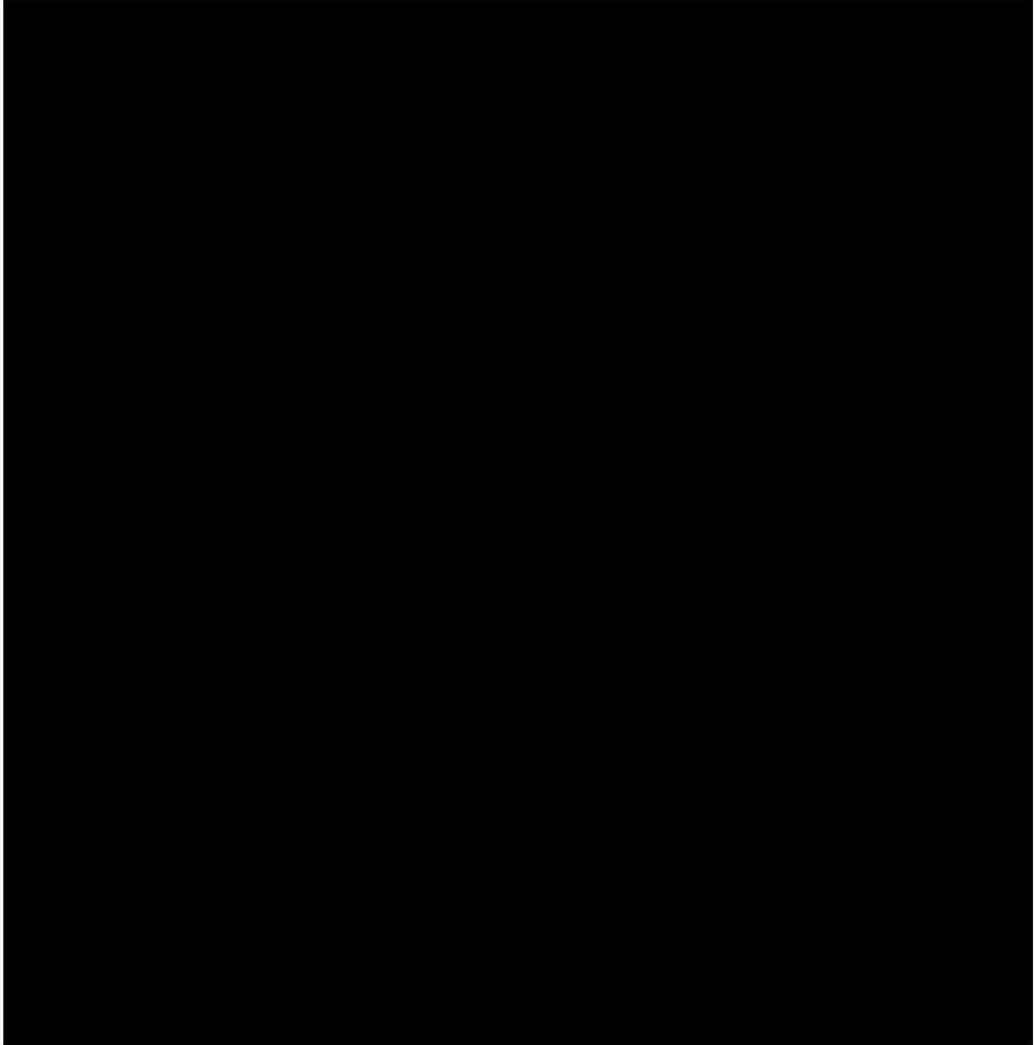


Flat 4

751a Finchley Road

London

NW11 8DL







4/751A Finchley rd

**RENT ARREARS.**

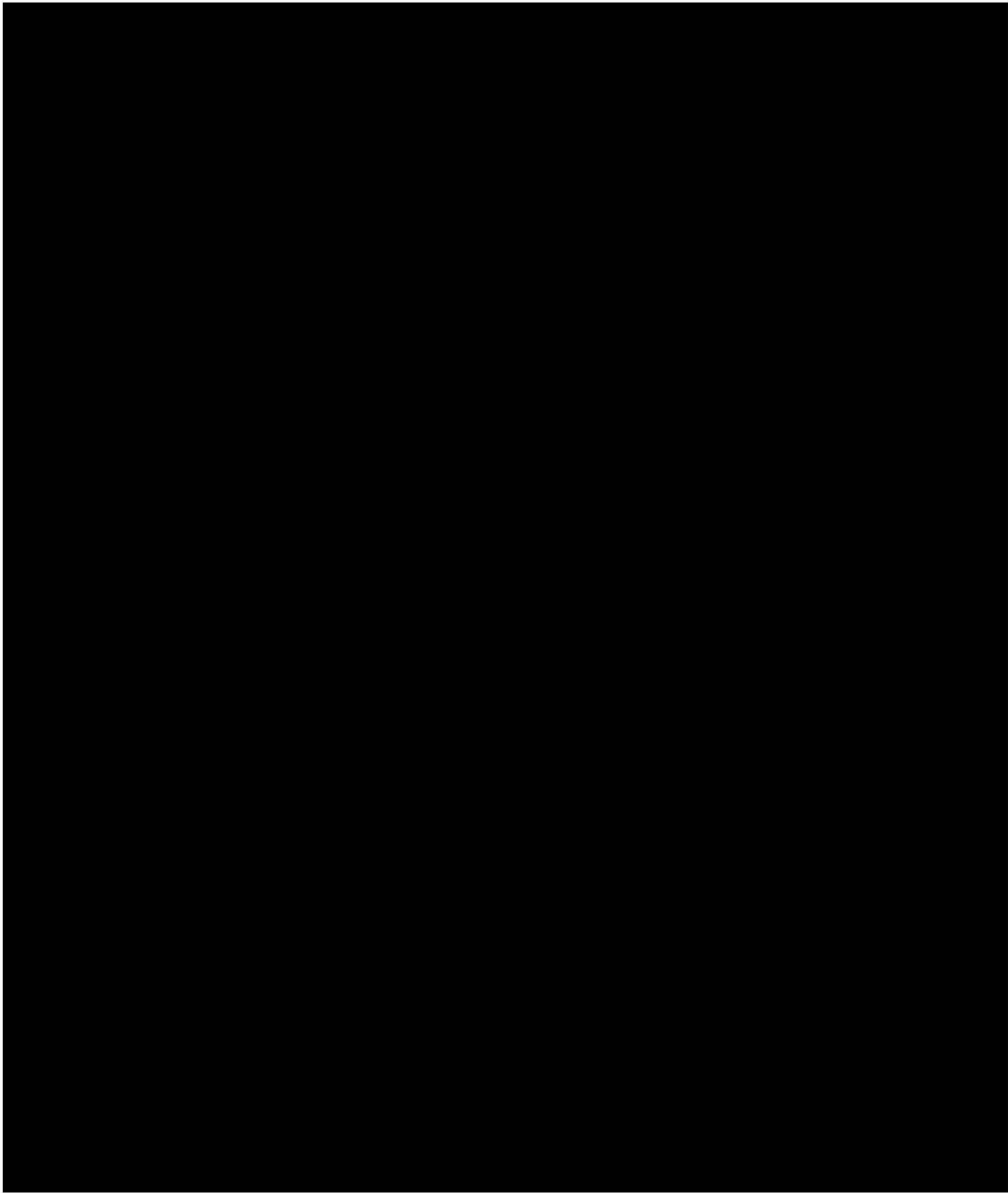


Flat 4

751a Finchley Road

London

NW11 8DL



# BERNS & COMPANY

43 Mill Lane  
West Hampstead  
London NW6 1NB  
Tel 020 7431 6880 Fax 020 7431 6882

## STATEMENT

Sellata Ltd  
29 Fountayne Road  
LONDON N16 7EA

October 17, 2018

4 751 Finchley Road NW1

### COMMISSIONS

Commission  
4 751 Finchley Road NW1

\*\*We confirm that Berns & Company are holding the deposit  
and are registering it with Tenancy Deposit Solutions Ltd



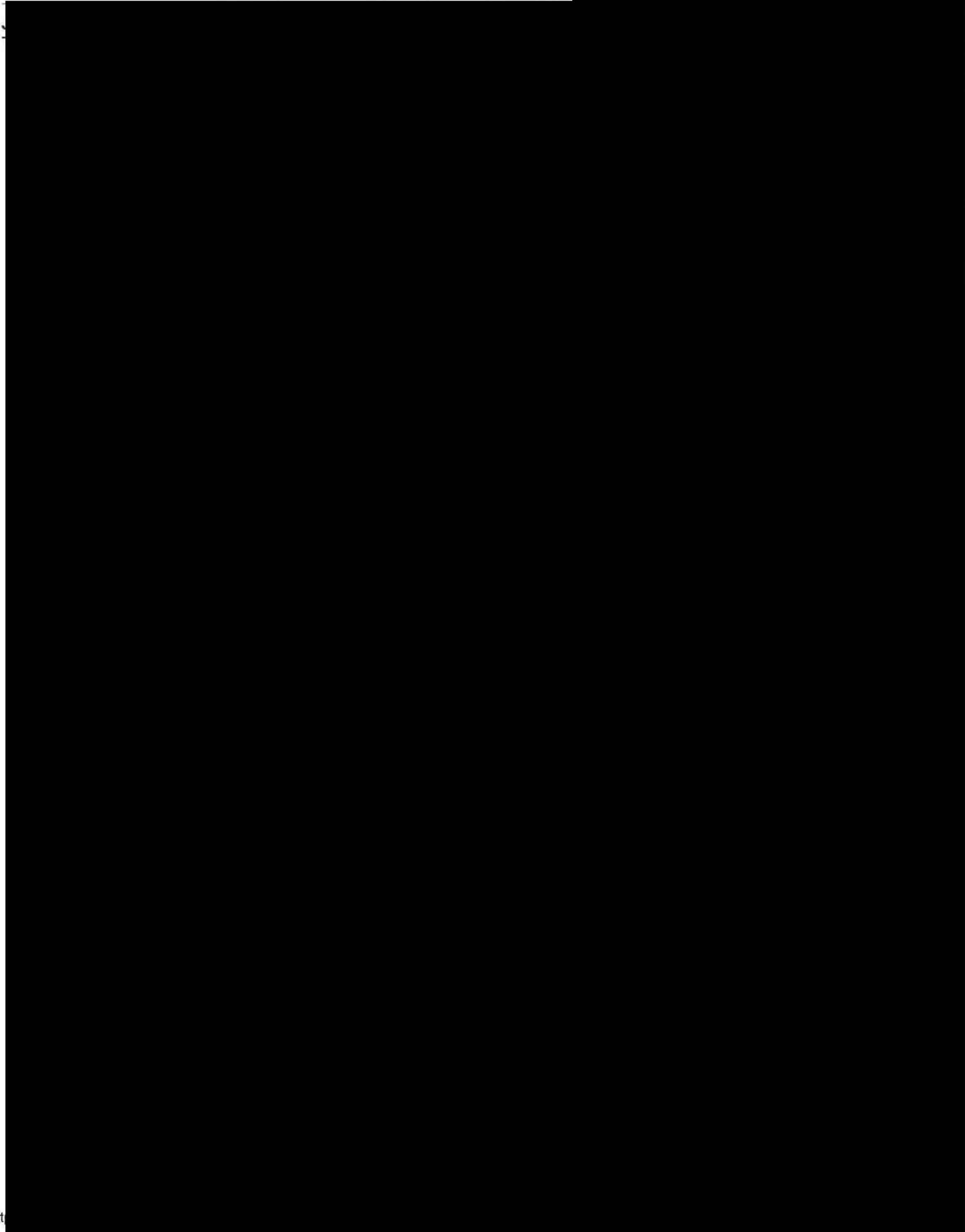
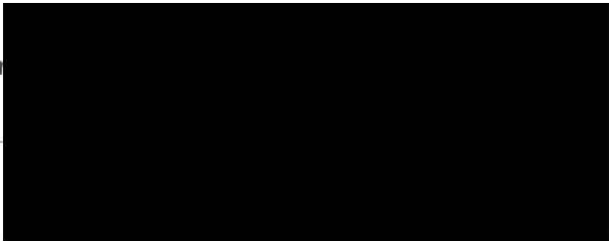
Total deductions £309.60

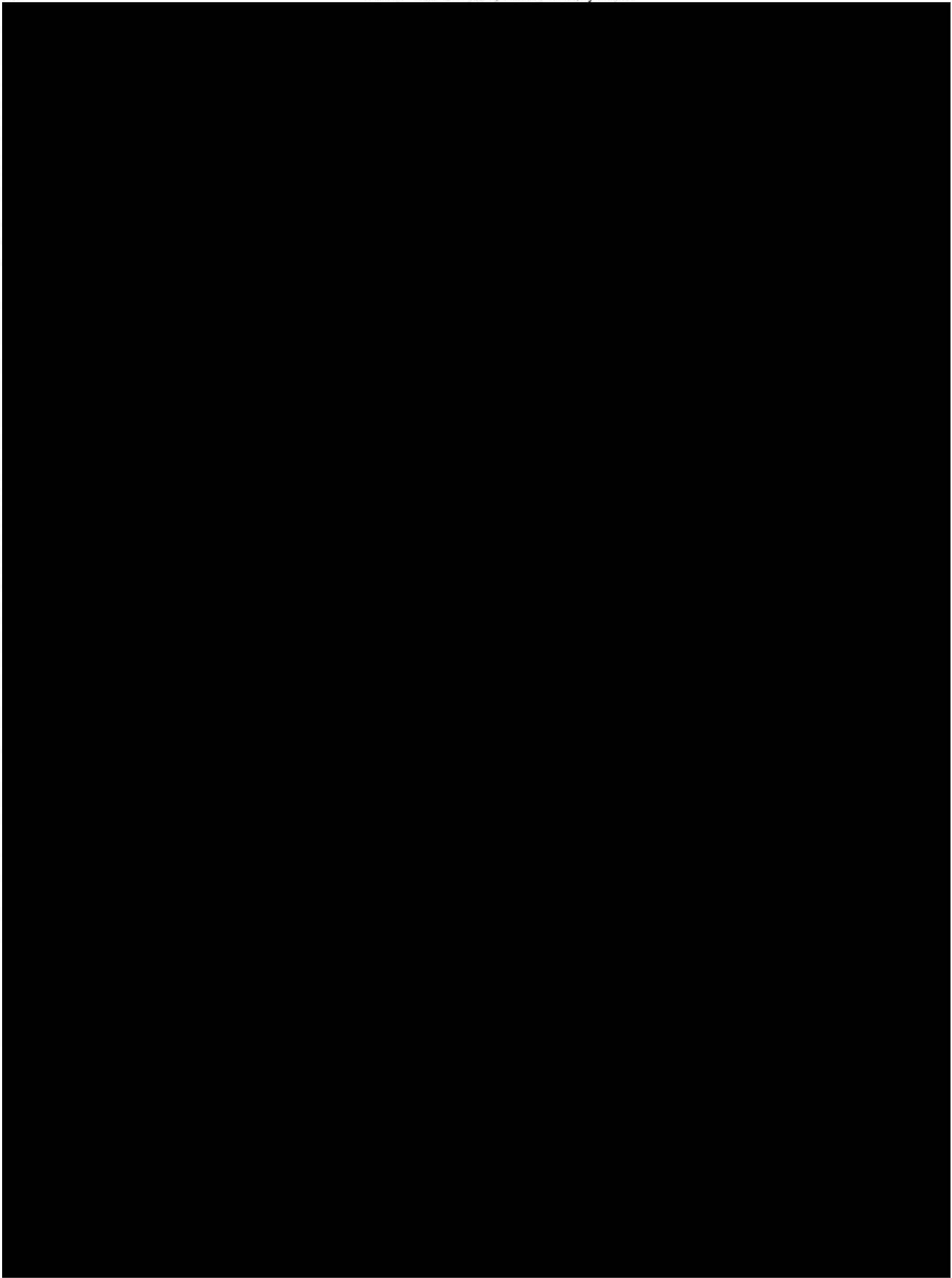
**BALANCE TO CLIENT £440.40**



**Re: re Flat 4, 751a Finchley Road**

1 message

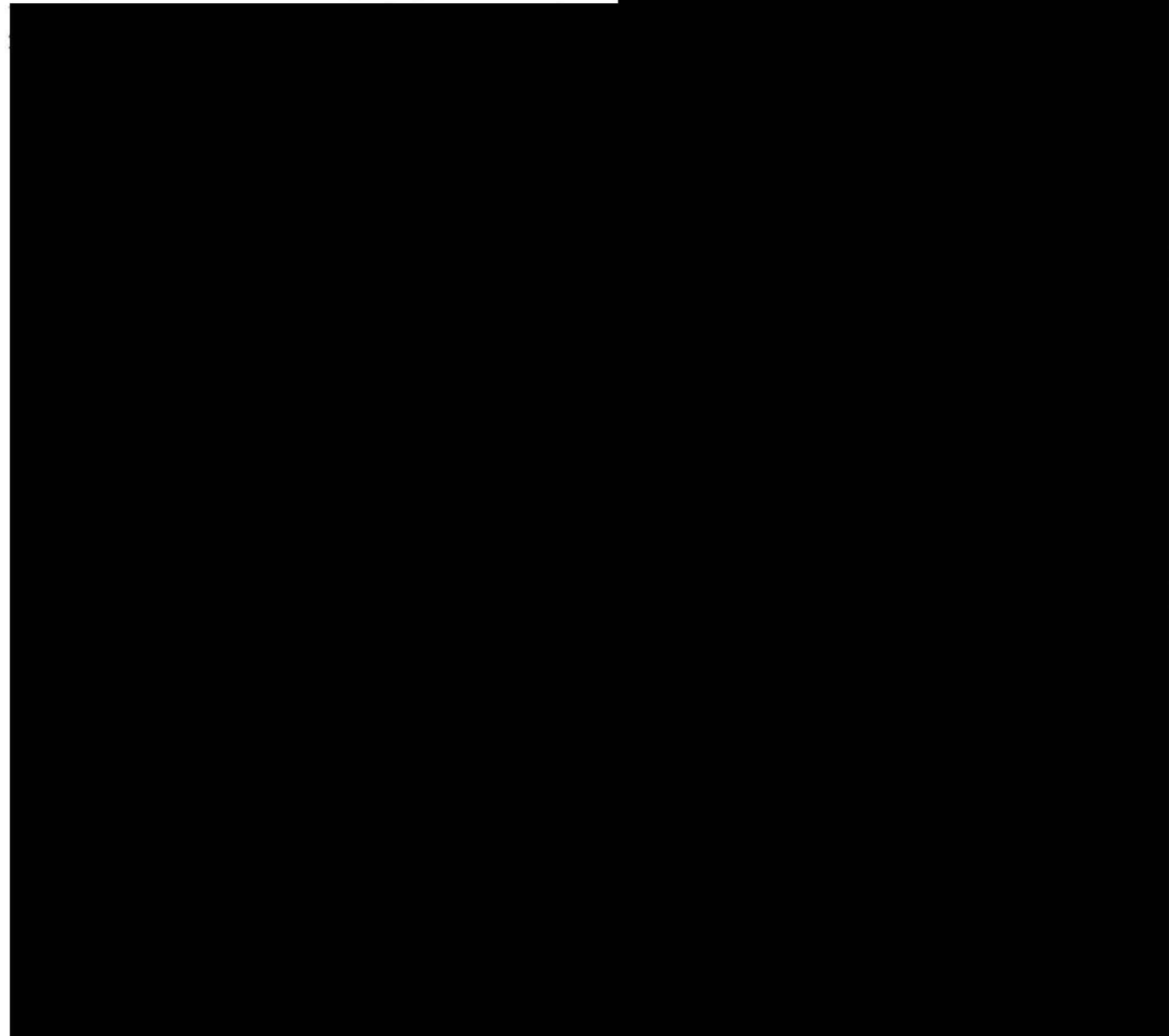






**re Flat 4, 751a Finchley Rd**

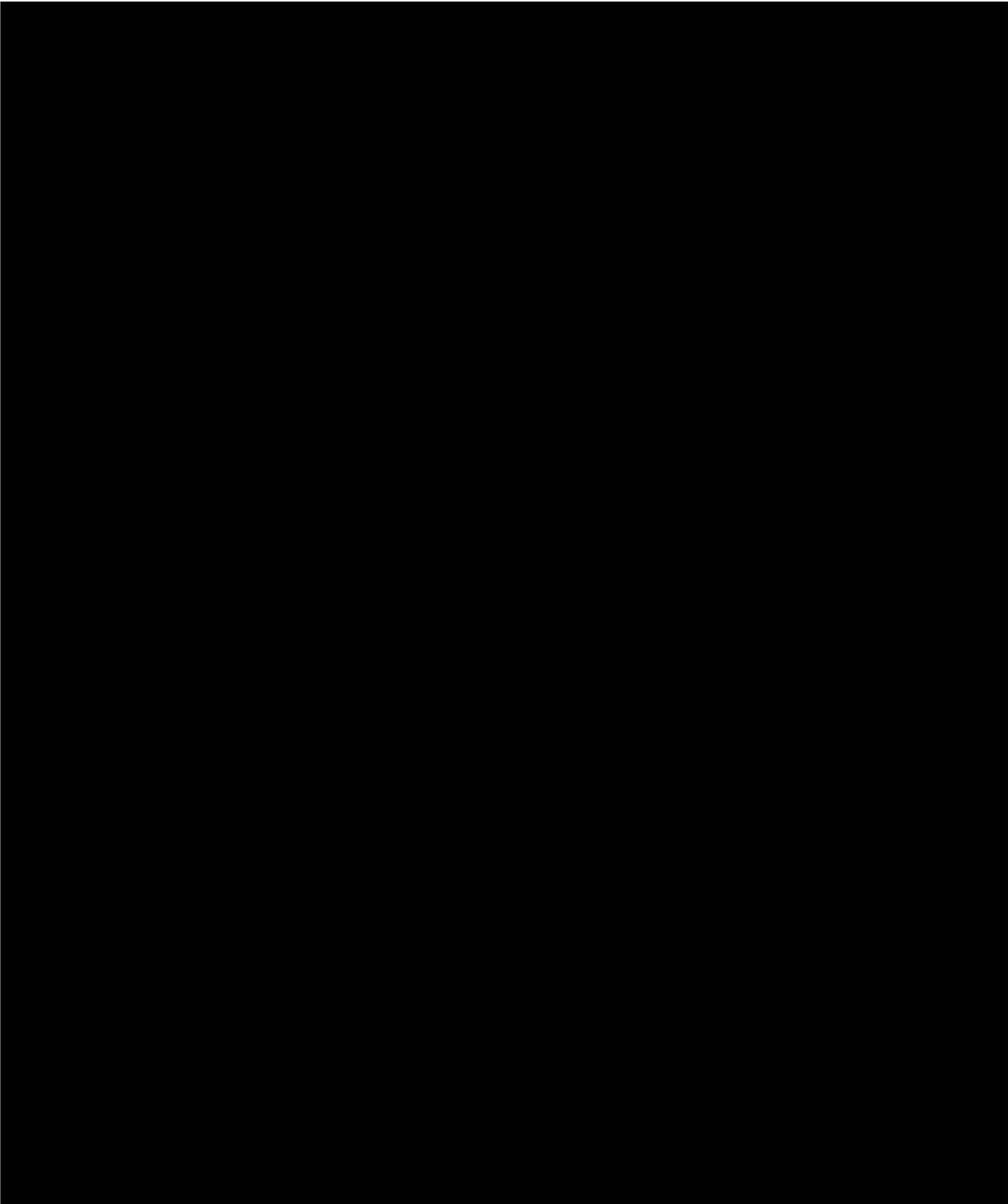
1 message



[REDACTED]  
Mr Francis Kabemba  
Flat 4  
751a Finchley Road  
London  
NW11 8DL

DATE	DUE	RECEIVED	BALANCE
------	-----	----------	---------

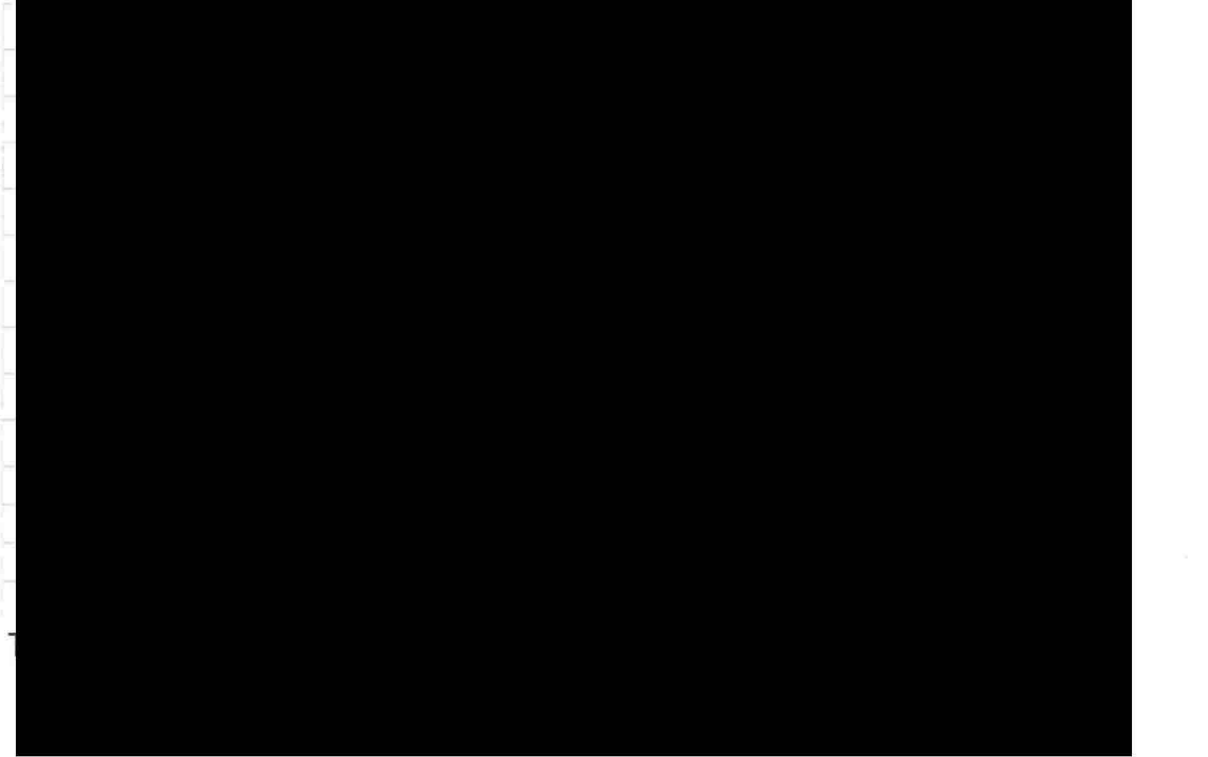
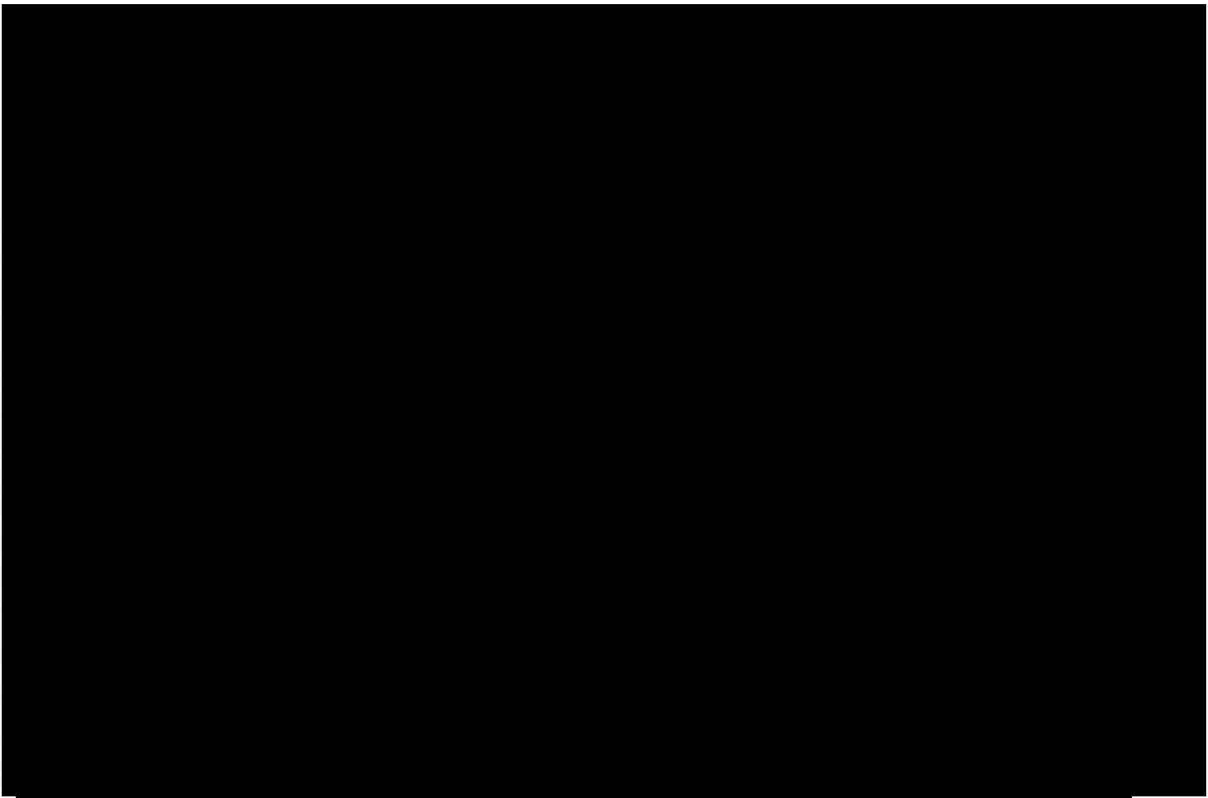
[REDACTED]			
------------	--	--	--

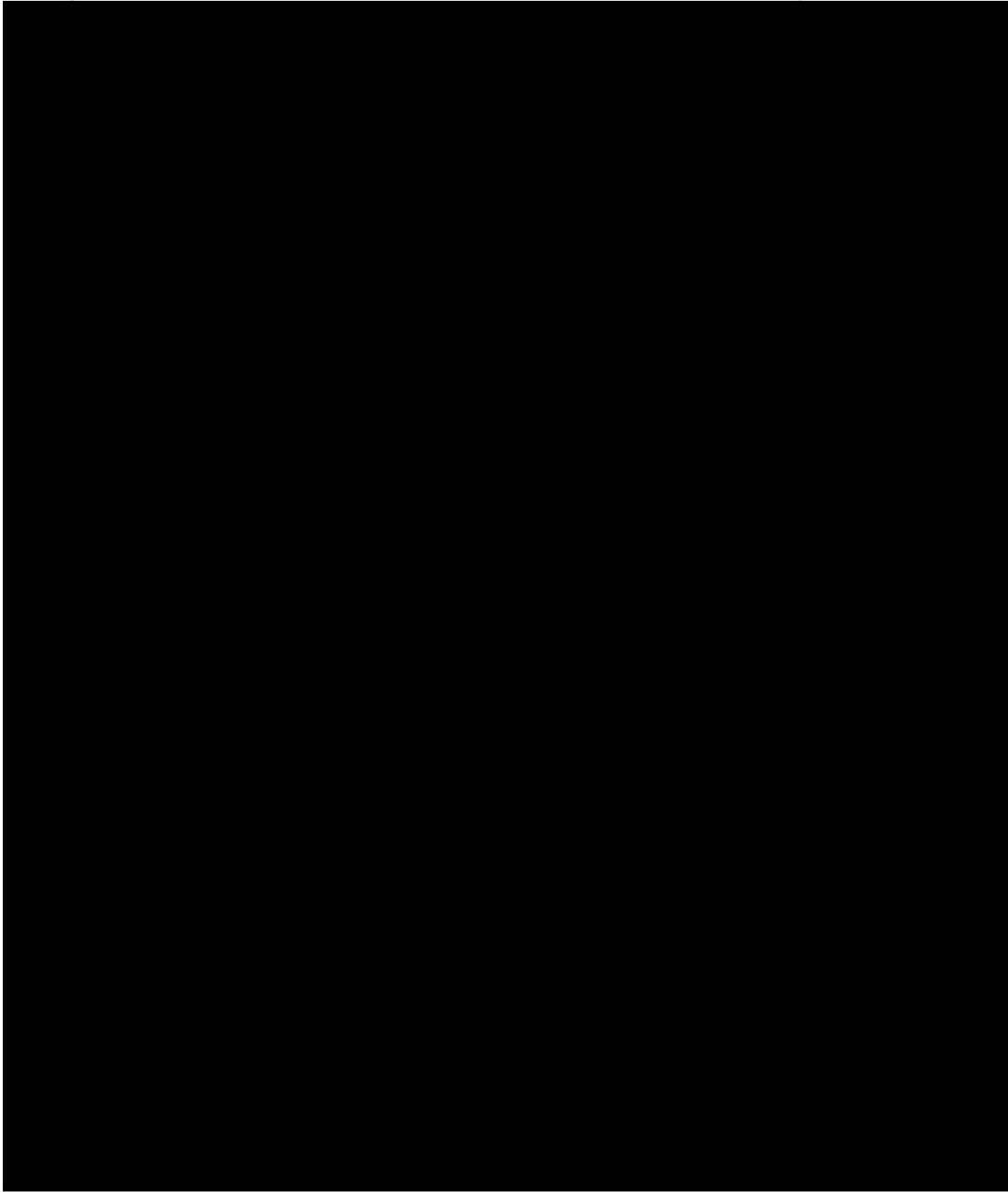


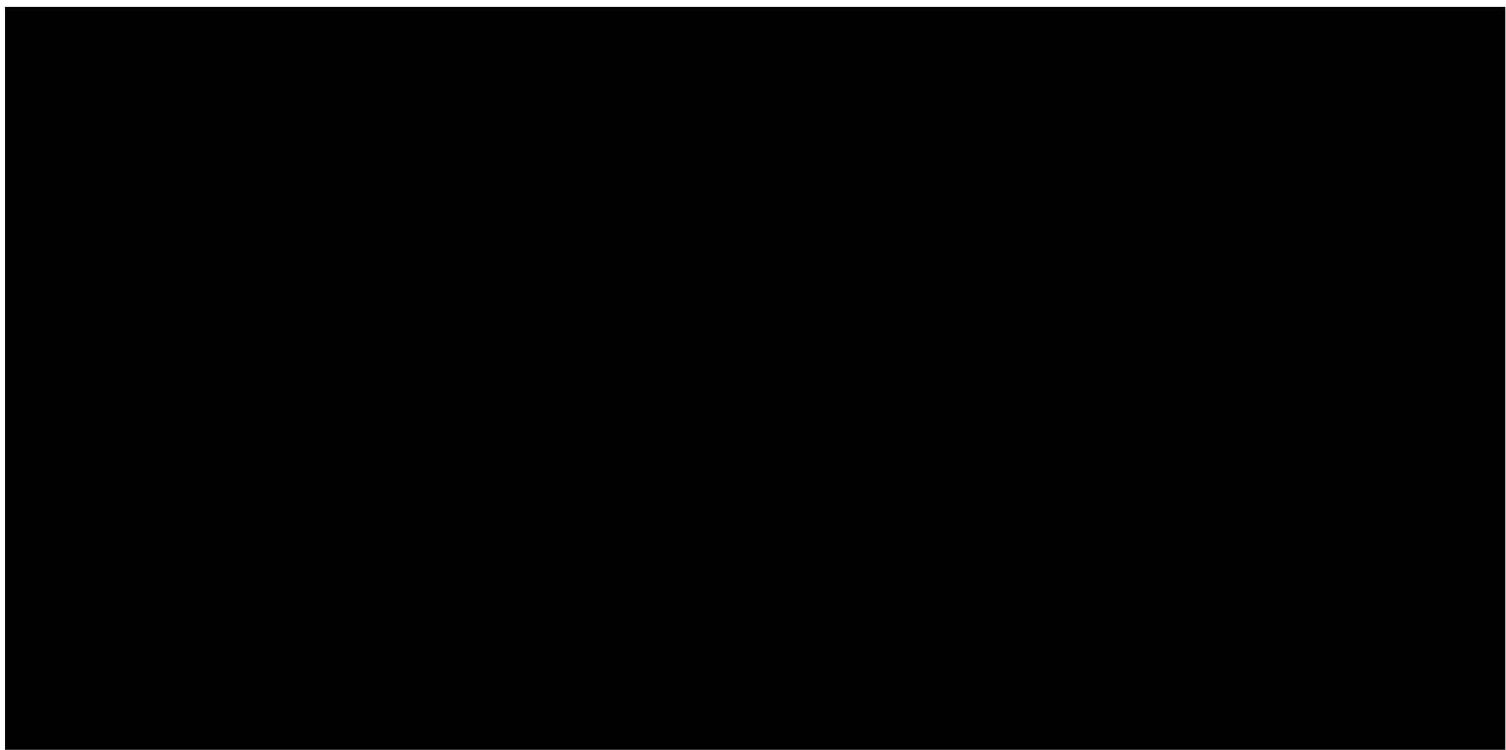
including 2400 TC leak and 2500 cleaning.









000001/000000000000/1833517  
06286401/011725/001/001

Sellata Ltd  
29 Fountayne Road  
Stoke Newington  
London  
N16 7EA

Claim Reference: 20231205

Contact: Benefit Team  
Telephone: 020 8359 2000  
benefits@barnet.gov.uk  
www.barnet.gov.uk

Date: 11/05/2019



[Redacted]

[Redacted] Flat 4 1st Flr 751A Finchley Road London NW11 8DL

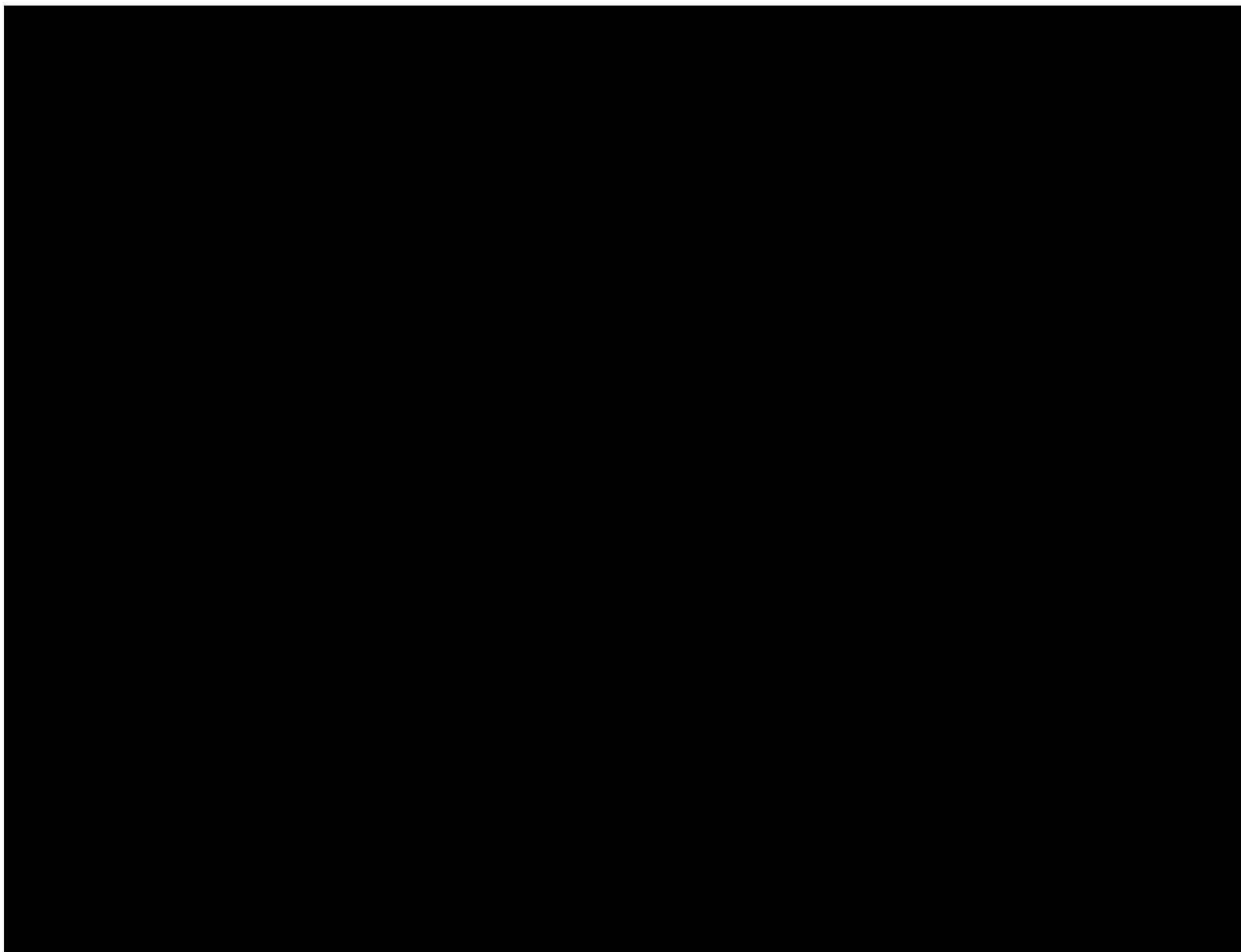
[Large redacted area]

00001010000000000001840565  
06306501010524/001/001

Sellata Ltd  
29 Fountayne Road  
Stoke Newington  
London  
N16 7EA

Payment Date  
Account Reference

15/05/2019  
1222241



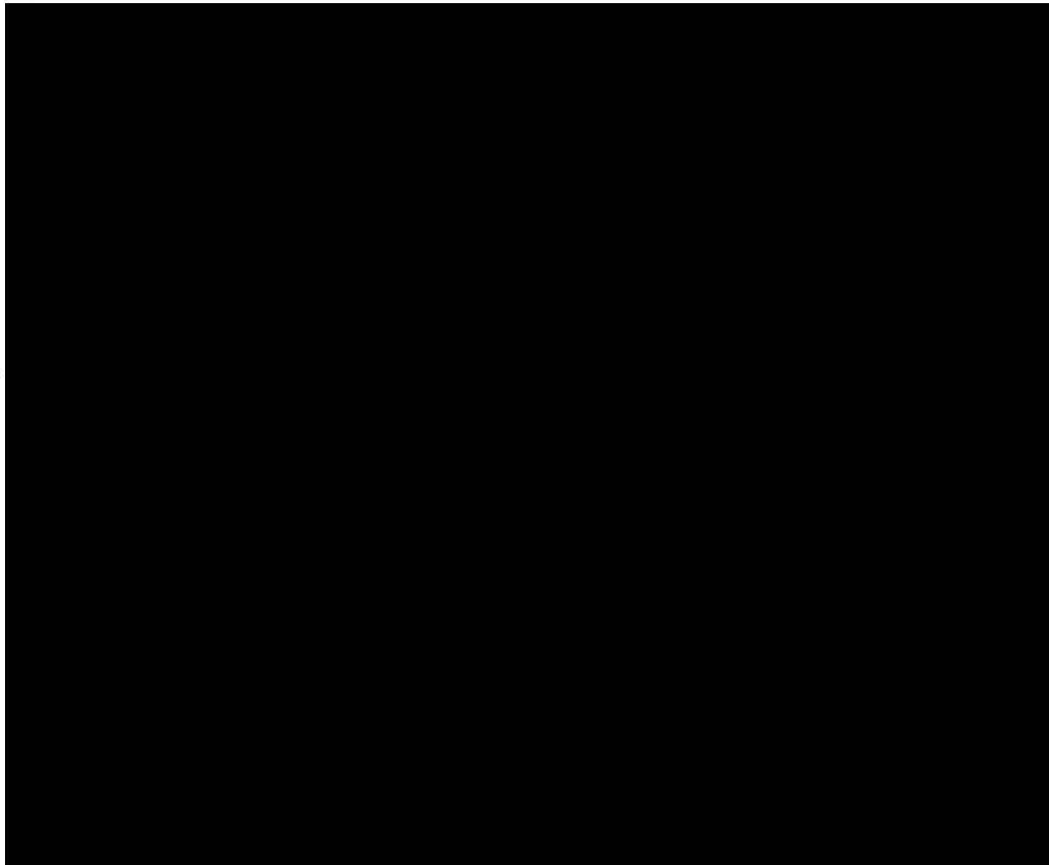


0000101010000000000001490900  
06443001014302001001

**Sellata Ltd**  
29 Fountayne Road  
Stoke Newington  
London  
N16 7EA

Payment Date  
Account Reference

**12/06/2019**  
1222241



g.  
offence and  
ink may



Pa  
20

Rent Ref

Flat 4 1st Flr, 751A Finchley Road, NW11 8D





Sellata Ltd  
1222241

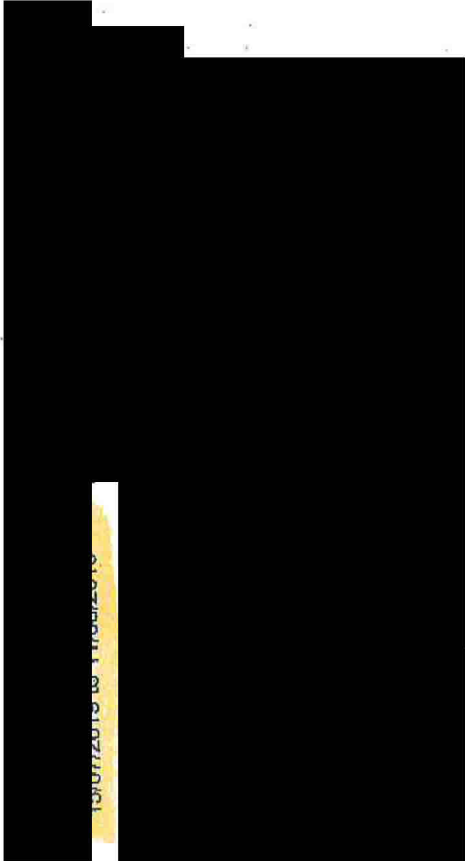
Abaris Limited  
1233888

Rent Ref

Flat 4 1st Flr, 751A Finchley Road, NW11 8D

Total  
1,066.20  
1,066.20





Rent Ref

Flat 4 1st Flr, 751A Finchley Road, NW11 8D

10/07/2019 to 11/06/2019

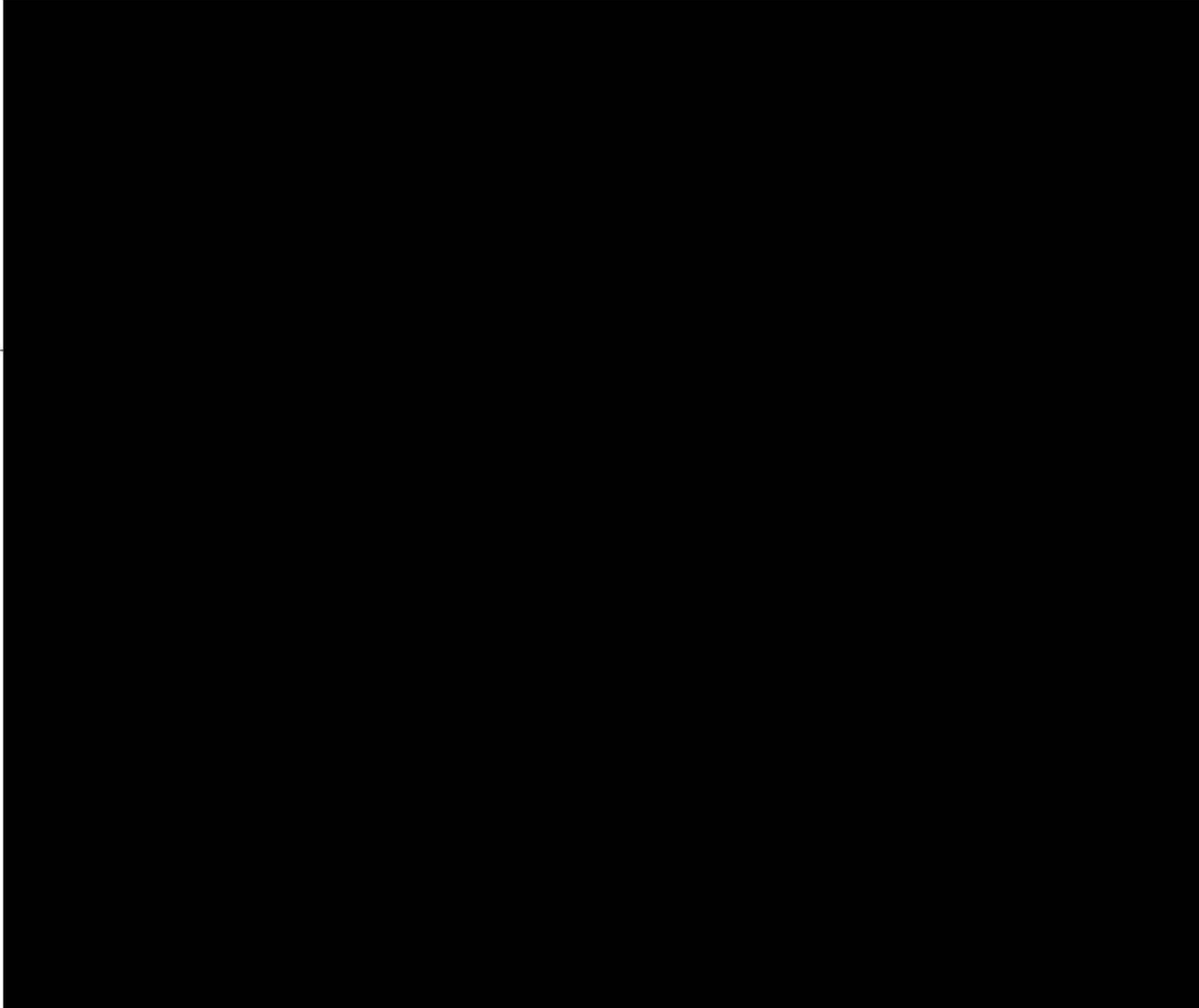


00000140000000000002048577  
000135010010891001001

Sellata Ltd  
29 Fountayne Road  
Stoke Newington  
London  
N16 7EA

Payment Date  
Account Reference

04/09/2019  
1222241



Rent Ref	Payment Period	Payment	Adj	Total
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]

Fiat 4 1st Flr, 751A Finchley Road, NW11 8D



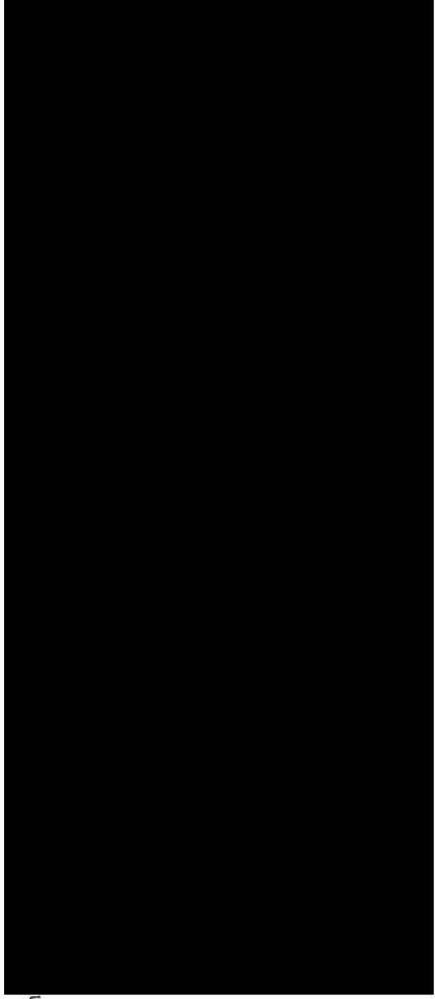
0000/01/0000/00000000/20199804  
06939801/011048/001/001

Sellata Ltd  
29 Fountayne Road  
Stoke Newington  
London  
N16 7EA

Payment Date  
Account Reference

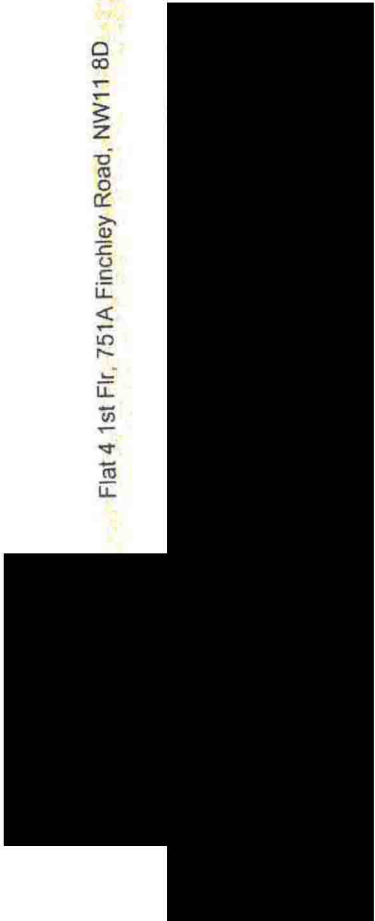
02/10/2019  
1222241





Ren

Flat 4 1st Flr, 751A Finchley Road, NW11 8D



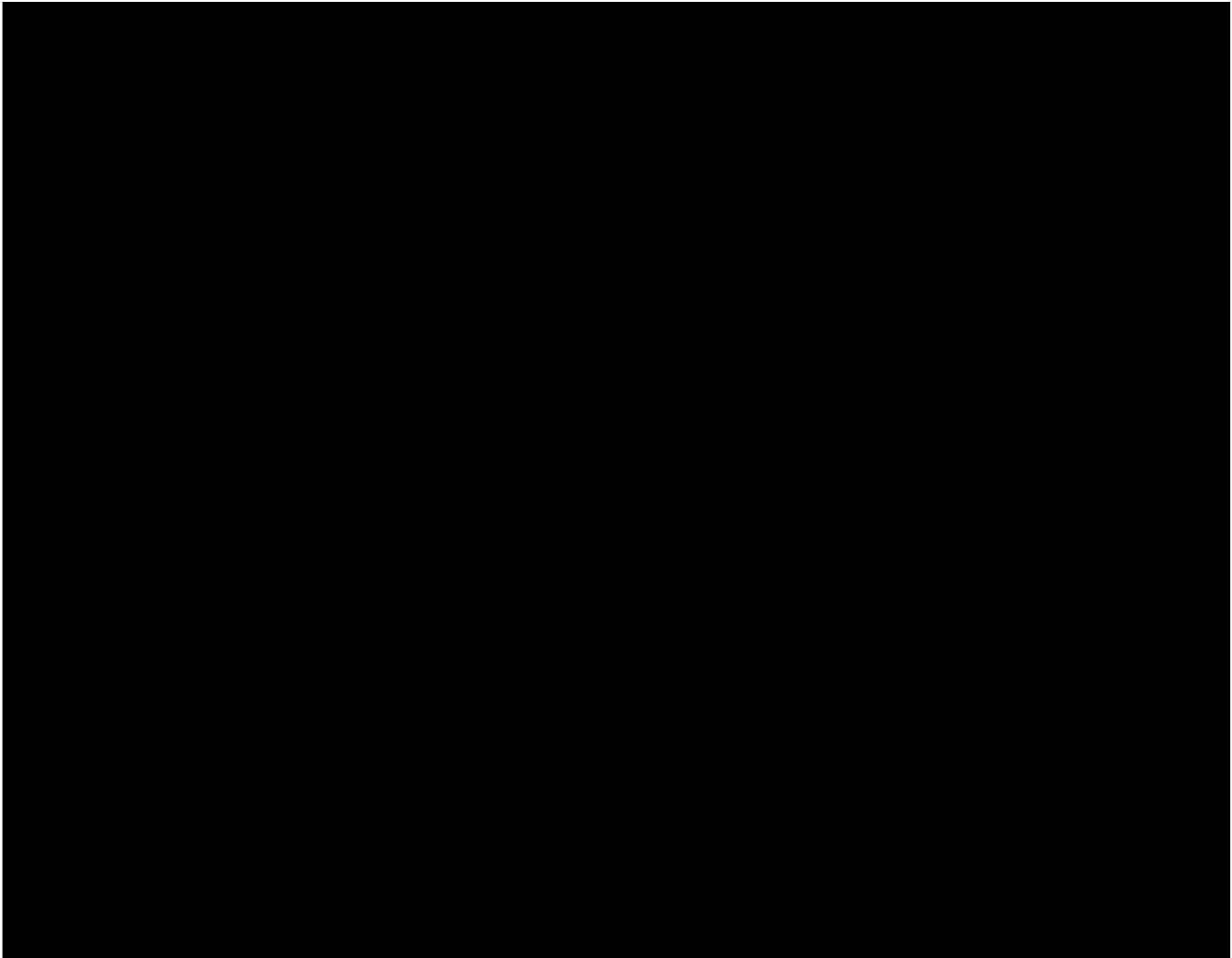


0000/01/0000/00000000/2151796  
07068601/005485/001/001

Sellata Ltd  
29 Fountayne Road  
Stoke Newington  
London  
N16 7EA

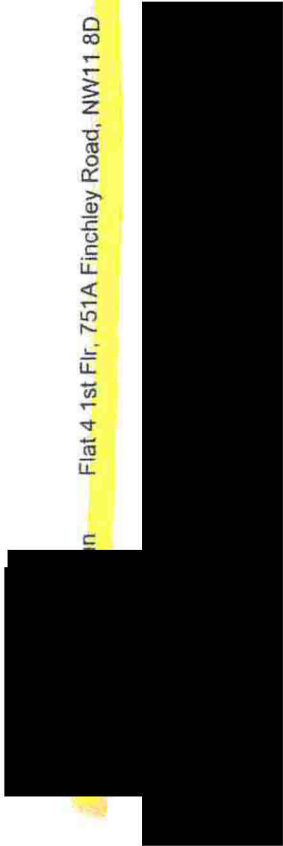
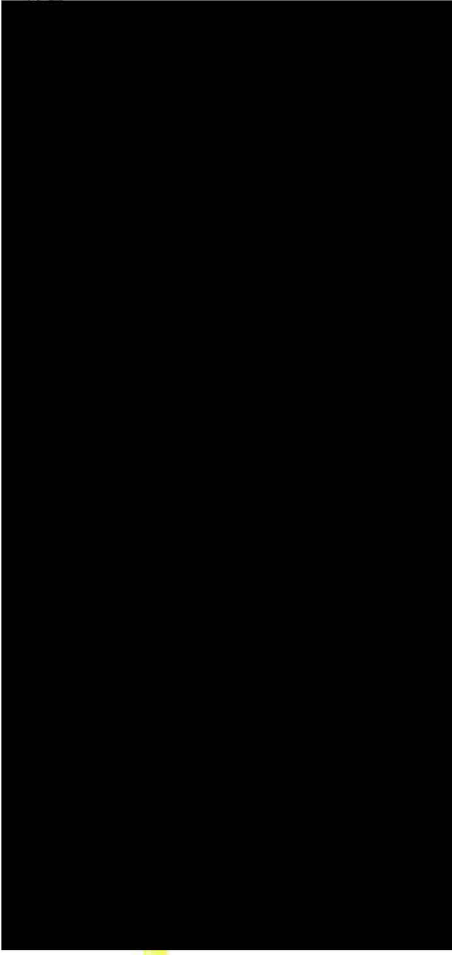
Payment Date  
Account Reference

30/10/2019  
122241



Rent Ref

Flat 4 1st Flr, 751A Finchley Road, NW11 8D

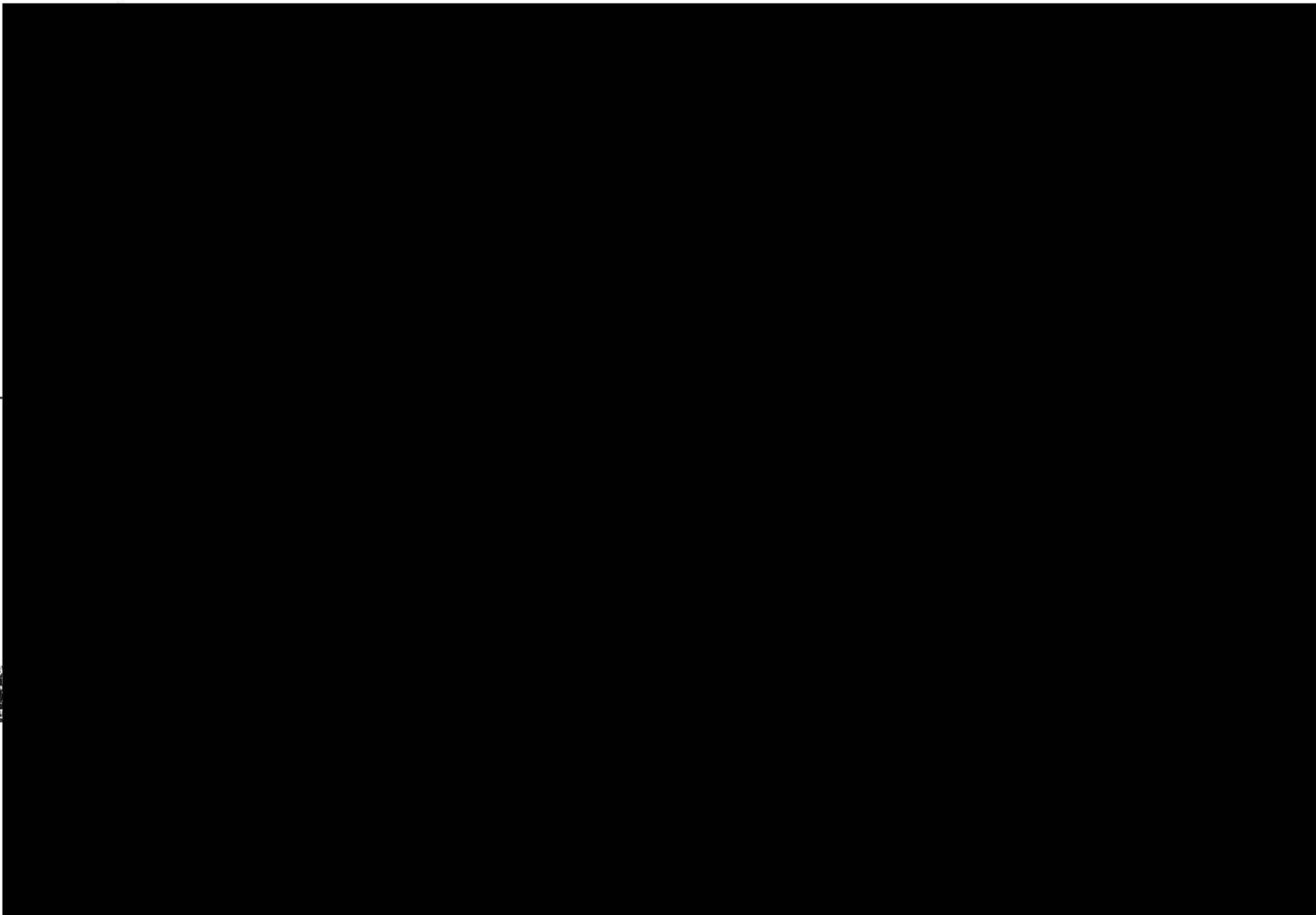


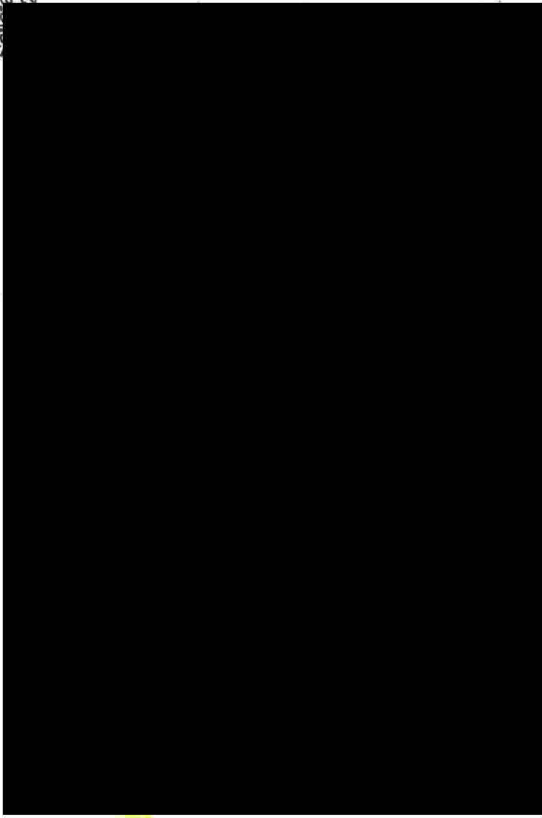
000061/000600000000002201434  
07195501/008549001/001

**Sellata Ltd**  
29 Fountayne Road  
Stoke Newington  
London  
N16 7EA

Payment Date  
Account Reference

**27/11/2019**  
122241





Rent Ref

Flat 4 1st Flr, 751A Finchley Road, NW11 8D





# **ASSURED SHORTHOLD TENANCY AGREEMENT**

**for residential accommodation  
furnished and unfurnished**

---

This Tenancy Agreement is for letting furnished or unfurnished residential accommodation on an Assured Shorthold Tenancy within the provisions of the Housing Act 1988 as amended by Part III of the Housing Act 1996. As such, this is a legal document and should not be used without adequate knowledge of the law of landlord and tenant.

N.B. A Notice of Assured Shorthold Tenancy need no longer be served on the Tenant for new tenancies created on or after 28 February 1997.

---

---

This agreement is made on the date specified below between the Landlord and the Tenant. It is intended that the tenancy created by this Agreement is and shall be an Assured Shorthold Tenancy within the meaning of the Housing Act 1988

DATE

02/02/2020

PREMISES

Flat 4 751a Finchley Road  
London NW11 8PL

L

T

T

C

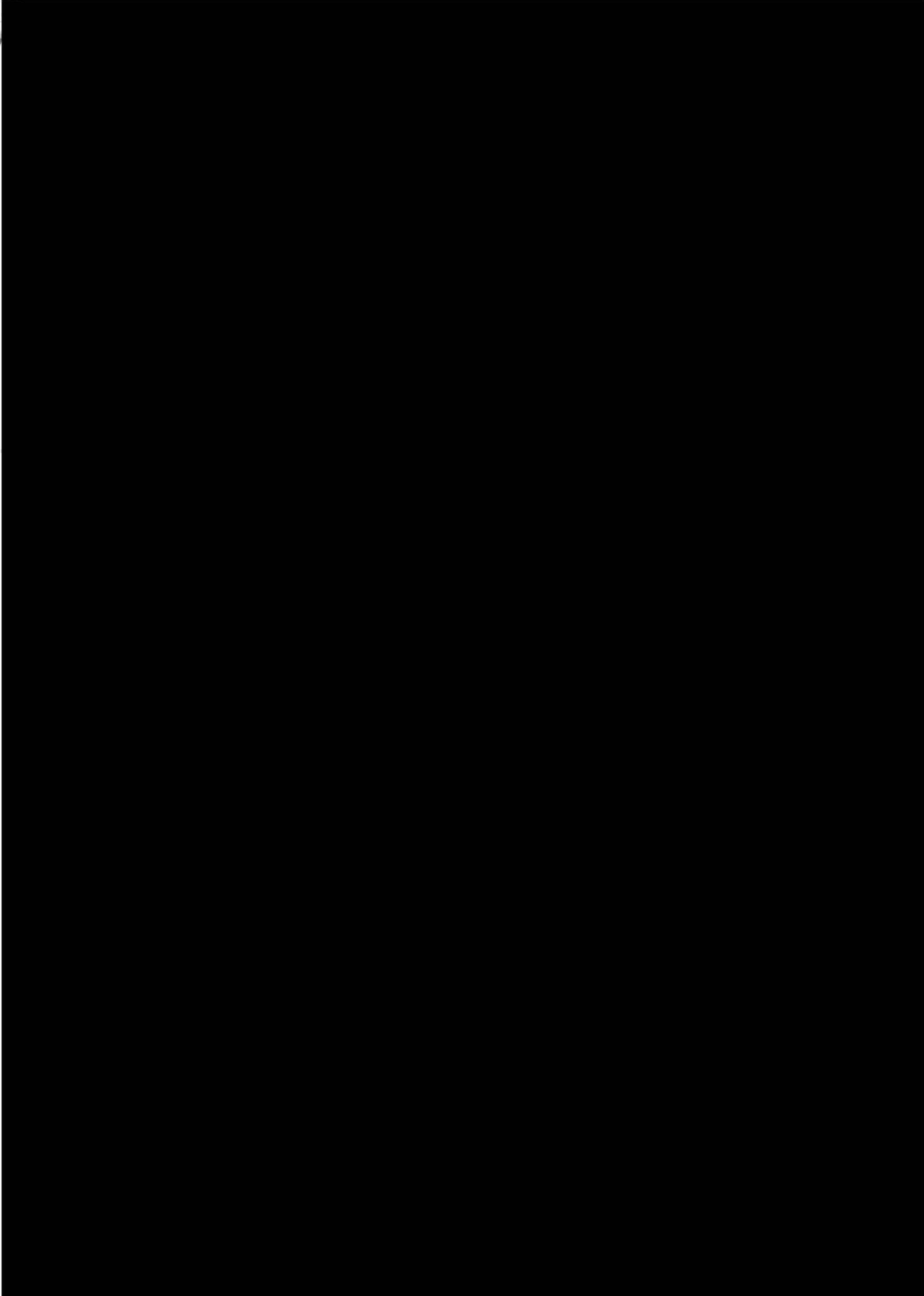
R

ca

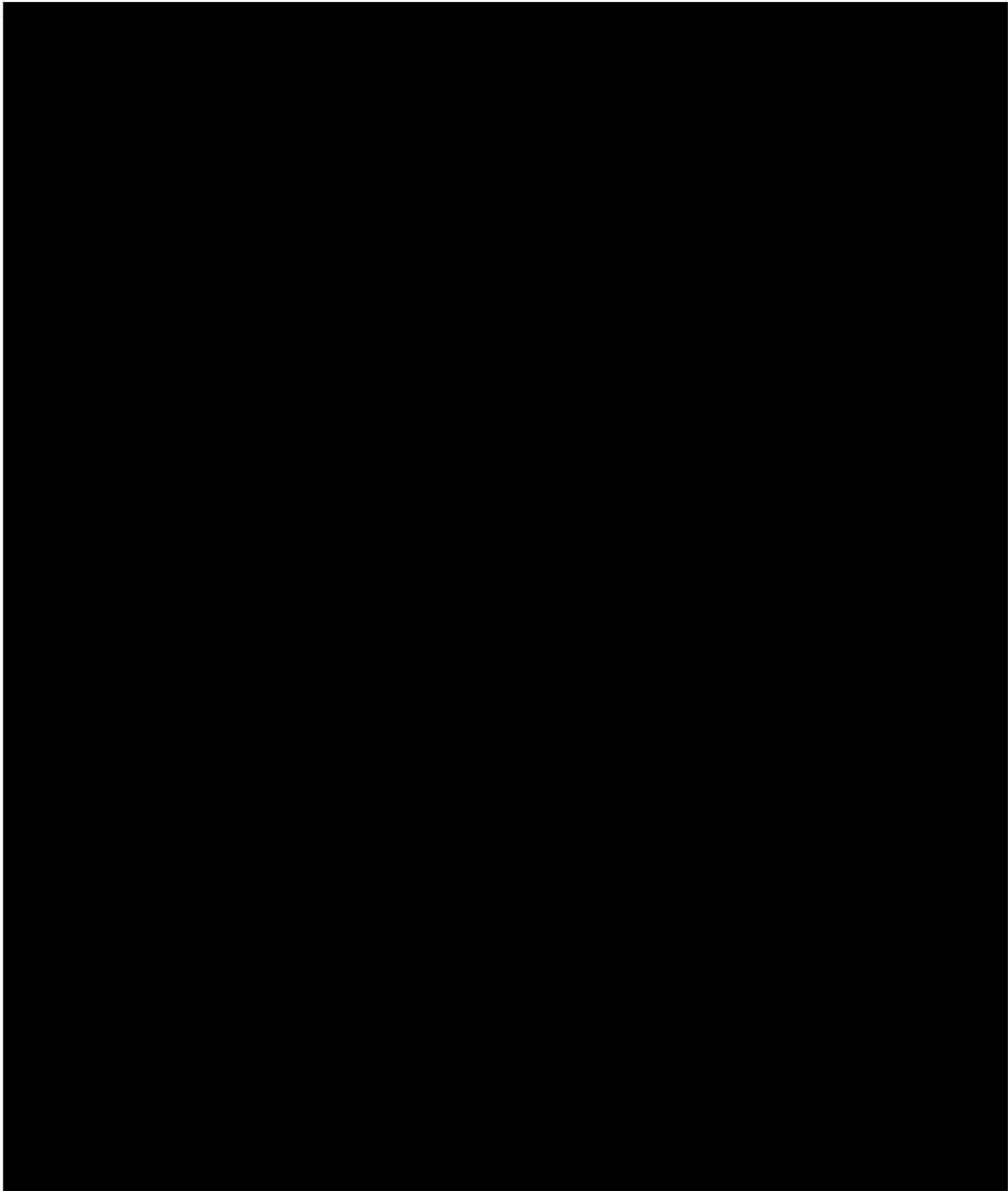
DE



TENANT







**Address**

[Redacted]

To: Staff @ 75 Plans, BENZ at 75 Plans  
Subject: Fwd: Council Tax Ref: 33316323 Flat 4 1st Flr, 751A Finchley Road, London, NW11 8DL

[Redacted]

Flat 4 1st Flr, 751A Finchley Road, London, NW11 8DL

To: <accounts@avalisita.co.uk>

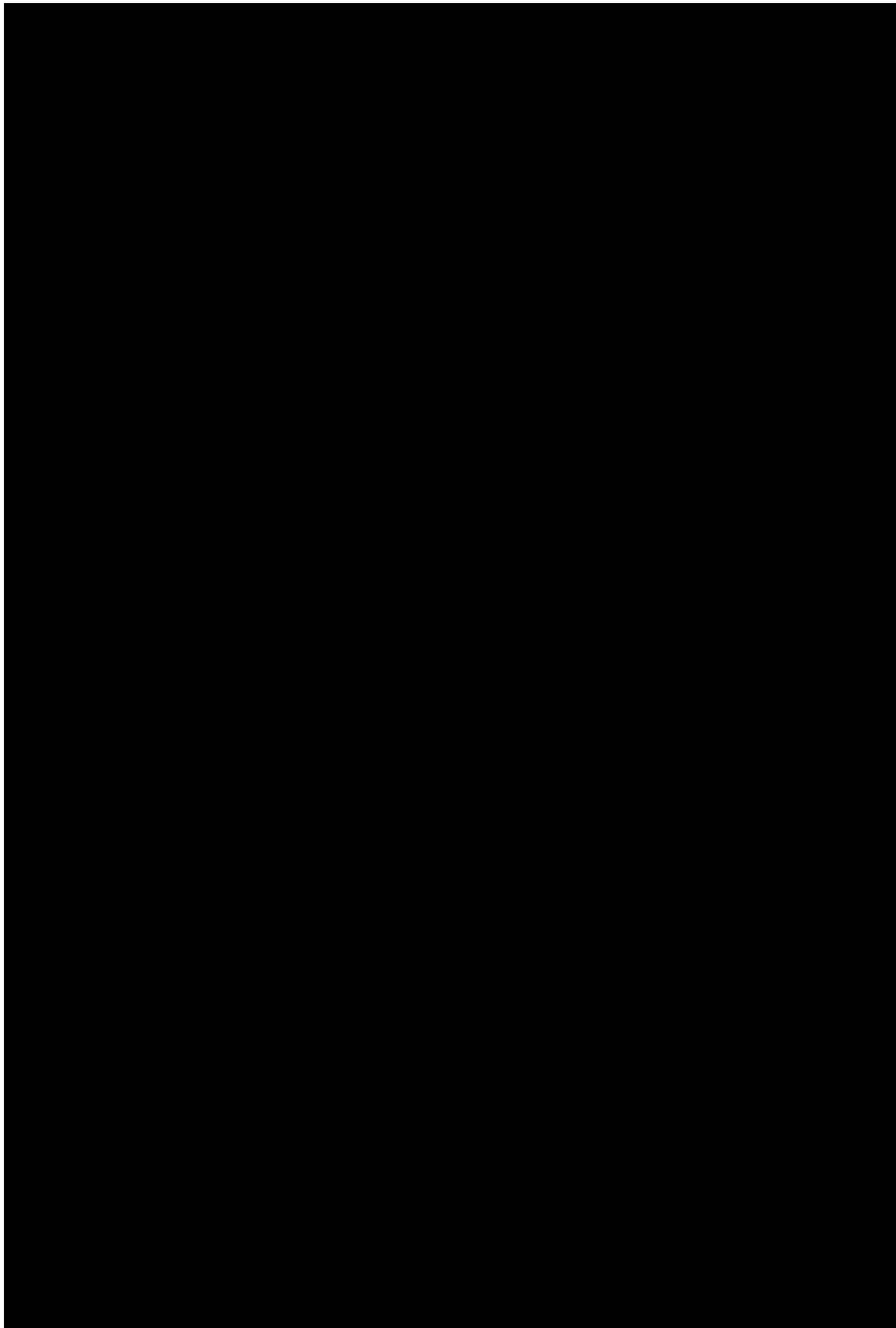
[Redacted]

2/2020. Please

ded solely for

mation Act 2000  
disclosure, the

of this e-mail or its  
no liability can



This agreement is dated: 17 February 2020

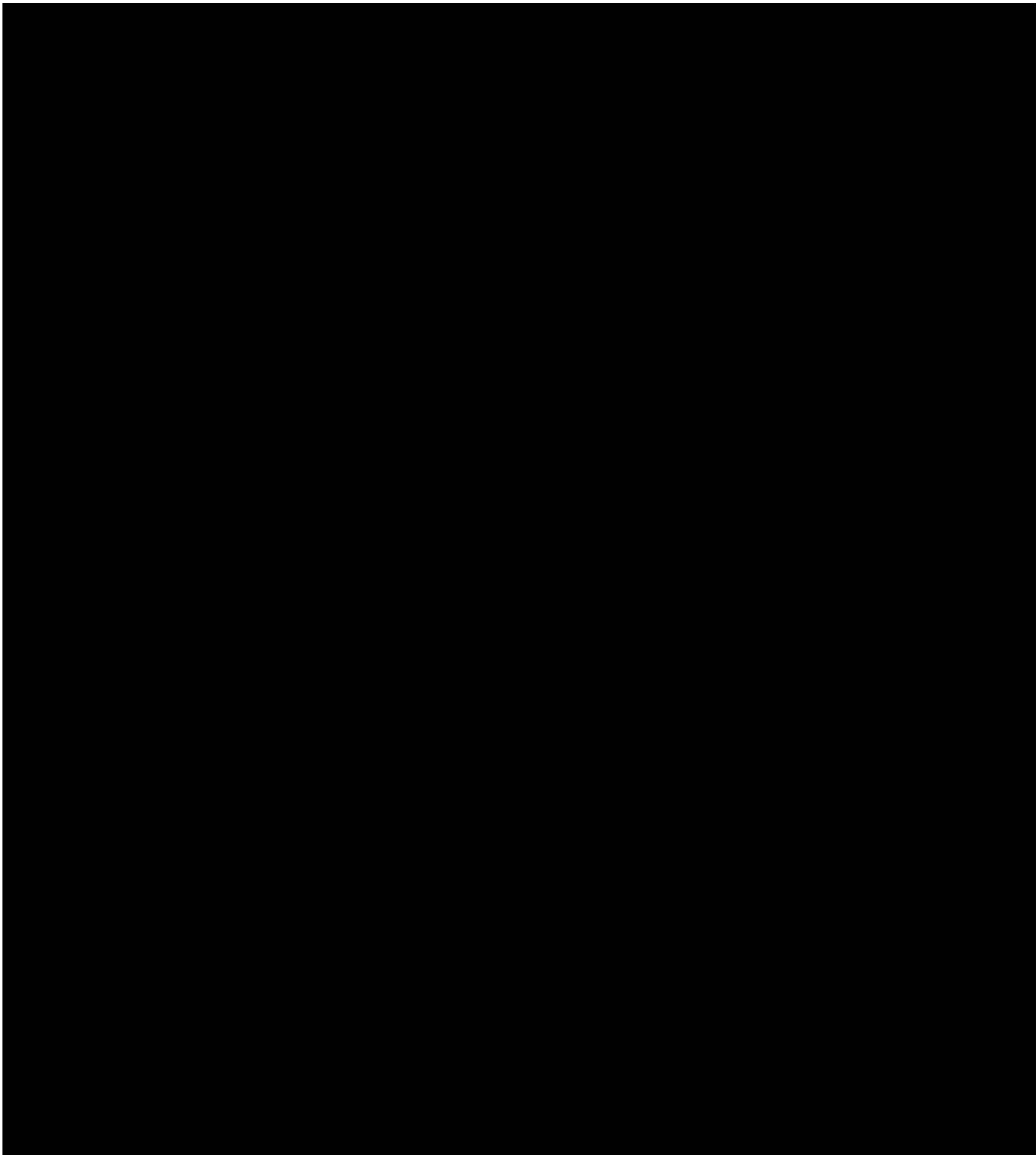
**1. Parties to this agreement**

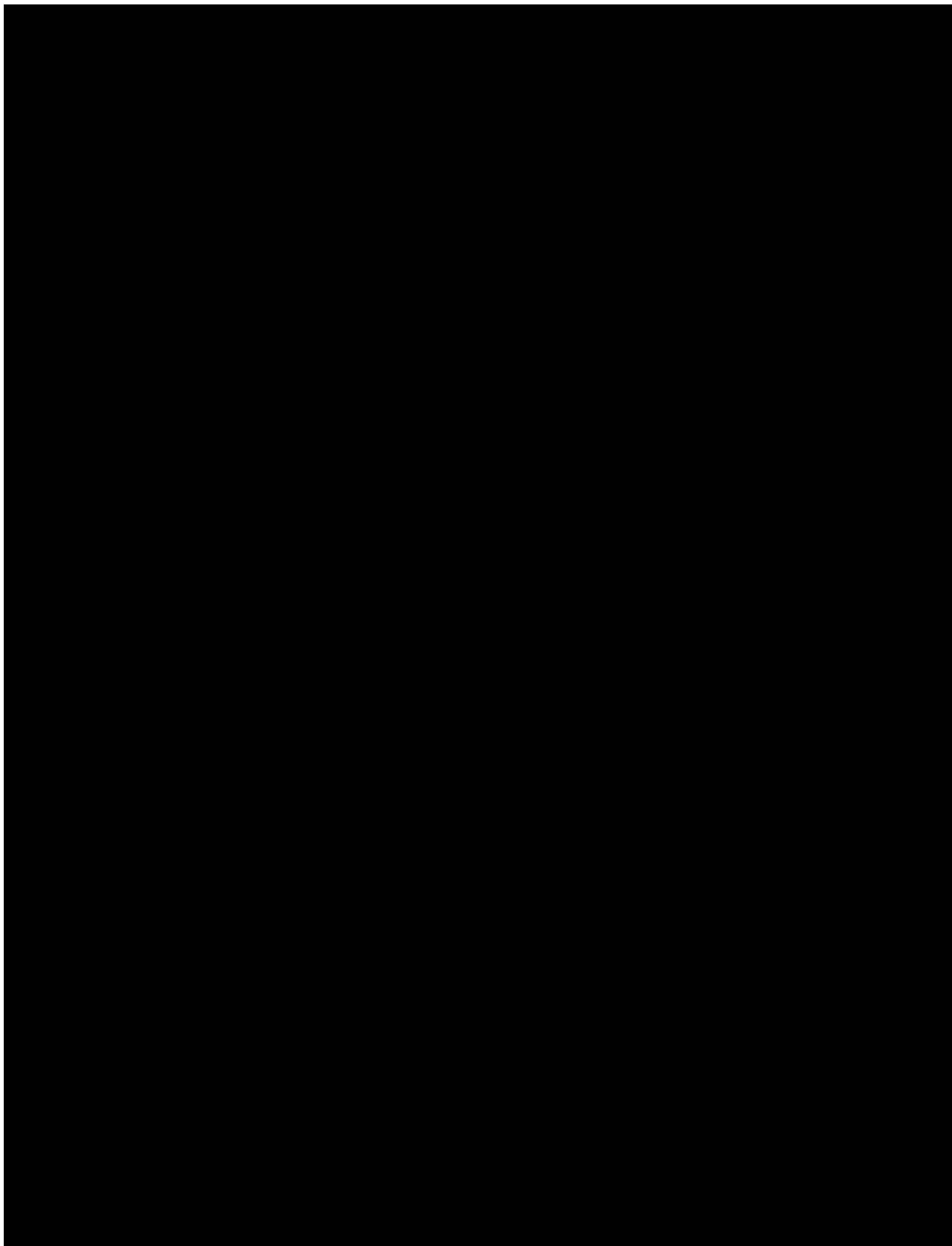
The "Landlord" is: Crewys Properties

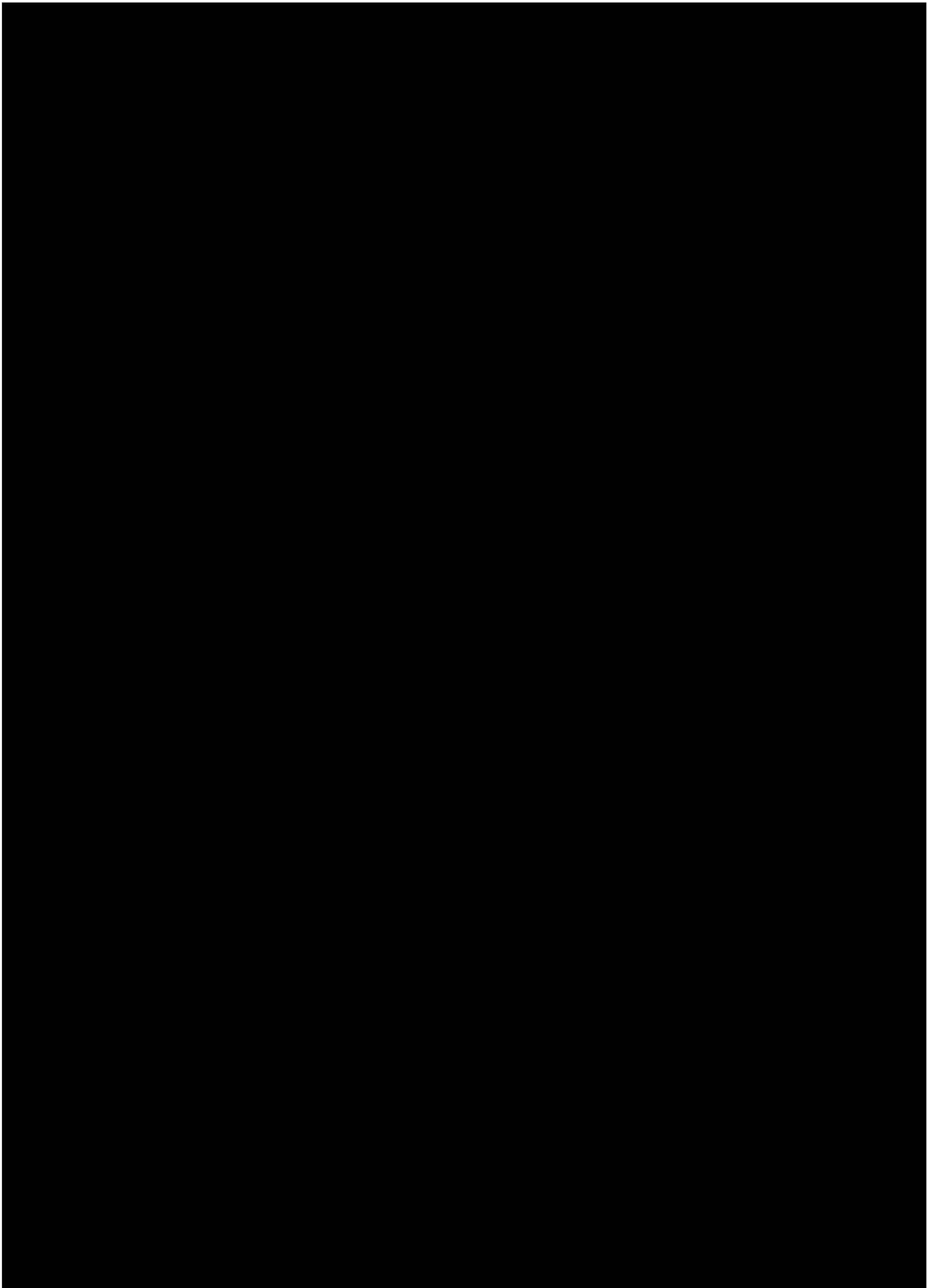


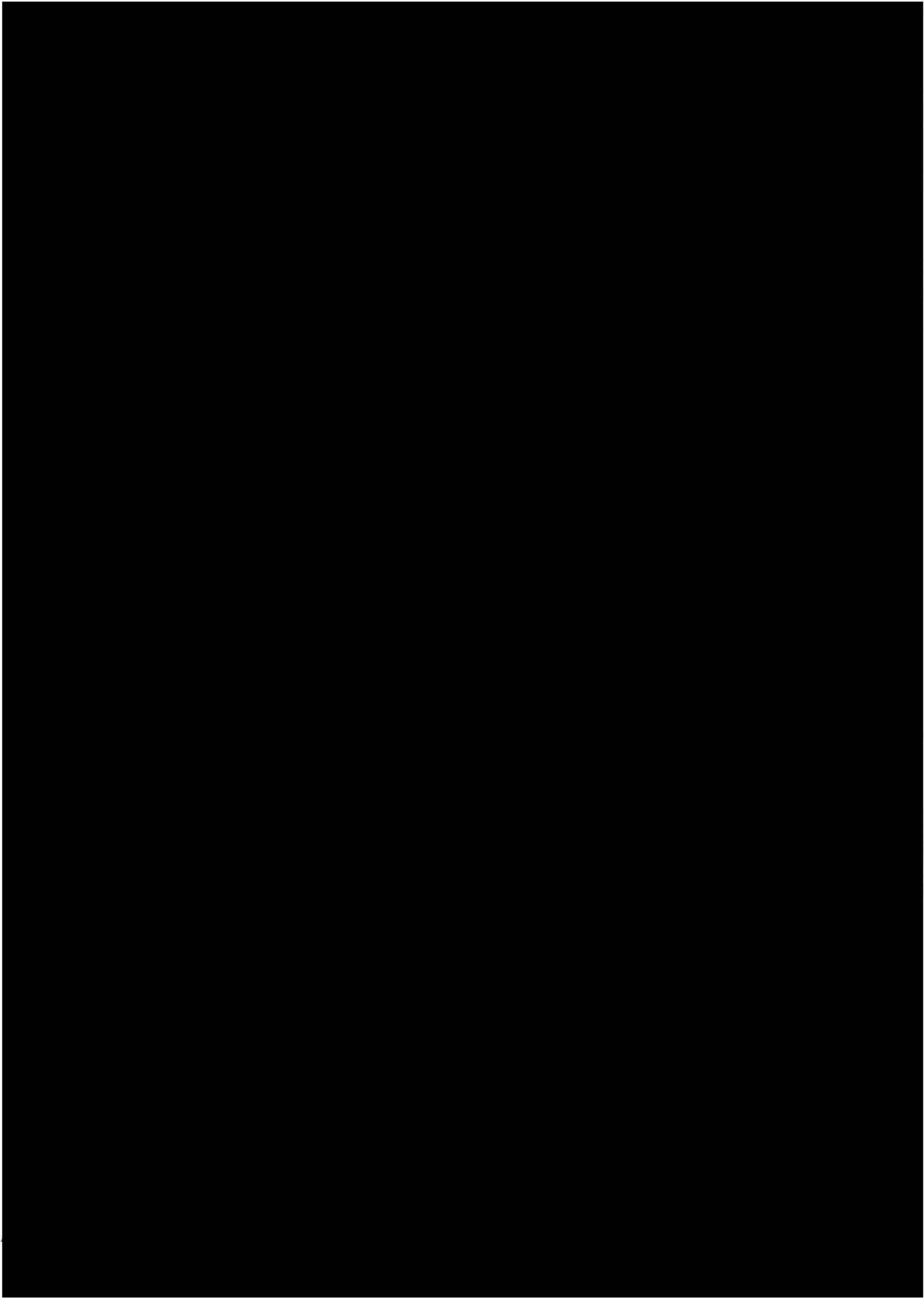
**2. Summary of terms**

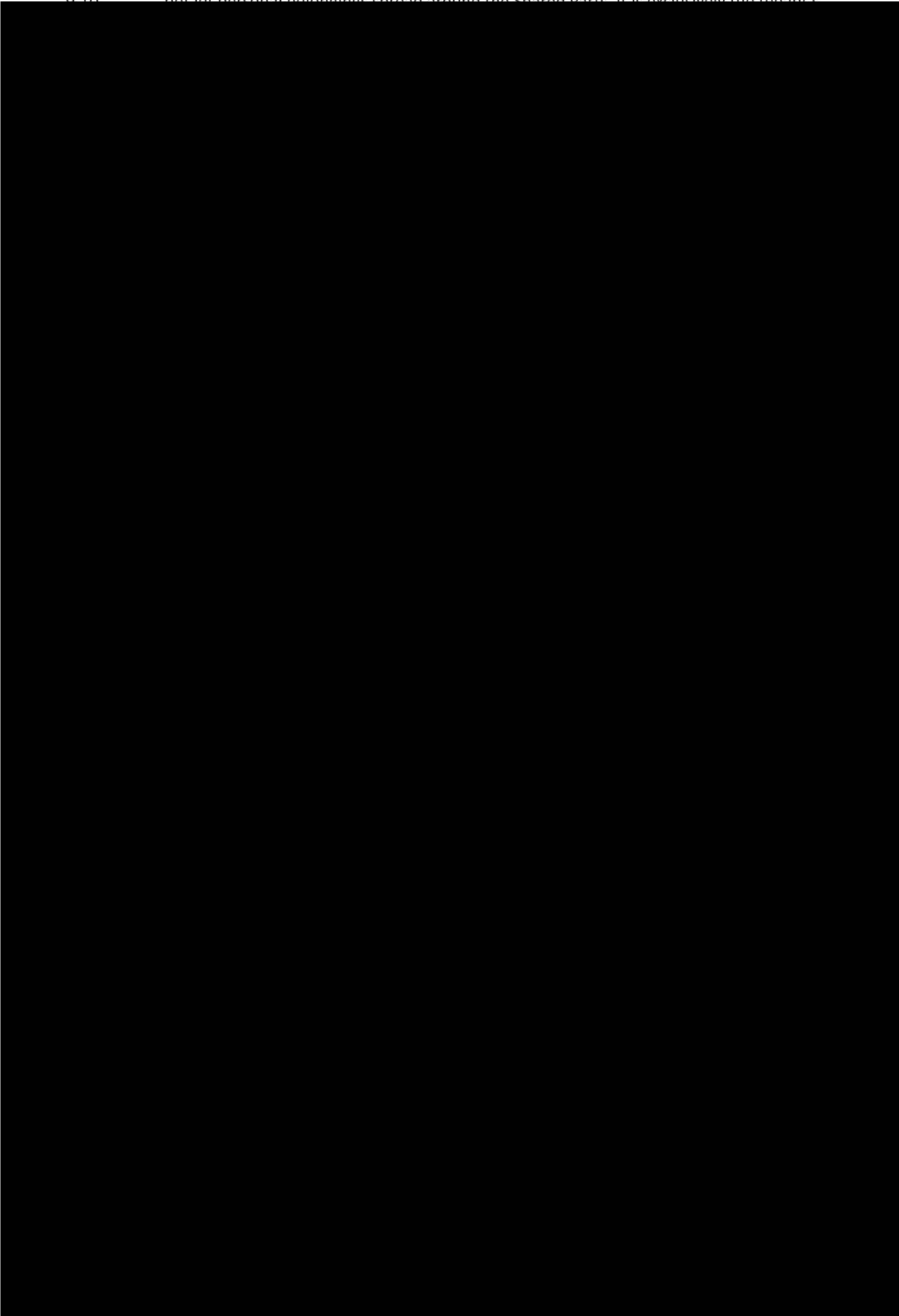
The property let by this agreement is: Studio 4, flat 751a Finchley Road NW11 8DL.



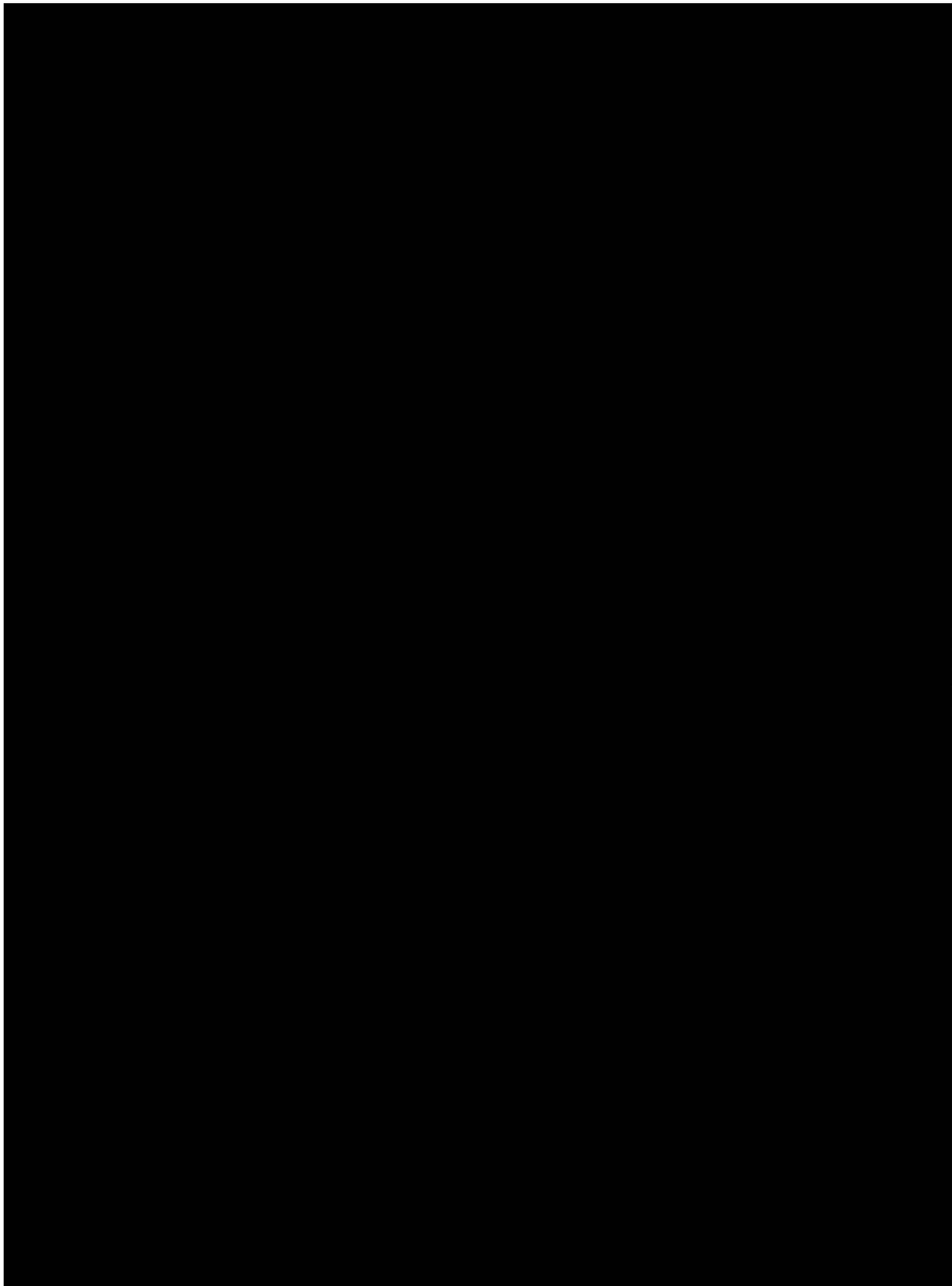


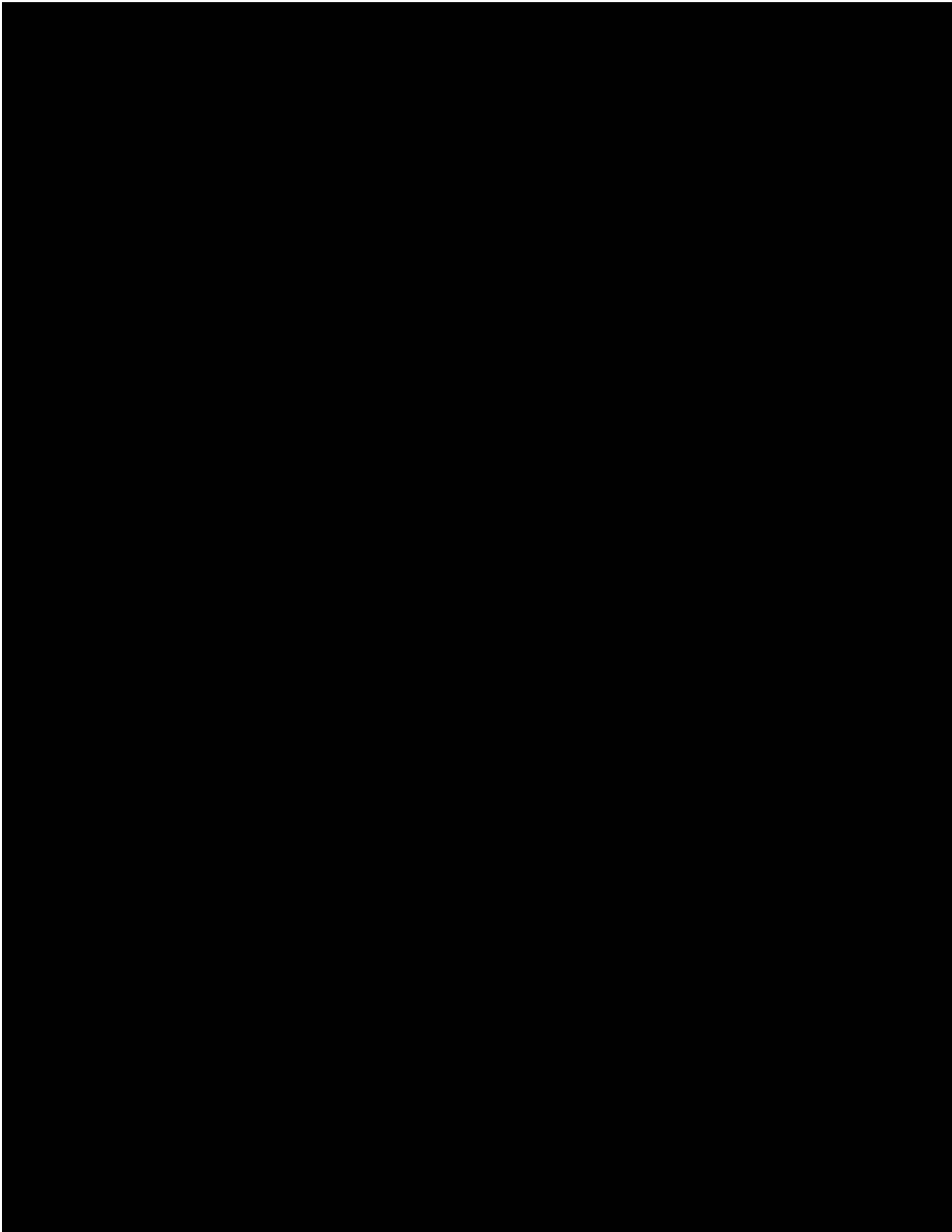


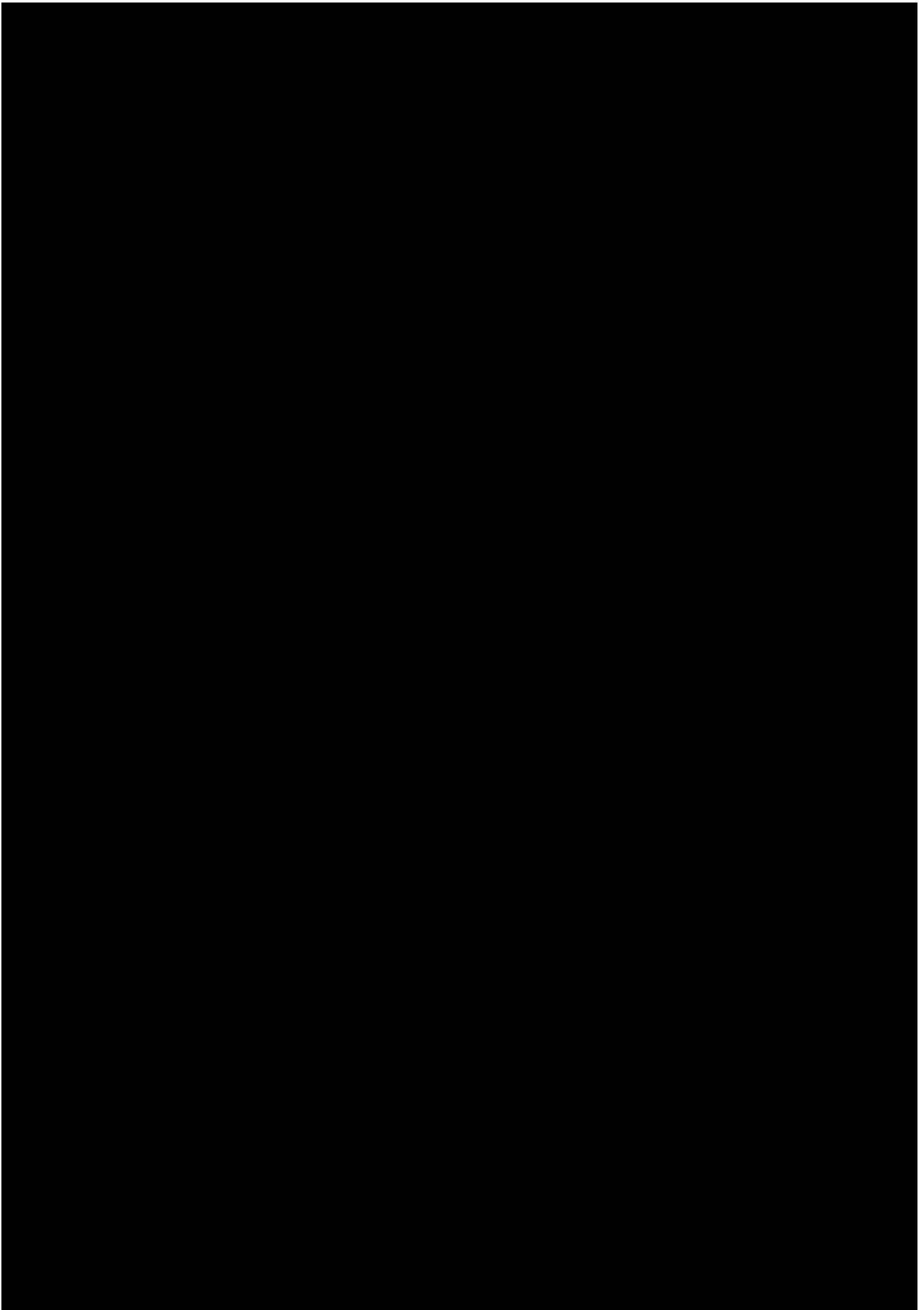


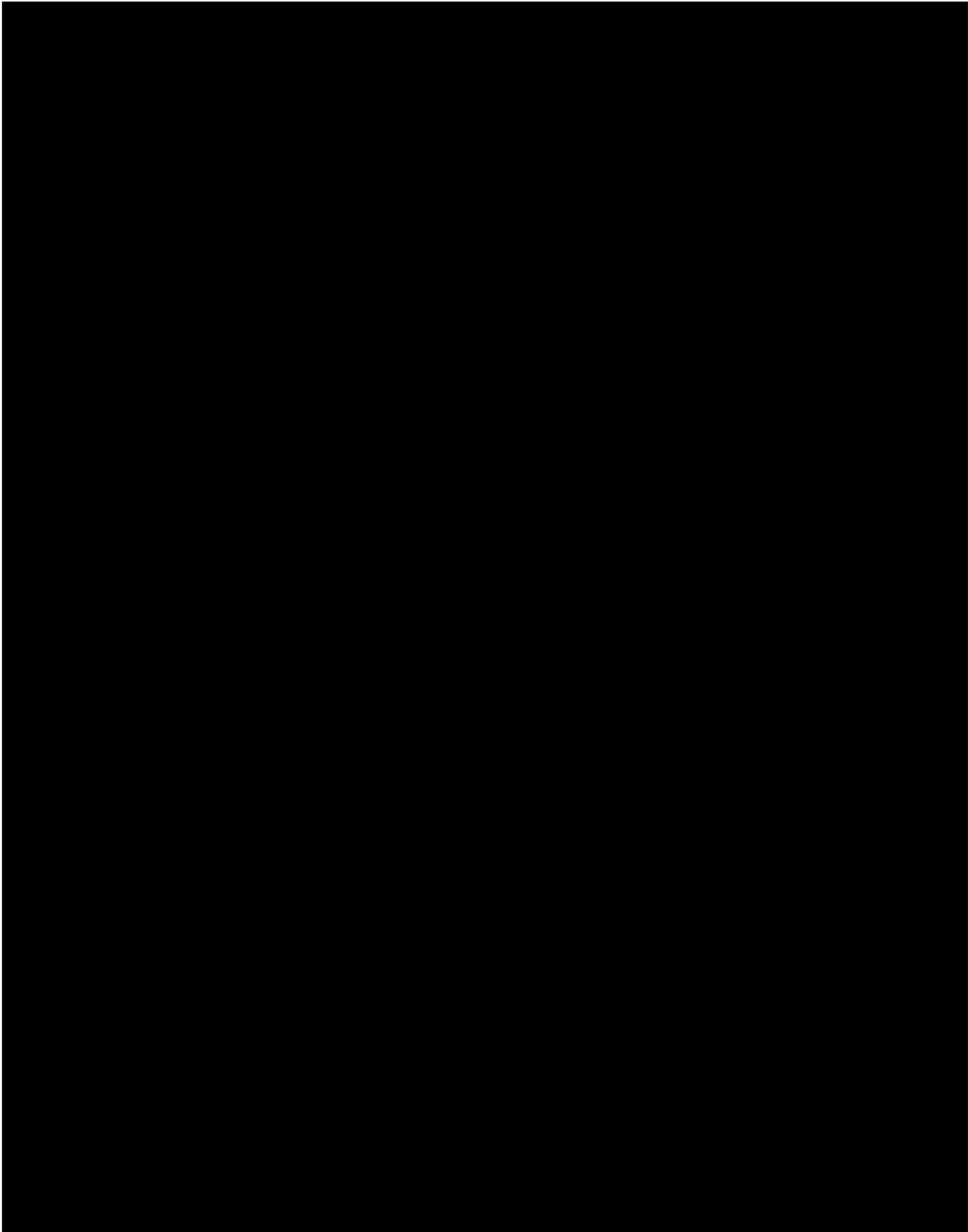


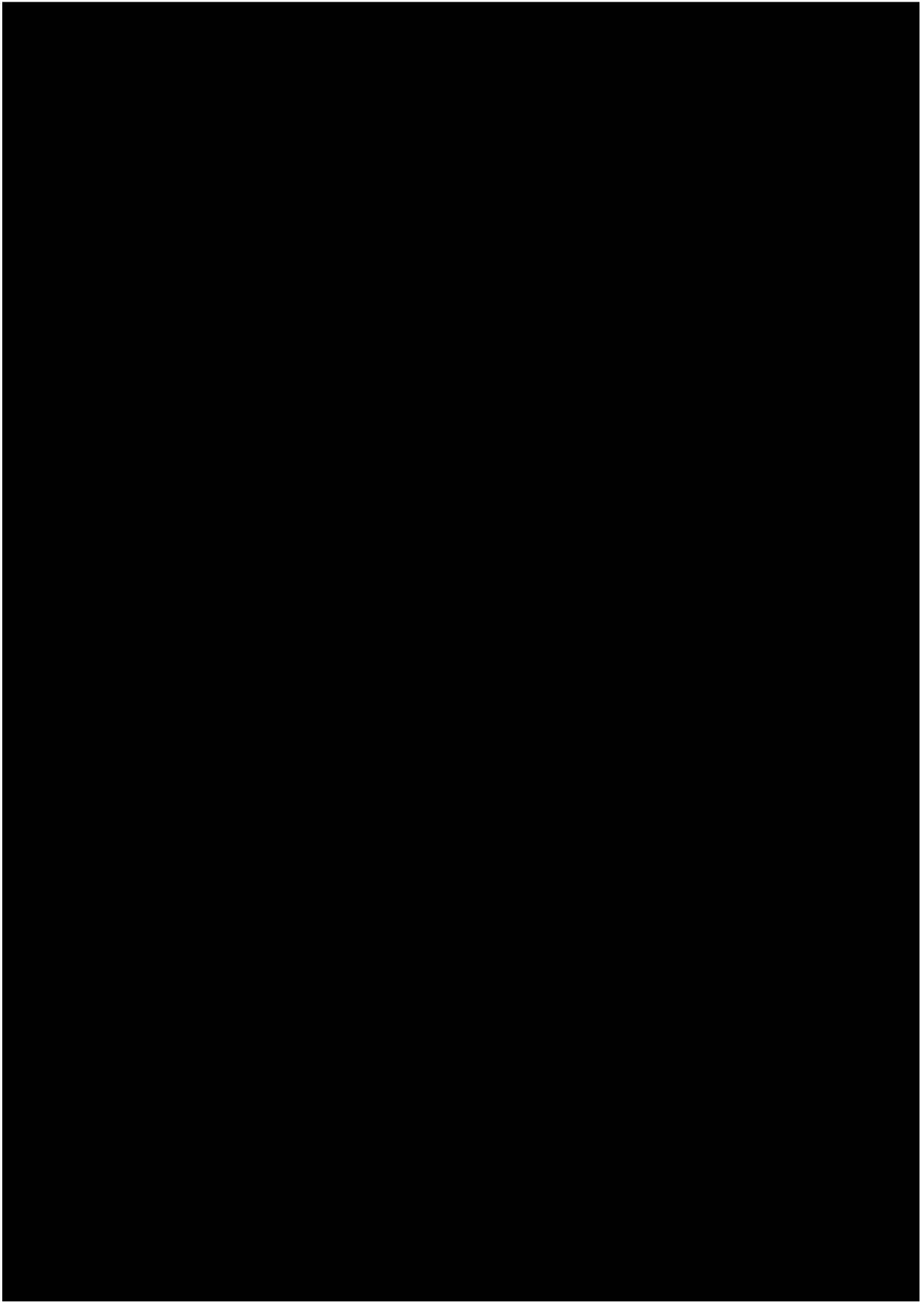




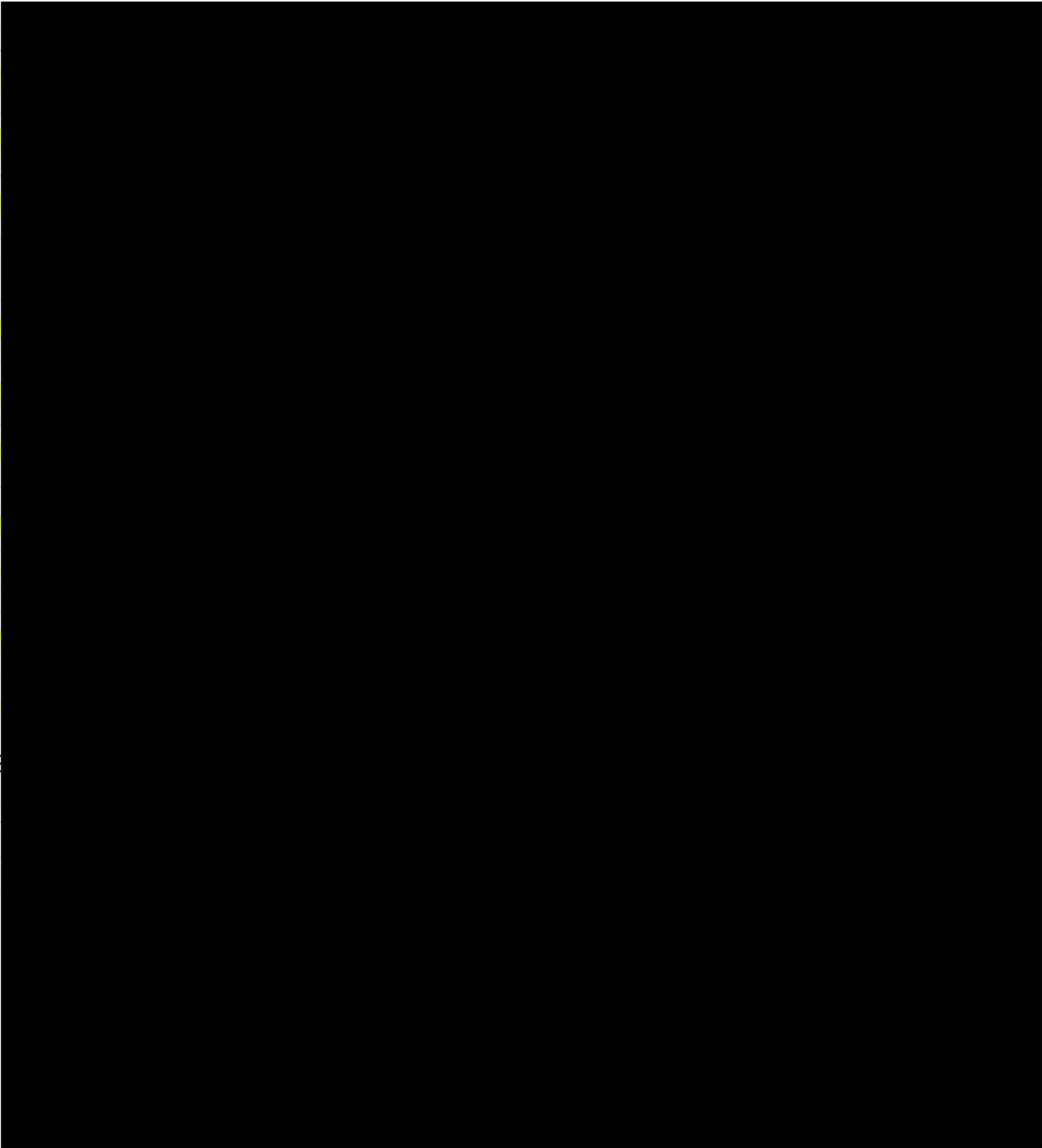








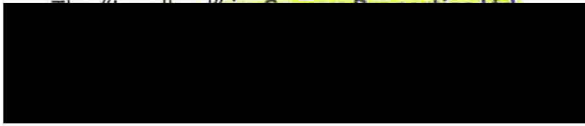
T[REDACTED] at **751a Finchley Road**



# Assured Shorthold Tenancy Agreement (AST)

This agreement is dated: 01/01/2021

Parties to this agreement

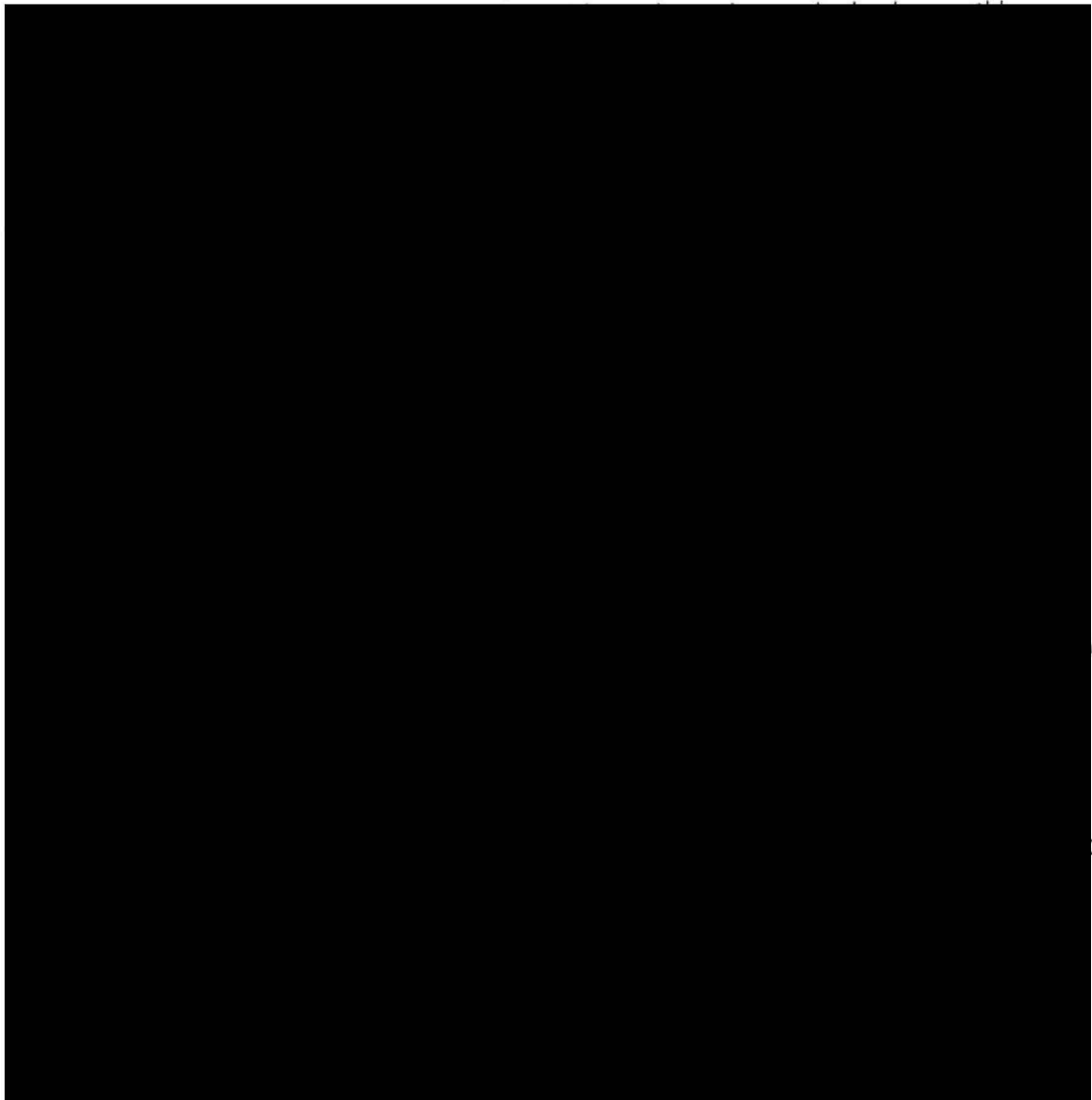


## 1. Summary of terms

The property let by this agreement is: Flat 4, 751a Finchley Road, NW11 8DL

It is

2.



t

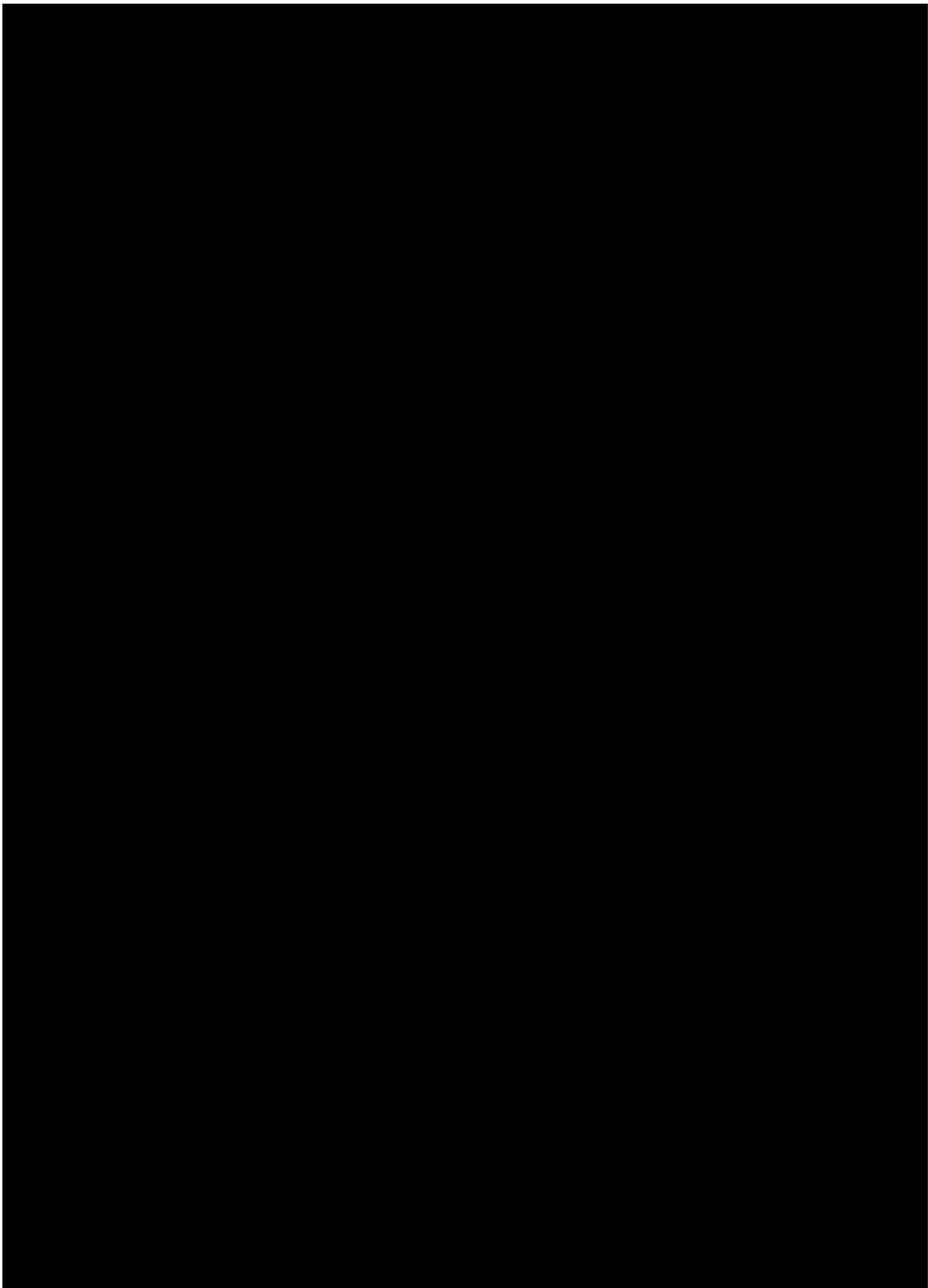
w

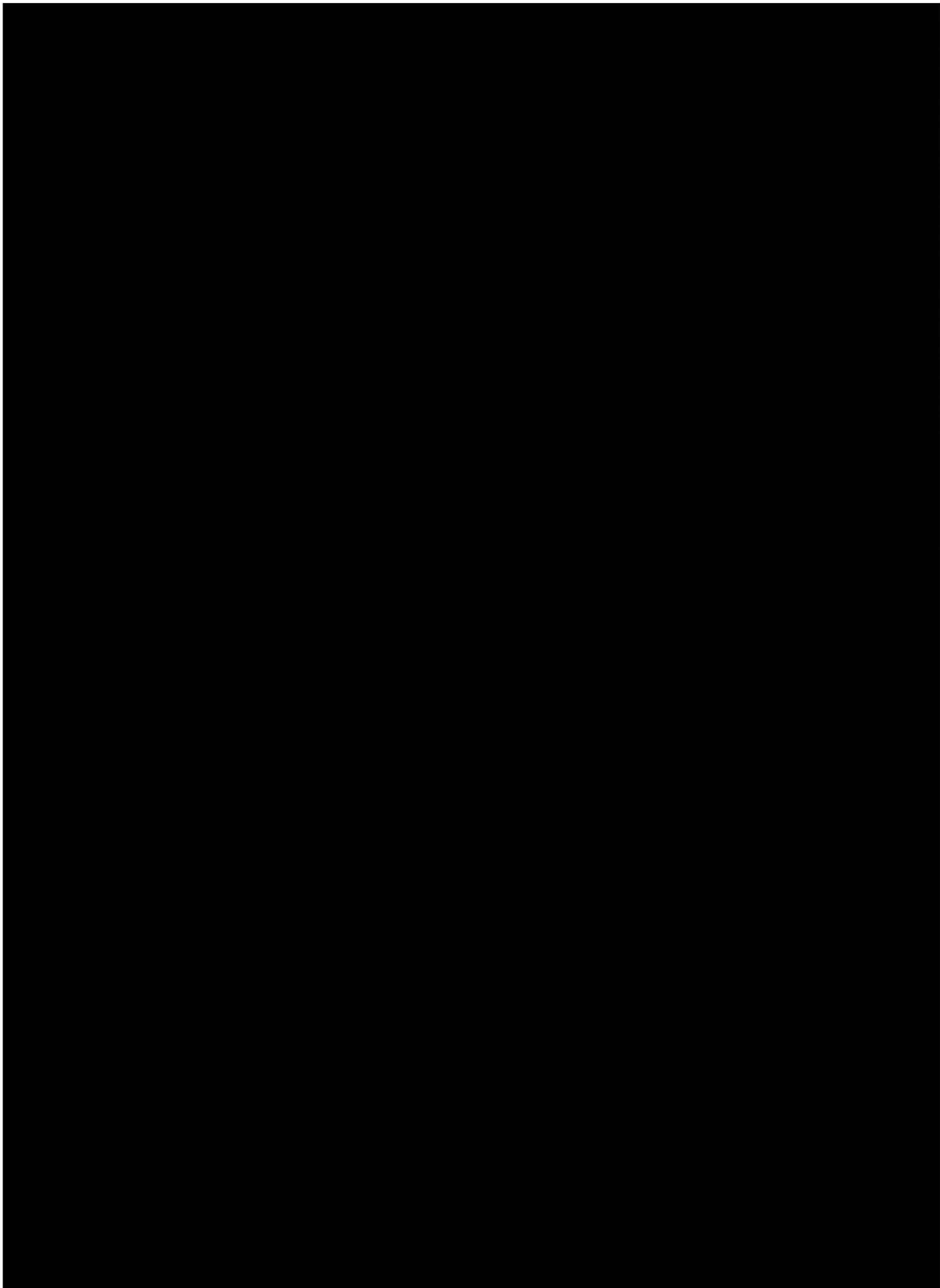
ncy

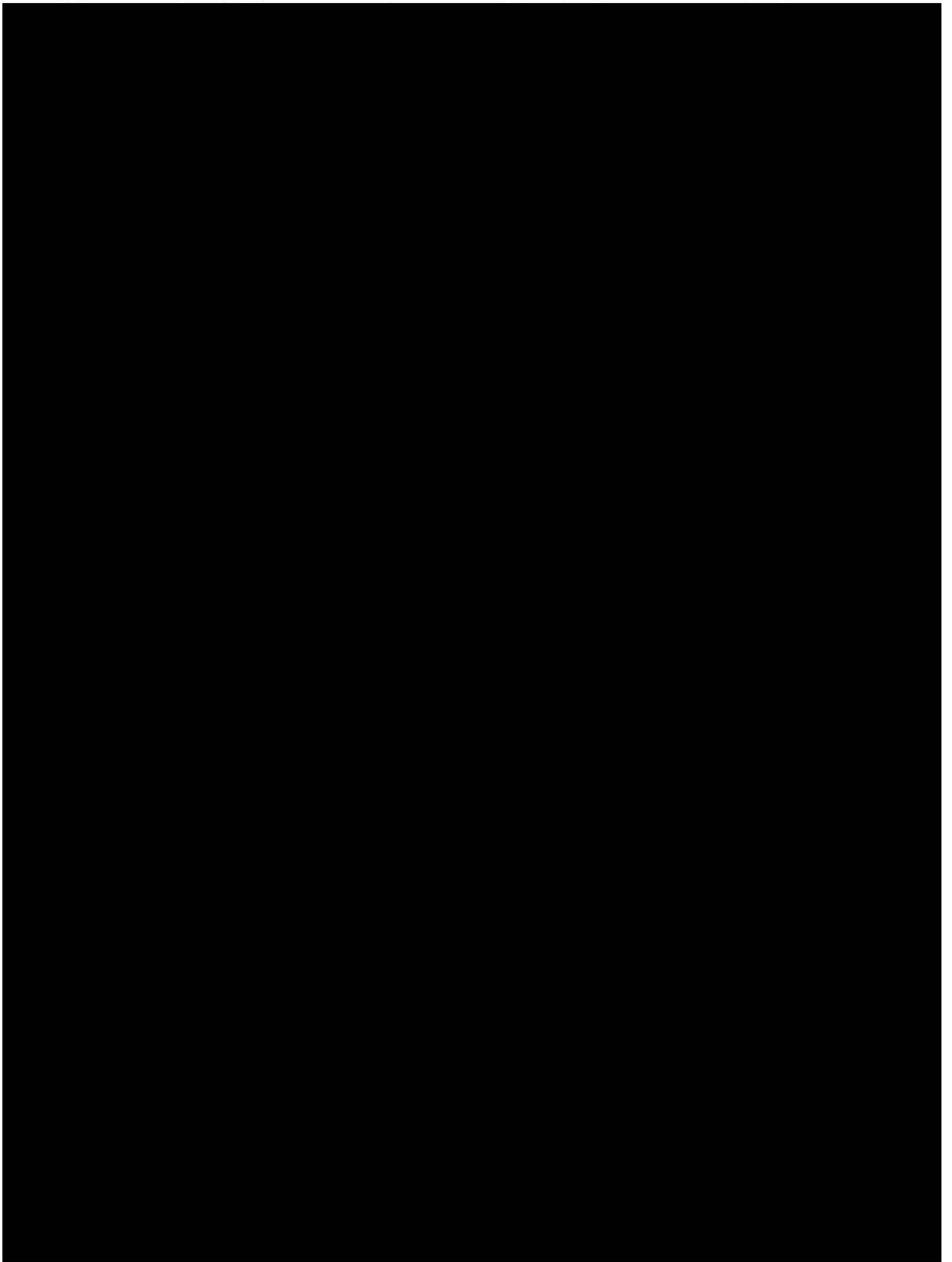
of  
n

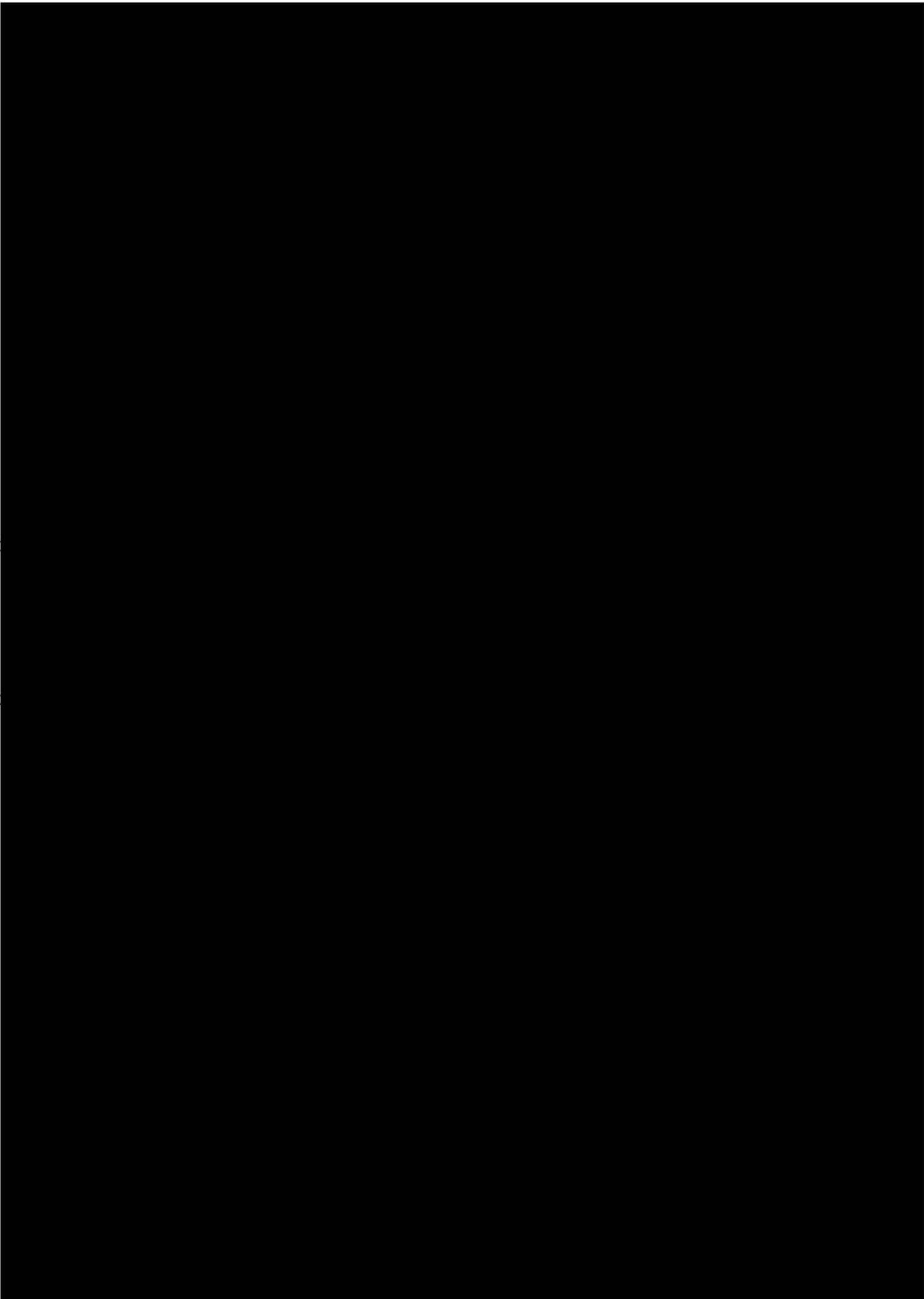
e

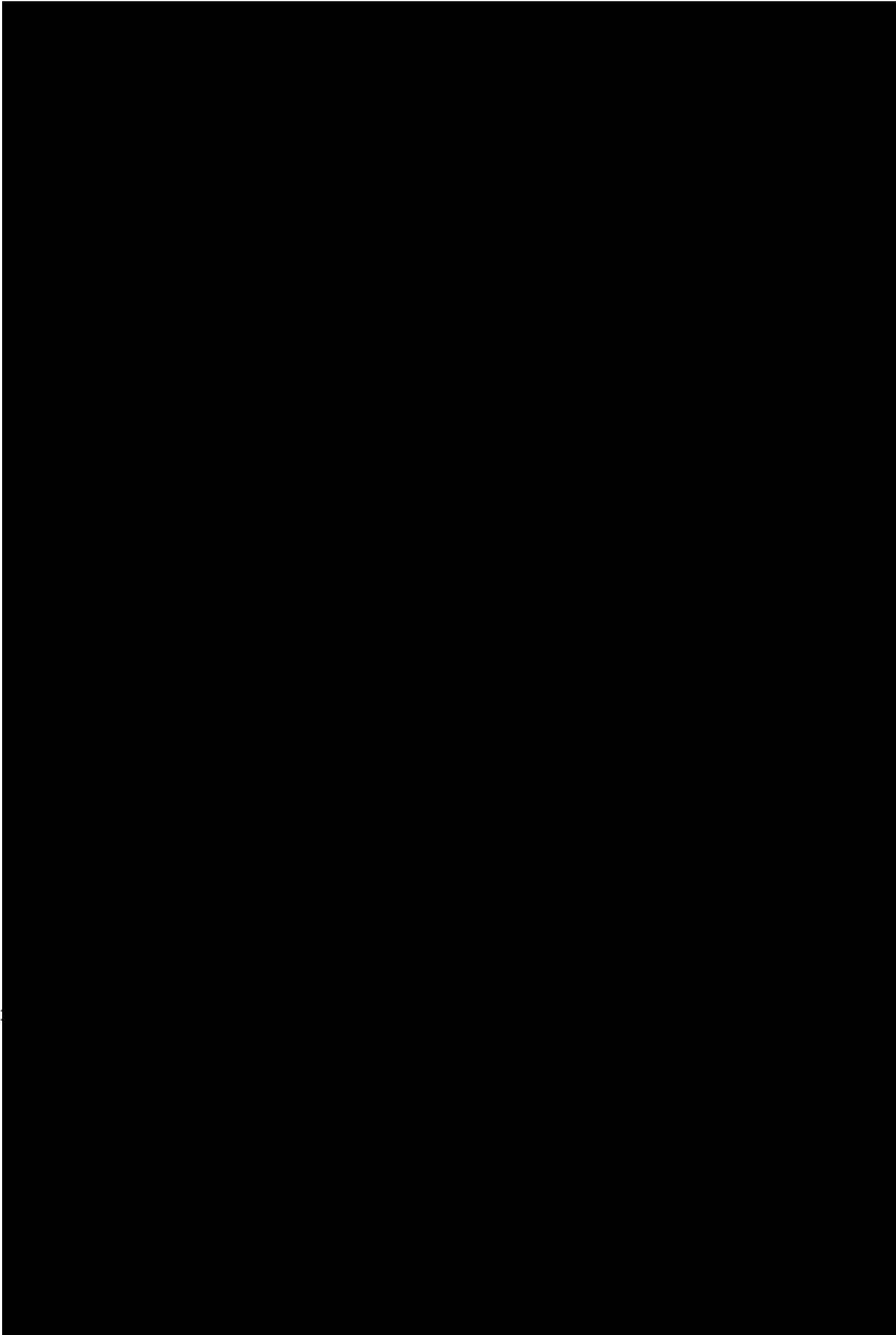


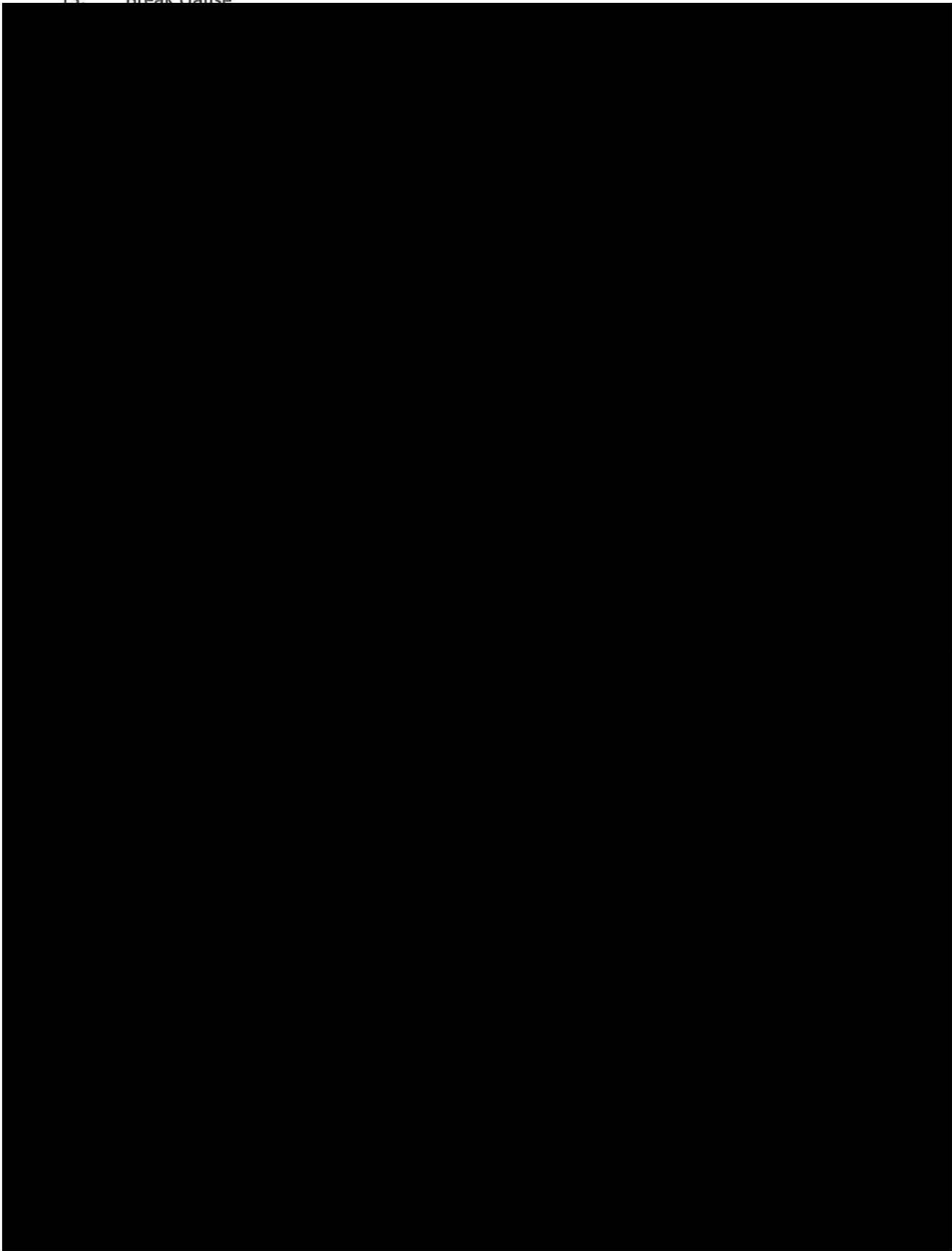




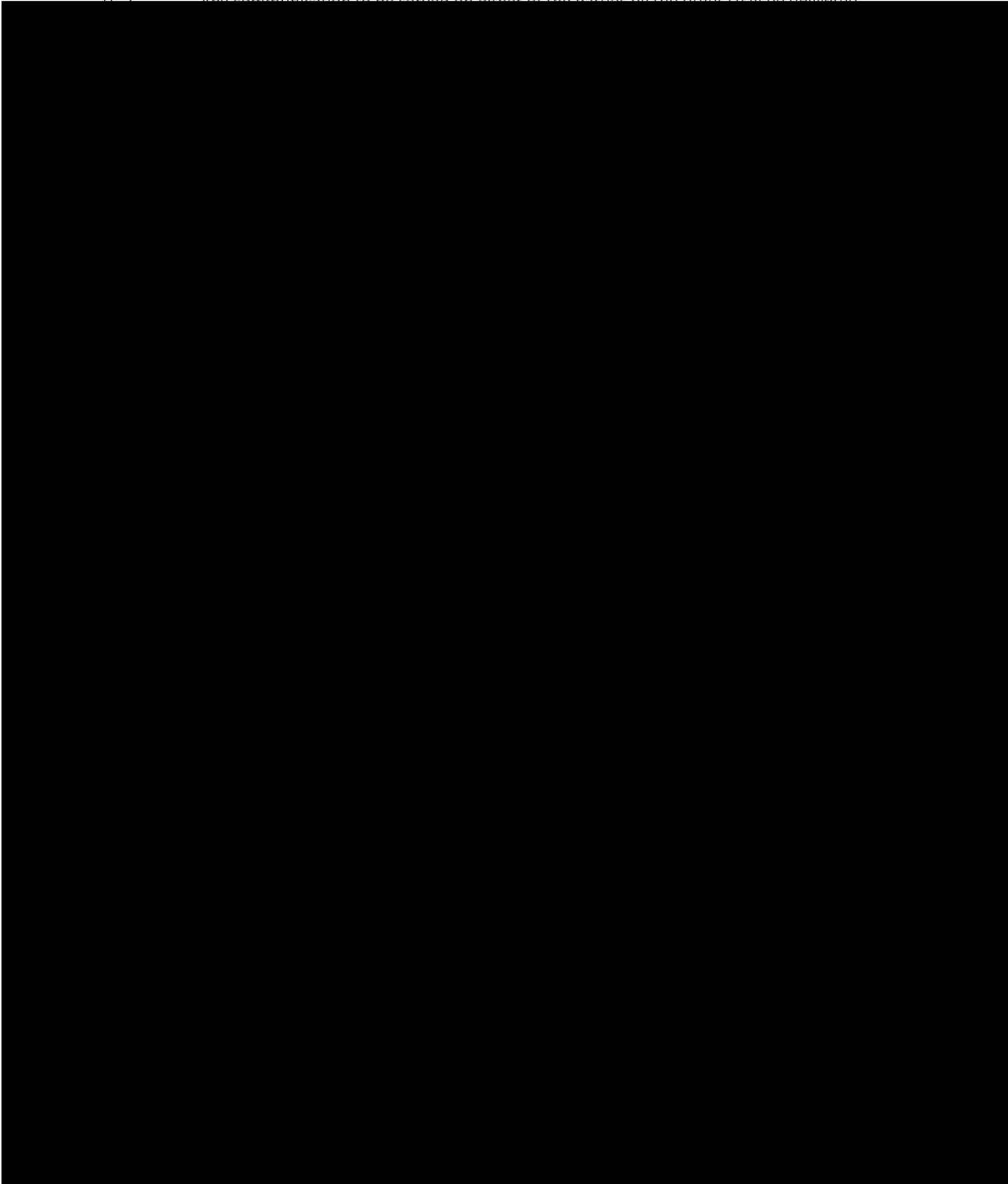








15.2 Any communication to be served on either of the parties by the other shall be delivered

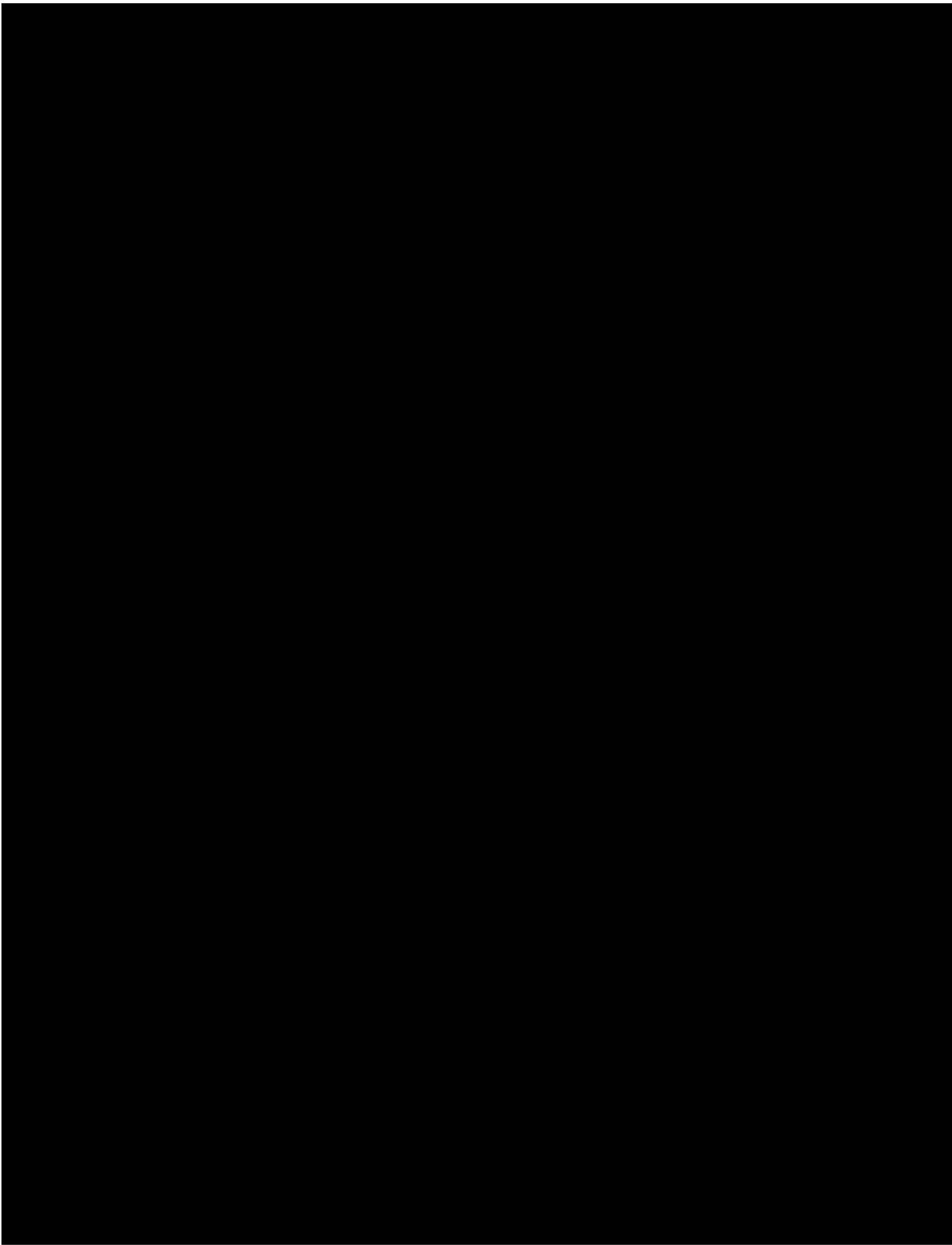




# at **751a Finchley Road**

	Amount	Invoice	Amount	Amount
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				
F H				







Your Account  
**34095878**



PayPoint

# Your Council Tax Bill 2021/2022

Date: **06/10/2021**

Reason for Bill:  
New Liability

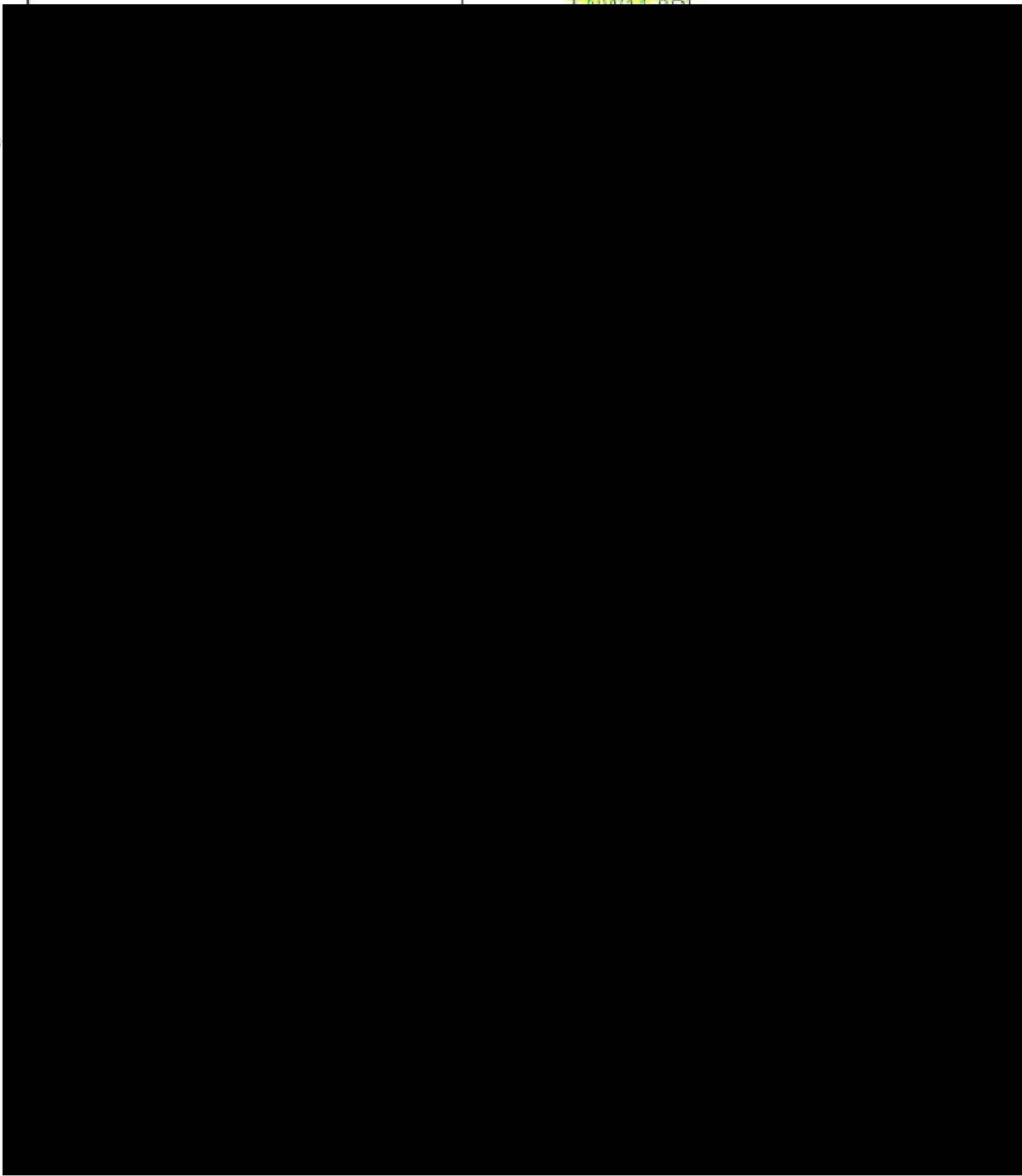
01722 2110134-42001100

784

## Property Address

**Flat 4 1st Flr**  
**751A Finchley Road**  
**London**  
**NW11 3DU**

Band A







Ad

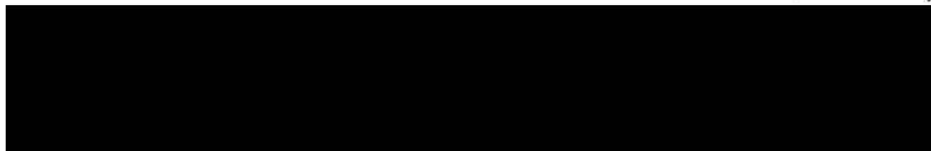


---

**RE: Flat 4 1st Flr, 751A Finchley Road, London, NW11 8DL**

1 message





---

**6 attachments**

-  **Flat 4, 751a Finchley - Sep 2020.pdf**  
95K
-  **Flat 4, 751a Finchley - July, Aug 2020.pdf**  
124K
-  **Flat 4, 751a Finchley - May, June 2020.pdf**  
124K
-  **Flat 4, 751a Finchley - April 2020.pdf**  
94K
-  **Flat 4, 751a Finchley - Feb 2020.pdf**  
89K
-  **Flat 4, 751a Finchley - March 2020.pdf**  
90K



# Electrical Installation Condition Report

Requirements for Electrical Installations - BS  
7671:2018  
(IET Wiring Regulations 18th Edition)

## Information for recipients:

The purpose of this report is to confirm, so far as reasonably practicable, whether or not the electrical installation is in a satisfactory condition for continued service (see Section E). The report should identify any damage, deterioration, defects and/or conditions which may give rise to danger (see Section K).

The person ordering the report should have received the original report and the inspector should have retained a duplicate.

The original Report should be retained in a safe place and be made available to any person inspecting or undertaking work on the electrical installation in the future. If the property is vacated, this report will provide the new owner / occupier with details of the condition of the electrical installation at the time the report was issued.

Where the installation incorporates residual current devices (RCDs) there should be a notice at or near the devices stating that they should be tested every 6 months. For safety reasons it is important that these instructions are followed.

Section D (Extent and Limitations) should identify fully the extent of the installation covered by this report and any limitations on the inspection and testing. The Inspector should have agreed these aspects with the person ordering the report and with other interested parties (licencing authority, insurance company, mortgage provider and the like()) before the inspection was carried out.

Some operational limitations such as inability to gain access to parts of the installation or an item of equipment may have been encountered during the inspection. The inspector should have noted these in Section D.

For items classified in Section K as C1 ("Danger Present"), the safety of those using the installation is at risk, and it is recommended that a skilled person or persons competent in electrical installation work undertakes the necessary remedial work immediately.

For items classified in Section K as C2 ("Potentially Dangerous"), the safety of those using the installation may be at risk and it is recommended that a skilled person or persons competent in electrical installation work undertakes the necessary remedial work as a matter of urgency.

Where it has been stated in Section K that an observation requires further investigation code F1 the inspection has revealed an apparent deficiency which may result on a code C1 or C2 could not, due to the extent or limitations of this inspection, be fully identified. Such observations should be investigated as soon as possible. A further examination of the installation will be necessary, to determine the nature and extent of the apparent deficiency (see Section F).

For safety reasons, the electrical installation should be re-inspected at appropriate intervals by a skilled person or persons competent in such work. The recommended date by which the next inspection is due is stated in Section F of the report under 'Recommendations' and on label at or near to the consumer unit/distribution board.



# Electrical Installation Condition Report

for Domestic and Similar Premises up to 100 A

Requirements for Electrical Installations  
BS 7671:2018 (IET Wiring Regulations 18th Edition)

NA/ 3 1 1 6 3 0 0 0 0 1 5 2 6

EICR

Page 2 of 6

## A Details of the Installation



Installation Abaris Ltd.  
Address Flat-4  
751a Finchley Road  
LONDON

Postcode N16 7EA

Postcode NW11 8DL

## B Reason for producing this report *This form is to be used only for reporting on the condition of an existing installation.*

Client request EICR for tenancy purpose.

Date(s) on which the inspection and testing were carried out 01/02/2022 to 01/02/2022

## C Details of installation which is the subject of this report

Description of premises Domestic  Commercial  Industrial  Other (please specify)

Estimated age of the wiring system 25 years

Evidence of alterations or addition Yes  No  Not apparent  if 'Yes', estimated years

Records of installation available Yes  No  Records held by

Date of last inspection Not Known Electrical Installation Certificate No. or previous Inspection Report No. NA

## D Extent of electrical installation covered by this report:

This inspection covers the bedroom and bath final circuits.

Agreed Limitations and Operational Limitations (Regulations 653.2)

only 10% equipment dismantled for visual inspection, no access behind the kitchen, floor and ceiling.

Operational limitations including the reasons see page no 1

Agreed with: Abaris Ltd.

The inspection and testing detailed within this report and accompanying schedule has been carried out in accordance with BS 7671: 2018 amended to 2020

It should be noted that cables concealed within trunkings and conduits, under floors, in roof spaces and generally within the fabric of the building or underground have not been inspected unless specifically agreed between the client and inspector prior to the inspection. An inspection should be made within an accessible roof space housing other electrical equipment.

## E Summary of the condition of the installation

General conditions of the installation (in terms of safety)

This is an existing wiring for a studio flat with metal body dual RCDs.

Overall assessment of the installation in terms of its suitability for continued use

SATISFACTORY

\*UNSATISFACTORY

\*An UNSATISFACTORY assessment indicates that dangerous (code C1), or potentially dangerous (code C2), Further investigation (code FI) conditions have been identified

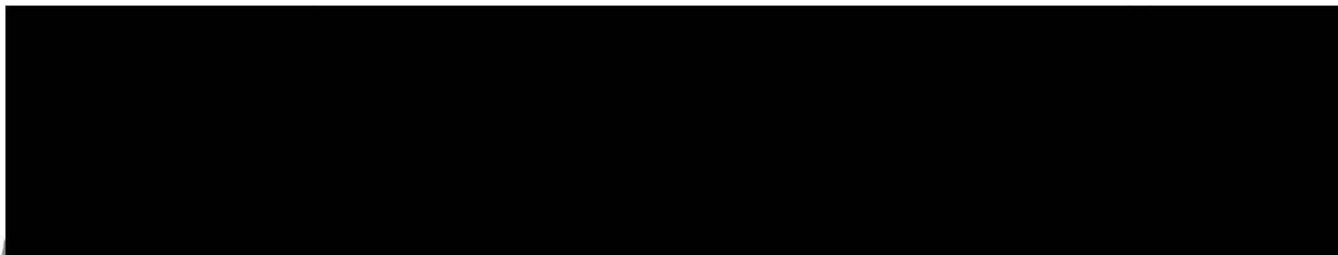
## F Recommendations

Where the overall assessment of the suitability of the installation for continued use above is stated as UNSATISFACTORY I/we recommend that any observations classified as 'Danger present' (code C1) or 'Potential dangerous' (code C2) are acted upon as a matter of urgency. Investigation without delay is recommended for observations identified as 'Further Investigation required' (code FI). Observations classified as 'Improvement recommended' (code C3) should be given due

consideration. Subject to the necessary remedial action being taken, I/we recommend that the installation is further inspected and tested by 01/02/2026 (date)

## G Declaration

I/we being the person(s) responsible for the inspection and the testing of the electrical installation (as indicated by my/our signatures below), particulars of which are described above, having exercised reasonable skill and care when carrying out the inspection and testing hereby declare that the information in this report, including the observations and the attached schedules, provides an accurate assessment of the condition of the electrical installation taking into account the stated extent and limitations in section D of this report.



## H

1 schedule(s) of inspection and 1 schedule(s) of test results are attached.

The attached schedule(s) are part of this document and this report is valid only when they are attached to it.



# Electrical Installation Condition Report

for Domestic and Similar Premises up to 100 A

Requirements for Electrical Installations  
BS 7671:2018 (IET Wiring Regulations 18th Edition)

NA/ 3 1 1 6 3 0 0 0 0 1 5 2 6

EICR

Page 3 of 6

## I Supply characteristics and earthing arrangements

Earthing Arrangements TN-S  TN-C-S  TT  Other  Please specify

Number & Type of live conductors AC  DC  No. of phases 1 No. of wires 2

Nature of Supply Parameters (Note: <sup>(1)</sup> by enquiry, <sup>(2)</sup> by enquiry or by measurement)

Nominal voltage, U/U<sub>0</sub> <sup>(1)</sup> 230 v Nominal frequency, f<sup>(1)</sup> 50 Hz Confirmation of polarity

Prospective fault current, I<sub>pf</sub> <sup>(2)</sup> 1.38 kA External loop impedance, Z<sub>e</sub> <sup>(2)</sup> .17 Ω Or Z<sub>db</sub> Source of Circuit

Supply Protective Device BS (EN) 1361 Type Gg Rated Current 63 A

Other Sources of Supply (as detailed on attached schedule) NA

## J Particulars of installation referred to in this report

Details of installation Earth Electrode (where applicable) Type (e.g. rod(s), tape etc)

Location Electrode resistance to earth Ω

Means of Earthing Distributors facility  Installation Earth Electrode

Main Protective Conductors Material csa (✓) or Value Ω (connection / continuity) (✓) or Value

Earthing Conductor Copper 16  Ω

Protective Bonding Conductor (to extraneous-conductive-parts) Copper 16  Ω

Main Supply Conductor Copper 16 Ω

Main Switch Location DB

Fuse/device rating or setting Switch A Voltage rating 230 V BS(EN) 60947-3 No. of Poles 2 Current Rating 100 A

If RCD main switch: Rated residual operating current I Δn mA Rated time delay ms Measured operating trip time NA ms

Maximum Demand (load) 50 Amps  KVA

Water installation  Ω To structural steel  NA Ω

Gas installation pipes  NA Ω To lightning protection  NA Ω

Oil installation pipes  NA Ω Other NA  Ω

## K Observations

Referring to the attached schedule of inspection and test results, and subject to the limitations at Section D.

- No remedial work required
- The following observations are made

Item No.	Observations	Code
1	Service head, not appropriate blanks used	C1
2	Adequacy of working space/accessibility to consumer unit/distribution board (132.12; 513.1) Board mounted at height and prevents for the user access.	C2
3	Board is not in great conditions	C2

One of the above codes, as appropriate, has been allocated to each of the observations made above and/or any attached observation sheets to indicate to the person(s) responsible for the installation the degree of urgency for remedial action.

C1	Danger present. Risk of Injury. Immediate remedial action required.
C2	Potentially dangerous. Urgent remedial action required.
C3	Improvement recommended.
F1	Further Investigation required without delay

1, 2, 3

### Explanation of codes




C1	Danger present. Risk of Injury. Immediate remedial action required.
C2	Potentially dangerous. Urgent remedial action required.
C3	Improvement recommended.
F1	Further Investigation required without delay



## Outcomes

Acceptable condition: 	Unacceptable condition: State 	Improvement recommended: 	Further Investigation: 	Not Verified: 	Limitation: 	Not Applicable: 
--	--	---	---	---	--	--

In the outcome column use the codes above. Provide additional comment where appropriate. C1/C2/C3 and FI coded items to be recorded in section K of the condition report.

Item No.	Description	Outcome
<b>1.0 External Condition Of Intake Equipment (Visual Inspection Only) Where inadequacies are encountered, it is recommended that the person ordering the report informs the appropriate authority</b>		
1.1	Service cable	
1.2	Service head	
1.3	Earthing arrangement	
1.4	Meter tails	
1.5	Metering equipment	
1.6	Isolator (where present)	
2.0	Presence Of Adequate Arrangements For Other Sources Such As Microgenerators (551.6; 551.7)	
<b>3.0 Earthing / Bonding Arrangements (411.3; Chap 54)</b>		
3.1	Presence and condition of distributor's earthing arrangement (542.1.2.1; 542.1.2.2)	
3.2	Presence and condition of earth electrode connection where applicable (542.1.2.3)	
3.3	Provision of earthing/bonding labels at all appropriate locations (514.13.1)	
3.4	Confirmation of earthing conductor size (542.3; 543.1.1)	
3.5	Accessibility and condition of earthing conductor at MET arrangement (543.3.2)	
3.6	Confirmation of main protective bonding conductor sizes (544.1)	
3.7	Condition and accessibility of main protective bonding conductor/connections (543.3.2; 544.1.2)	
3.8	Accessibility and condition of other protective bonding connections (543.3.1; 543.3.2)	
<b>4.0 Consumer Unit(s) / Distribution Board(s)</b>		
4.1	Adequacy of working space/accessibility to consumer unit/distribution board (132.12; 513.1)	
4.2	Security of fixing (134.1.1)	
4.3	Condition of enclosure(s) in terms of IP rating etc (416.2)	
4.4	Condition of enclosure(s) in terms of fire rating etc (421.1.201; 526.5)	
4.5	Enclosure not damaged/deteriorated so as to impair safety (651.2)	
4.6	Presence of main linked switch (as required by 462.1.201)	
4.7	Operation of main switches (functional check) (643.10)	
4.8	Manual operation of circuit-breakers and RCD(s) to prove disconnection (643.10)	
4.9	Correct identification of circuit details and protective devices (514.8.1; 514.9.1)	
4.10	Presence of RCD six-monthly test notice at or near consumer unit/distribution board (514.12.2)	
4.11	Presence of non-standard (mixed) cable colour warning notice at or near consumer unit/distribution board (514.14)	
4.12	Presence of alternative supply warning notice at or near consumer unit/distribution board (514.15)	
4.13	Presence of other required labelling (please specify) (Section 514)	
4.14	Compatibility of protective devices, bases and other components; correct type and rating (No signs of unacceptable thermal damage, arcing or overheating) (411.3.2; 411.4; 411.5; 411.6; section 432.433)	
4.15	Single-pole switching or protective devices in line conductor only (132.14.1; 530.3.3)	
4.16	Protection against mechanical damage where cables enter consumer unit/distribution board (132.14.1; 522.8.1; 522.8.5; 522.8.11)	
4.17	Protection against electromagnetic effects where cables enter consumer unit/distribution board/enclosures (521.5.1)	
4.18	RCD(s) provided for fault protection - includes RCBOs (411.4.204; 411.5.2; 531.2)	
4.19	RCD(s) provided for additional protection / requirements - includes RCBOs (411.3.3; 415.1)	
4.20	Confirmation of indication that SPD is functional (651.4)	
4.21	Confirmation that ALL conductor connections, including connections to busbars, are correctly located in terminals and are tight and secure (526.1)	
4.22	Adequate arrangements where a generating set operates as a switched alternative to the public supply (551.6)	
4.23	Adequate arrangements where a generating set operates in parallel with the public supply (551.7)	
<b>5.0 Final Circuits</b>		
5.1	Identification of conductors (514.3.1)	
5.2	Cables correctly supported throughout their run (521.10.202; 522.8.5)	
5.3	Condition of insulation of live parts (416.1)	
5.4	Non-sheathed cables protected by enclosure in conduit, ducting or trunking. Integrity of containment (521.10.1)	
5.4.1	To include the integrity of conduit and trunking systems (metallic and plastic)	
5.5	Adequacy of cables for current-carrying capacity with regard for the type and nature of installation (Section 523)	
5.6	Coordination between conductors and overload protective devices (433.1; 533.2.1)	
5.7	Adequacy of protective devices: type and rated current for fault protection (411.3)	
5.8	Presence and adequacy of circuit protective conductors (433.3.1; Section 543)	
5.9	Wiring system(s) appropriate for the type and nature of the installation and external influences (Section 522)	



# Electrical Installation Condition Report Inspection Schedule

for Domestic and Similar Premises up to 100 A

Requirements for Electrical Installations - BS 7671:2018 (IET Wiring Regulations 18<sup>th</sup> Edition) All items inspections to confirm as appropriate, compliance with the relevant clauses in BS 7671:2018

NA/ 3 1 1 6 3 0 0 0 0 1 5 2 6  
EICR Page 5 of 6

5.10	Concealed cables installed in prescribed zones (see Section D. Extent and limitations) (522.6.202)	<input checked="" type="checkbox"/>
5.11	Cables concealed under floors, above ceilings or in walls/partitions, adequately protected against damage (see Section D. Extent and limitations) (522.6.204)	<input checked="" type="checkbox"/>
<b>5.12</b>	<b>Provision of additional requirements for protection by RCD not exceeding 30 mA</b>	<input checked="" type="checkbox"/>
5.12.1	for all socket-outlets of rating 32 A or less, unless an exception is permitted (411.3.3)	<input checked="" type="checkbox"/>
5.12.2	For the supply of mobile equipment not exceeding 32 A rating for use outdoors (411.3.3)	<input checked="" type="checkbox"/>
5.12.3	for cables concealed in walls at a depth of less than 50 mm (522.6.202; 522.6.203)	<input type="checkbox"/>
5.12.4	for cables concealed in walls/partitions containing metal parts regardless of depth (522.6.203)	<input type="checkbox"/>
5.12.5	for circuits supplying luminaires within domestic (household) premises (411.3.4)	<input checked="" type="checkbox"/>
5.13	Provision of fire barriers, sealing arrangements and protection against thermal effects (Section 527)	<input checked="" type="checkbox"/>
5.14	Band II cables segregated/separated from Band I cables (528.1)	<input type="checkbox"/>
5.15	Cables segregated/separated from communications cabling (528.2)	<input type="checkbox"/>
5.16	Cables segregated/separated from non-electrical services (528.3)	<input checked="" type="checkbox"/>
<b>5.17</b>	<b>Termination of cables at enclosures - indicate extent of sampling in Section D of the report (Section 526)</b>	<input checked="" type="checkbox"/>
5.17.1	Connections soundly made and under no undue strain (526.6)	<input checked="" type="checkbox"/>
5.17.2	No basic insulation of a conductor visible outside enclosure (526.8)	<input checked="" type="checkbox"/>
5.17.3	Connections of live conductors adequately enclosed (526.5)	<input checked="" type="checkbox"/>
5.17.4	Adequately connected at point of entry to enclosure (glands, bushes etc.) (522.8.5)	<input checked="" type="checkbox"/>
5.18	Condition of accessories including socket-outlets, switches and joint boxes (651.2(v))	<input checked="" type="checkbox"/>
5.19	Suitability of accessories for external influences (512.2)	<input checked="" type="checkbox"/>
5.20	Adequacy of working space/accessibility to equipment (132.12; 513.1)	<input checked="" type="checkbox"/>
5.21	Single-pole switching or protective devices in line conductors only (132.14.1, 530.3.3)	<input checked="" type="checkbox"/>
<b>6.0</b>	<b>Location(s) Containing A Bath Or Shower</b>	
6.1	Additional protection for all low voltage (LV) circuits by RCD not exceeding 30 mA (701.411.3.3)	<input checked="" type="checkbox"/>
6.2	Where used as a protective measure, requirements for SELV or PELV met (701.414.4.5)	<input checked="" type="checkbox"/>
6.3	Shaver sockets comply with BS EN 61558-2-5 formerly BS 3535 (701.512.3)	<input type="checkbox"/>
6.4	Presence of supplementary bonding conductors, unless not required by BS 7671:2018 (701.415.2)	<input checked="" type="checkbox"/>
6.5	Low voltage (e.g. 230 volt) socket-outlets sited at least 3 m from zone 1 (701.512.3)	<input type="checkbox"/>
6.6	Suitability of equipment for external influences for installed location in terms of IP rating (701.512.2)	<input type="checkbox"/>
6.7	Suitability of accessories and controlgear etc. for a particular zone (701.512.3)	<input checked="" type="checkbox"/>
6.8	Suitability of current-using equipment for particular position within the location (701.55)	<input checked="" type="checkbox"/>
<b>7.0</b>	<b>Other Part 7 Special Installations Or Locations</b>	
7.01	List all other special installation or locations, if any (record separately the results of particular inspections applied).	
<b>8.0</b>	<b>Schedule of Tests Results to be recorded on Schedule of Test Results</b>	
8.1	External earth loop impedance, Ze	<input checked="" type="checkbox"/>
8.2	Installation earth electrode	<input checked="" type="checkbox"/>
8.3	Prospective fault current, Ipf	<input checked="" type="checkbox"/>
8.4	Continuity of Earth Conductors	<input checked="" type="checkbox"/>
8.5	Continuity of Circuit Protective Conductors	<input checked="" type="checkbox"/>
8.6	Continuity of ring final circuit	<input checked="" type="checkbox"/>
8.7	Continuity of Protective Bonding Conductors	<input checked="" type="checkbox"/>
8.8	Volt drop verified	<input checked="" type="checkbox"/>
8.9	Insulation Resistance between Live Conductors	<input checked="" type="checkbox"/>
8.10	Insulation Resistance between Live Conductors & Earth	<input checked="" type="checkbox"/>
8.11	Polarity (prior to energisation)	<input checked="" type="checkbox"/>
8.12	Polarity (after energisation) including phase sequence	<input checked="" type="checkbox"/>
8.13	Earth Fault Loop Impedance	<input checked="" type="checkbox"/>
8.14	RCDs / RCBOs including selectivity	<input checked="" type="checkbox"/>
8.15	Functional testing of RCD devices	<input checked="" type="checkbox"/>
8.16	Functional testing of AFDD(s) devices	<input type="checkbox"/>

Inspector's Name: Yashpal Singh (Singh Constructions)

Signature: *Yashpal Singh (Singh Constructions)*

Date: 01/02/2022



# Electrical Installation Condition Report Test Schedule

for Domestic and Similar Premises up to 100 A

Requirements for Electrical Installations  
BS 7671:2018 (IET Wiring Regulations 18th Edition)

NA/ 3 1 1 6 3 0 0 0 0 0 1 5 2 6  
EICR Page 6 of 6

Client **Abaris Ltd.**

Installation Address **Flat-4, LONDON**

Postcode **NW11 8DL**

Distribution board details - Complete in every case

Complete only if the distribution board is not connected directly to the origin of the installation

Test instrument serial number(s)

Location **Bedroom**  
Designation **DB1**  
Num. of ways **8**

Overcurrent protective device for the distribution circuit  
No. of phases  
Nominal Voltage  
Type Rating  
BS(EN)  
Supply polarity confirmed  Phase sequence confirmed

Characteristics at this distribution board  
Associated RCD(if any): BS (EN)  
Operating at 1 IΔn  
30mA or below  
Operating at 5 IΔn

Loop impedance **8178158**  
Insulation resistance **8178158**  
Continuity **8178158**  
RCD **8178158**

## CIRCUIT DETAILS

## TEST RESULTS

Circuit No. and Line No.	Distribution board Designation	Circuit designation	Type of wiring	Ref. method	No. of points	Circuit conductors		Maximum disconnection	Overcurrent protective devices		Breaking capacity (kA)	RCD operating (mA)	BS 7671 Max. permitted Zs Other 80% (Ω)	Circuit impedance Ω		All circuits to be completed using R1+R2 or R2, not both	Insulation resistance (Record lower reading)				Polarity	Max. Measured Zs (Ω)	RCD testing		Manual test button operation	
						L/N	CPC		Type No.	BS EN Number				Rating (A)	Ring final circuits only (measured end-to-end)		Impedance of R1	Impedance of R2	Test voltage V	L/L M(Ω)			L/N M(Ω)	L/E N/E M(Ω)		Above 30mA IΔn ms
1	W Heater		A	101	2	6	2.5	0.4	B	32	6	30	1.10	NA	NA	NA	500	>500	>500	>500	(✓)	.25	NA	9	(✓)	N/A
2	Kitchen Socket		A	101	1	2.5	1.5	0.4	B	32	6	30	1.10	.10	.19	NA	500	>500	>500	>500	(✓)	.18	NA	9	(✓)	N/A
3	Bath heater		A	101	1	2.5	1.5	0.4	B	20	6	30	2.18	NA	NA	NA	500	>500	>500	>500	(✓)	.38	NA	9	(✓)	N/A
4	Lights		A	101	3	1.5	1	0.4	B	6	6	30	5.82	NA	NA	NA	500	>500	>500	>500	(✓)	.27	NA	9	(✓)	N/A
5	Shower		A	101	1	6	2.5	0.4	B	32	6	30	1.10	NA	NA	NA	500	>500	>500	>500	(✓)	.27	NA	11	(✓)	N/A
6	Floor Socket		A	101	3	2.5	1.5	0.4	B	32	6	30	1.10	.22	.36	NA	500	>500	>500	>500	(✓)	.41	NA	11	(✓)	N/A
7	Storage Heater		A	101	1	2.5	1.5	0.4	B	20	6	30	2.18	NA	NA	NA	500	>500	>500	>500	(✓)	.30	NA	11	(✓)	N/A
8	Spare																				(✓)				(✓)	N/A

Details of circuits and/or installed equipment vulnerable to damage when testing      Date(s) dead testing      01/02/2022      To      01/02/2022      Date(s) live testing      01/02/2022      To      01/02/2022

Shower and lighting      Tested by: Name (capital letters)      **YASHPAL SINGH (SINGH CONSTRUCTIONS)**      Position      **Electrician**      Date      **01/02/2022**

Signature      **Yashpal Singh (Singh Constructions)**



**It's time to pay your Thames Water bill, ref: 40537952**

1 message



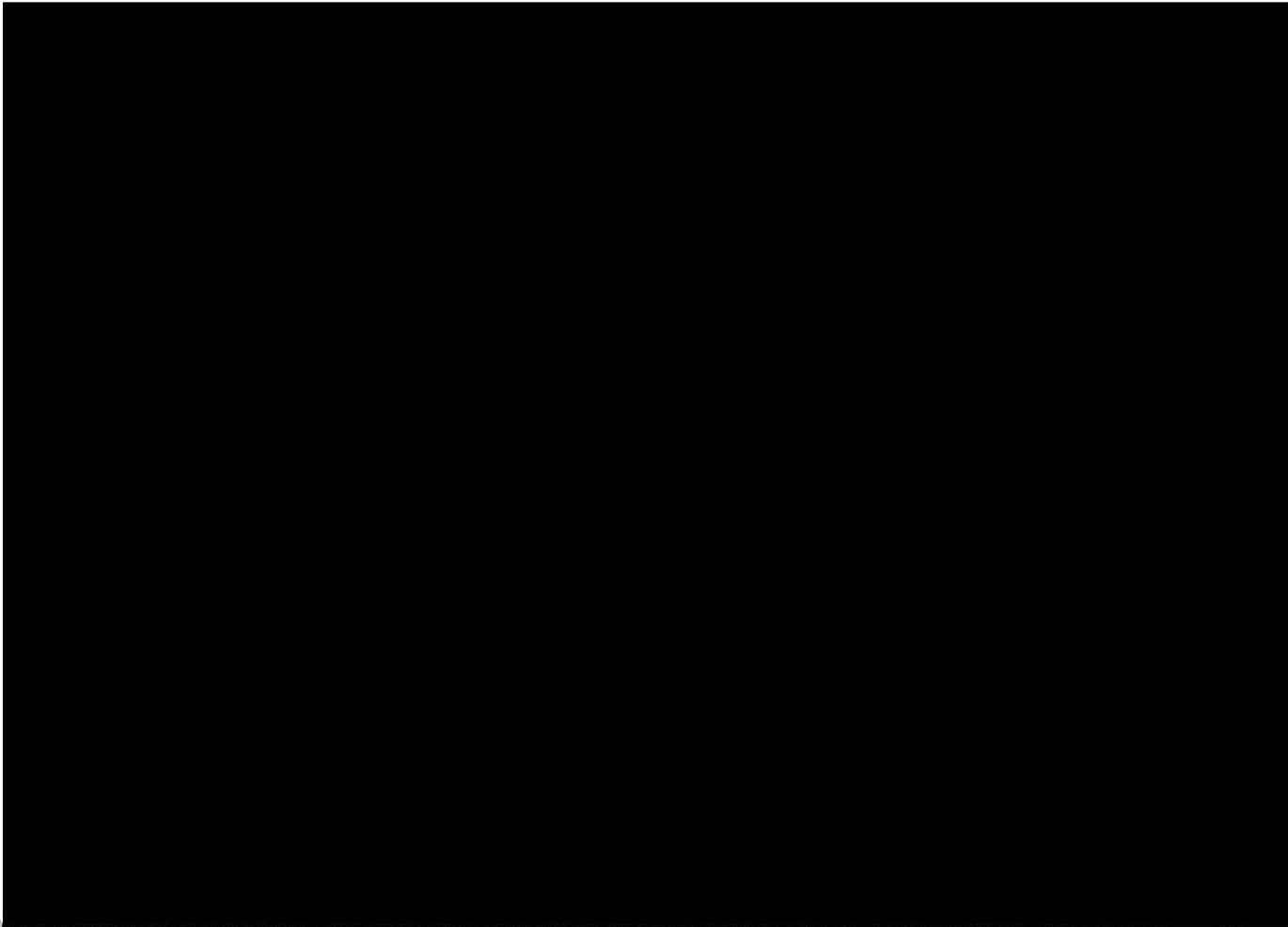
Tue, Aug 8, 2023 at 12:41 PM

**\*\*Reply to this email, ensuring your case reference 40537952 remains in the subject**

**line\*\***



Supply Address: Flat 4, 751a Finchley Road, LONDON, NW11 8DL



If our client reports this account to credit reference agencies, the outstanding balance may impact your credit rating. This could limit your ability to obtain any future credit agreements or services, including bank accounts, credit cards, mortgages and loans, mobile phone and broadband accounts.

It's important that you don't ignore this email, please contact us without delay.

Yours sincerely

LCS

**We understand that you may have further questions relating to this matter.  
Please feel free to use one of the links below.**

I need to make a quick one off  
payment

[Online Quick Pay](#)

I want to make a payment via  
bank transfer

[Set up a bank transfer](#)

I want to make a quick payment  
via automated phone line

[Payment phone line](#)

I want to set up an affordable,  
regular payment plan

[Payment Plan](#)

I want to see a copy of the  
bill/invoice

[Request a copy bill](#)

I want to speak to a specialist  
agent

[Request a call back](#)

[Need help?](#)

[Who is LCS?](#)

[Help & FAQ](#)

[About Us](#)

**You can always view the status of your account whilst with LCS, using the  
customer portal on our website.**

[My Portal](#)

**We also understand that you may need to review your finances, in this case we  
recommend that you complete an income and expenditure form which you can access  
via your online portal.**

**Need financial advice and support? [Click here](#) to view a number of our free debt charities.**

\*All calls to and from LCS are recorded for training and quality purposes. Calls to 0344 numbers are included in any free minutes in your UK mobile/landline package and are charged at the same rate as 01 and 02 numbers.

Authorised and regulated by the Financial Conduct Authority for accounts formed under the Consumer Credit Act 1974 [amended 2006] Copyright 2012 - 2022 - All Rights Reserved

LCS is a trading style of 1st Locate(UK) Ltd registered in England no. 03702599. Registered Office: Apson House, Bullerthorpe Lane, Colton, Leeds, West Yorkshire, LS15 9JN

DISCLAIMER: This communication is confidential and may be privileged. It is for the exclusive use of the intended recipient(s). If you are not the intended recipient(s) any distribution, copying or use of the information in this communication is prohibited. If you have received this communication in error, please notify the sender immediately and then destroy any copies of it. 1st Locate (UK) Limited disclaims all liability of whatever kind (including for negligence) to anyone other than the intended recipient(s)

[Privacy Policy](#)