



## Design & Access Statement

Boundary Wall to Barnet Grange Care Home,  
59 Wood Street,  
Barnet,  
EN5 4BS

January 2024



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## 1.0 Introduction

This document has been prepared by TDC Architects to support an application on behalf of Avery Healthcare Ltd. for the demolition and rebuilding of the boundary wall on the East of the Barnet Grange Care Home site, former boundary to the Grade II Listed Victoria Maternity Hospital.

The boundary wall to the care home previously formed part of the boundary to the Grade II listed build, Victoria Maternity Hospital. Although now the wall is visually and physical separated from the Listed Building the wall remains the last section of the boundary wall.

## Location

The application site forms a c.60m section of wall along the eastern boundary at the southern end of the former Marie Foster Home site, red line below denotes the area of wall.

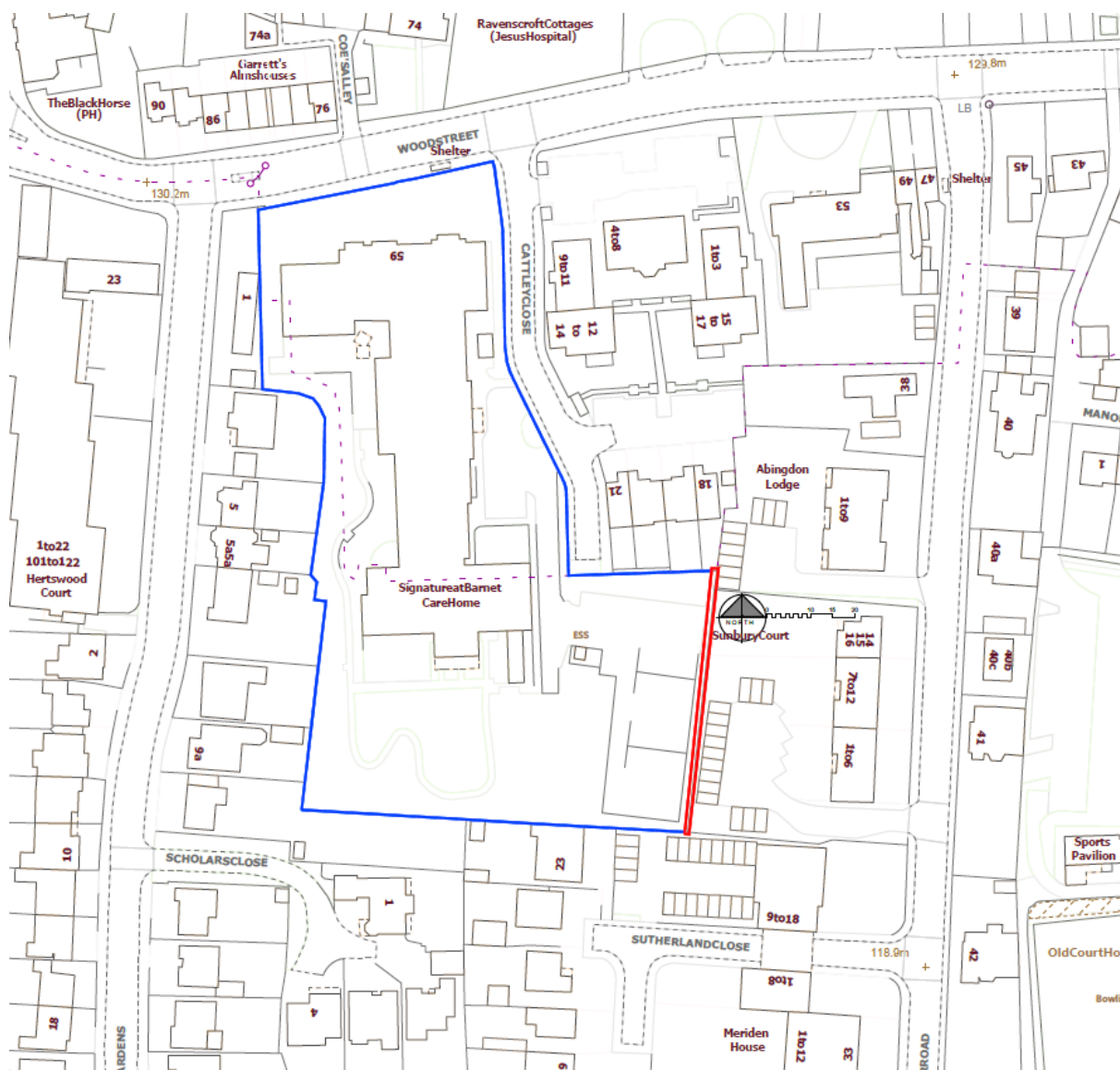


Fig 1 - The land that the wall is enclosing is the car park to the recent development Barnet Grange Care Home, consent ref. 18/5926/FUL. The condition of the wall became clear after the granting of this consent and has subsequently deteriorated further since its re-development.

## Planning History

The site has an extensive planning history, the planning history relating to the associated redevelopment of the site for use as a care home is set out below:

++Submission of details of conditions 26 (Boundary treatments) pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 21/5179/CON   Status: Approved
Submission of details of condition 10 (Hard Landscaping), 18 (Electric Vehicle Charging Facilities), 39 (External Lighting Assessment) pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 21/2938/CON   Status: Pending Consideration
Non-material amendment to planning permission reference 18/5926/FUL dated 04/02/2019. For ` Demolition of existing buildings and construction of a part two, part three storey building with accommodation in the roofspace and at lower ground floor level to provide a 100-room care home with associated communal areas, amenity space, buggy store, refuse/recycling store, cycle store and sub-station. Provision of 43no. off-street parking spaces. ` Amendment to include increasing the size of the buggy store	Ref. No: 20/3029/NMA   Status: Approved
Non-material amendments to planning reference 18/5926/FUL dated 04/02/2019 for 'Demolition of existing buildings and construction of a part two, part three storey building with accommodation in the roofspace and at lower ground floor level to provide a 100 room care home with associated communal areas, amenity space, buggy store, refuse/recycling store, cycle store and sub-station. Provision of 43no. off-street parking spaces.' Amendments to include increase in size of buggy, refuse and cycle stores	Ref. No: 20/2445/NMA   Status: Refused
Non material amendment to planning permission 18/5926/FUL dated 04/02/2019 for "Demolition of existing buildings and construction of a part two, part three storey building with accommodation in the roofspace and at lower ground floor level to provide a 100 room care home with associated communal areas, amenity space, buggy store, refuse/recycling store, cycle store and sub-station. Provision of 43no. off-street parking spaces." Amendments include relocation of the substation and generator, relocation of green house, new patio terrace area and additional terrace to Wood Street.	Ref. No: 20/0846/NMA   Status: Approved
Non material amendment to planning permission 18/5926/FUL dated 15/02/19 for ` Demolition of existing buildings and construction of a part two, part three storey building with accommodation in the roofspace and at lower ground floor level to provide a 100 room care home with associated communal areas, amenity space, buggy store, refuse/ recycling store, cycle store and sub-station. Provision of 43no. off-street parking spaces. ` Amendments include additional path for safe access from bottom of car-park, relocation of Substation and generator and reconfiguration of car parking due to Thames water runs located below previous position and to adapt to high level changes between highway and site, lower ground patio added to adapt to high level changes and reduce the slope gradient, glass greenhouse relocated to provide shaded areas in terrace, additional terrace on frontage of Wood street to provide a separated terraced area to the residents of all rooms at ground floor level. Garden retaining wall introduced to adapt to level changes between highway and building, increased buggy store to provide additional buggy spaces, visitors cycle parking relocated as a result of increased buggy store and dementia garden reconfigured to provide adequate external areas to sensitive users	Ref. No: 20/0135/NMA   Status: Refused
Submission of details of condition 9 (Window details) pursuant to planning permission) 18/5926/FUL dated 15/02/2019	Ref. No: 19/6752/CON    Status: Approved

Non material amendment to planning permission 18/5926/FUL dated 15/02/19 for ` Demolition of existing buildings and construction of a part two, part three storey building with accommodation in the roofspace and at lower ground floor level to provide a 100 room care home with associated communal areas, amenity space, buggy store, refuse/recycling store, cycle store and sub-station. Provision of 43no. off-street parking spaces. Amendments include; North elevation: Eaves overhang detail refined, window width reduced to 1 no. window, rain water pipes added, Wood street boundary wall following street levels. East elevation:1no. windows substituted with recessed brickwork, re-alignment of windows, addition of brick piers between panes of windows, Substitution of window with translucent glazed door, addition of brick band, dormer centered and enlarged on roofslope, side bay windows removed, Front entrance porch and door reconfigured. West elevation: Side bay windows removed, reconfiguration of windows in orangery and rooflights removed, removal of balcony, removal of side windows, dormer cheeks cladding stopped at eaves, railings to bottom sash window added, alignment of ground floor windows, window height reduced. South elevation: Door/window to lower ground reconfigured, brick pier to base of column added.	Ref. No: 19/6749/NMA   Status: Approved
Submission of details of condition 8 (External Materials) pursuant to planning permission 18/5926/FUL dated 15/02/2019	Ref. No: 19/6520/CON   Status: Approved
Submission of details of condition 33 Part 1c (Remediation Strategy) pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 19/6457/CON   Status: Approved
Submission of details of condition 7 (Construction Management and Logistics Plan) pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 19/6136/CON   Status: Approved
Submission of details of condition 30 (Demolition and Construction Method Statement) pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 19/6131/CON   Status: Approved
Submission of details of condition 6 (Demolition Management and Logistics plan) pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 19/6130/CON   Status: Approved
Submission of details of condition 36 (Acoustic report- substation) pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 19/6127/CON   Status: Approved
Submission of details of condition 35 (Acoustic report-Mechanical Plant) pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 19/6126/CON   Status: Approved
Submission of details of condition 14 (Landscape Management Plan) pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 19/6095/CON   Status: Approved
Submission of details of condition 27 (Drainage) pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 19/6087/CON   Status: Approved
Submission of details of condition 32 (Noise mitigation) pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 19/6084/CON   Status: Approved
Submission of details of condition 5 (Levels) pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 19/6082/CON   Status: Approved
Demolition of existing buildings at the site address for Marie Foster Home on Wood Street	Ref. No: 19/6079/PND   Status: Prior Approval Process not Applicable
Submission of details of condition 33 Part 1a-b only (Preliminary Risk Assessment ), pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 19/5966/CON   Status: Approved
Submission of details of condition 15 (Excavations for Services in Relation to Trees) pursuant to planning permission 18/5926/FUL dated 04/02/19	Ref. No: 19/5961/CON   Status: Approved
Submission of details of condition 8 (Materials), pursuant to planning permission 18/5926/FUL dated 04/02/2019	Ref. No: 19/5420/CON   Status: Withdrawn



Submission of details of condition 9 (Proposed windows) pursuant to planning permission 18/5926/FUL dated 04/02/19	Ref. No: 19/4200/CON   Status: Withdrawn
Submission of details of conditions 37 (Extraction) pursuant to planning permission 18/5926/FUL dated 04/02/19	Ref. No: 19/3161/CON   Status: Approved
Submission of details of condition 12 (Tree protection plan) pursuant to planning permission 18/5926/FUL dated 04/02/19	Ref. No: 19/3109/CON   Status: Approved
Submission of details of conditions 37 (Extraction) pursuant to planning permission 18/5926/FUL dated 04/02/19	Ref. No: 19/2165/CON   Status: Approved
Demolition of existing buildings and construction of a part two, part three storey building with accommodation in the roofspace and at lower ground floor level to provide a 100 room care home with associated communal areas, amenity space, buggy store, refuse/recycling store, cycle store and sub-station. Provision of 43no. off-street parking spaces	Ref. No: 18/5926/FUL   Status: Approved following legal agreement

## 2.0 The proposed Development

### *The Existing wall*

This 60m stretch of wall is in poor condition as seen in the image below. The wall is a traditional masonry built with red brick in Flemish bond and masonry piers at regular intervals of 3.5m width.



The wall is currently in a state of disrepair and is in need of rebuilding. Stratigraphic analysis shows that the wall has seen modern intervention, particularly at upper courses. These interventions have reduced its historic and architectural significance owing to the loss of original fabric and form.

The historic extent of the wall does not survive in the present day. The southern portion of the brick wall (the portion which is the subject of this Note), is the only surviving fragment of the previous boundary which historically extended south from Wood Street and enclosed the Victoria Maternity Hospital. Whilst the fabric and form of the wall holds a historic connection to the listed building, visually the boundary is completely disconnected and no longer holds a relationship to the Victorian Maternity Hospital.

Structural Engineer CSP carried out a visual inspection of the wall in 2020. The report noted the current condition and recommendations of work. The report concluded the following:

#### ***Description of the wall***

The total length of the wall is circa 60m on the eastern boundary and circa 17m on the southern boundary. The boundary wall is constructed in brickwork masonry and is one brick thick solid wall in Flemish bond.

The wall is 225mm thick with masonry piers built into the wall at typically 3.5m centres. The piers are generally 480mm wide x 480mm thick projecting both sides of the wall. There are 17 piers in total. The 225mm thick wall panels between piers, are constructed on arches, many of which can be seen from the neighbouring land at low level. The crown of the arches are typically 1.95 to 2.35m below the top of the walls. The arches are constructed of 2 layers of brickwork approximately 250mm high spanning full length between piers. A length of the wall has been rebuilt which was noted between piers 5 and 8. The top sections of the wall between piers 13 and 16 have been rebuilt. Other minor repairs have also been undertaken in other parts of the wall.

#### ***Missing mortar and spalling of brick faces***

Significant and extensive deterioration of the mortar and brick faces was noted throughout probably because of frost action arising from rainwater and water drawn up the wall due to a lack of DPC. The presence of ivy, algal and moss growth will have exacerbated the deterioration. As a result, the pointing of the brickwork has failed extensively, and some bricks are loose. This deterioration was found on both faces of the wall but was more severe on the site side and in the top half of the wall. In places the depth of missing mortar was as much as 75mm. The mortar in the newer section of wall between piers 5 and 8 was found to be still intact.

#### ***Loose bricks***

Loose bricks were observed throughout the length of the wall in localized areas such as at the top of the wall between piers 3 and 5 and at pier 12 from the neighbouring side. The bricks in the middle section of the pier 10 were absent. A section of wall between pier 17 and the corner of the site has collapsed to ground level. It is currently boarded up with plywood.

#### ***Leaning of the wall***

The plumb line survey shows the lean of the wall to be most severe between pier 4 and 5, and between pier 8 and the corner of the site. The wall leans between 90mm and 210mm. Causes of the distortion include the close proximity of trees and their growth together with the lateral earth pressures on the wall.

#### ***Cracking***

Generally, the walls had very few cracks probably due to the weak mortar of the wall which would naturally allow the wall to distort without showing obvious signs of cracking. Cracks that were observed are noted below. A large crack up to 75mm wide was observed on the southern boundary wall (photograph 31) which appears to be due to movement of foundations. Several trees are in proximity of the wall and foundations can be affected by tree roots or moisture change in the soil



due to tree transpiration. Smaller cracks were noted on the southern boundary which appears to be related to foundation movement. Cracks were noted in the wall panel between pier 10 & 11 most likely due to the growth of the tree pushing against the wall.

See images below for evidence of the state of the wall upon recent inspection.





### ***Proposed works to the wall***

The Boundary Wall is not in a fit state or form to be repaired without significant intervention and rework to the current fabric, the most appropriate course of action is for the wall to be carefully taken down and rebuilt using the existing bricks and substituted with new salvaged bricks and repointed in its entirety.

### ***Other considerations***

Planning use is not a relevant consideration but for the avoidance of doubt, the boundary wall will continue to function as a form of enclosure to the wider curtilage of the site for care home use.



### ***Amount and scale***

The scale of the interventions proposed is the scale necessary to achieve the stabilisation of the wall to secure its long-term preservation.

### ***Layout***

The layout of the wall will remain unchanged.

### ***Landscape***

The very northern section of the wall abuts a root protection zone. There will be no ground works required as part of the rebuild works, with the foundations to remain as existing. There will therefore be no excavation required within the root protection zone (or indeed elsewhere along the length of the wall).

### ***Access***

The wall will continue to be able to be accessed from within the curtilage of the care home for general maintenance.

Considerations relating to equal access are not relevant to this scheme.

## **4.0 Heritage Impact Assessment**

The works are required in order to facilitate the long-term life of the wall which is currently defective and at risk.

The structural condition of the wall has been surveyed to identify the current condition. The most significant of these are the lean of the wall where this exceeds the recommended.

Although proposed to be rebuilt the wall will nevertheless retain its character and function as a boundary treatment and the salvaged bricks will be used where possible in substitute to the reclaimed materials from the current wall, these works will deliver a direct heritage benefit.

The damp proof course will be constructed using engineering bricks which will be in keeping with the existing brick character of the wall, and will help to preserve the historic brick courses above.

The wall itself at its earliest dates to the 18th century and is already much altered such that its significance is not so much derived from the physical fabric itself or any recognisable design pretension, but rather its historic association with the Grade II listed 18th century former house. This makes the wall less sensitive to the works proposed, which nevertheless will put the wall into an acceptable state to assist in its longer term preservation and security to the adjoining properties.

### **3.0 Conclusion**

This application proposes the rebuilding of a structurally compromised historic brick wall in poor condition. The works have been informed by a structural survey and specified in the knowledge that the wall has some heritage significance that needs to be sustained.

The works are justified on the basis that they are necessary to stabilise the wall and put it into an improved condition with areas of damage and loss repaired, and the wall will be better able to withstand future weathering effects. On this basis the wall is considered to meet the conservation objectives of Development Management Policy DM06, strategic Core Strategy Policy CS5 and the objectives of Chapter 16 of the NPPF.

Tree works in line with BHA report:

Existing tree stumps adjacent wall to be removed.

T6 & T7 to be removed.

