

PLANNING STATEMENT



**Conversion of Chicken Shed to form Holiday Let and Change of Use
of Land for the Siting of Glamping Pod with Associated Works and
Infrastructure**

At

**Land South Of Storwood Manor
Postern Lane
Storwood
York
YO42 4TG**

On Behalf of Mr & Mrs Richardson

December 2023

**Gallagher
Planning**
A Town and Country
Planning Consultancy



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1.0 Introduction

- 1.1 Gallagher Planning is pleased to submit the planning application which this report accompanies.
- 1.2 The application has been submitted on behalf of Mr & Mrs Richardson and seeks planning permission for the Conversion of a former chicken shed to form a holiday let and the change of use of land for the siting of a glamping pod with associated works and infrastructure.
- 1.3 The site boundary is identified below in Image 1.

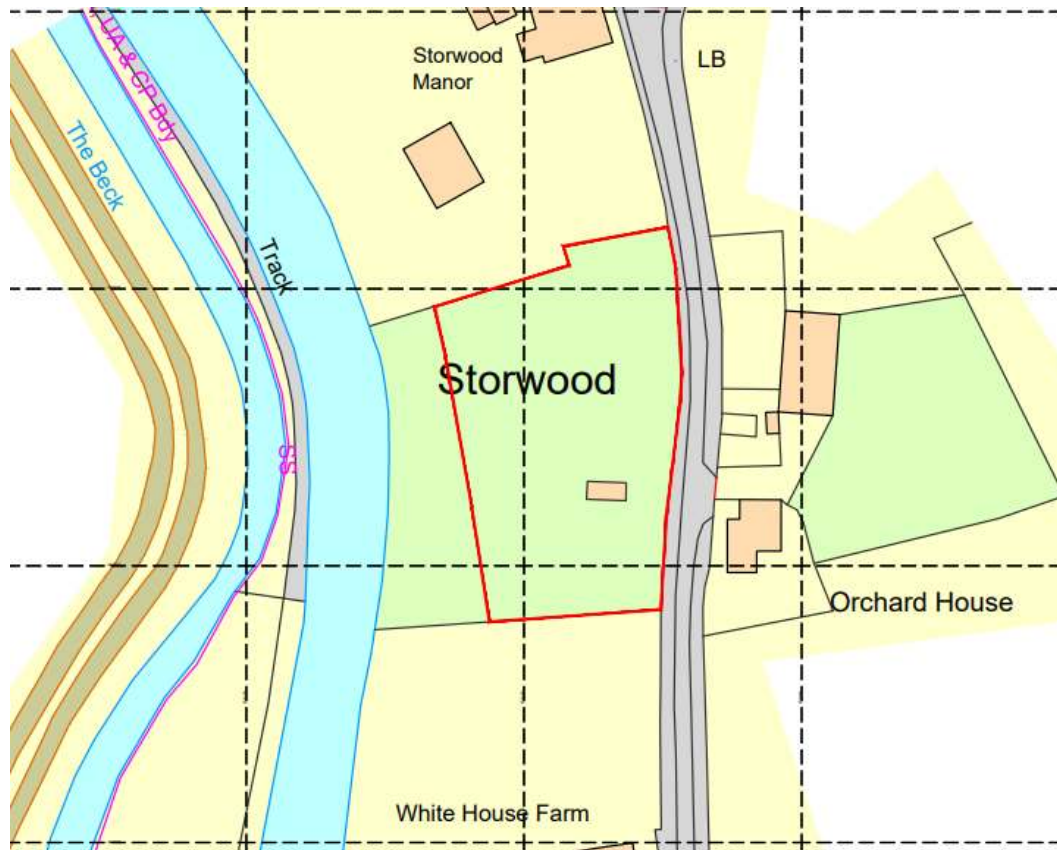


Image 1: Site location plan

- 1.4 The application is also accompanied by a full set of planning drawings and a Structural Report prepared by LHL Group, an ecological impact assessment prepared

by MAB Environment & Ecology Ltd and a Tree and Shrub Care Plan prepared by Bartlett Tree Experts.

2.0 Description of Site and Proposed Development

- 2.1 The application site is located on the western side of Postern Lane, within the hamlet of Storwood. The site is located at approximate National Grid Reference SE 71165 44226.
- 2.2 The site context is shown in the image below. The majority of land around the site including the site itself is agricultural land, with the residential property of Orchard House to the east.



Image 2: Aerial Photograph showing site context
(Source: Google Earth)

- 2.3 The application seeks planning permission for the conversion of the chicken shed on site to form a holiday let and the change of use of the land for the siting of a glamping pod to the north of the chicken shed. Works also proposed are a new free draining gravel access track and turning area with parking spaces for each unit.
- 2.4 The chicken shed it is proposed to convert is shown below in image 3:



Image 3: Existing chicken shed

- 2.5 The proposal is well sited close by to visitor attractions such as the Yorkshire Wolds to the north east and the City of York to the north west.
- 2.6 Image 4 below shows the proposed site layout:

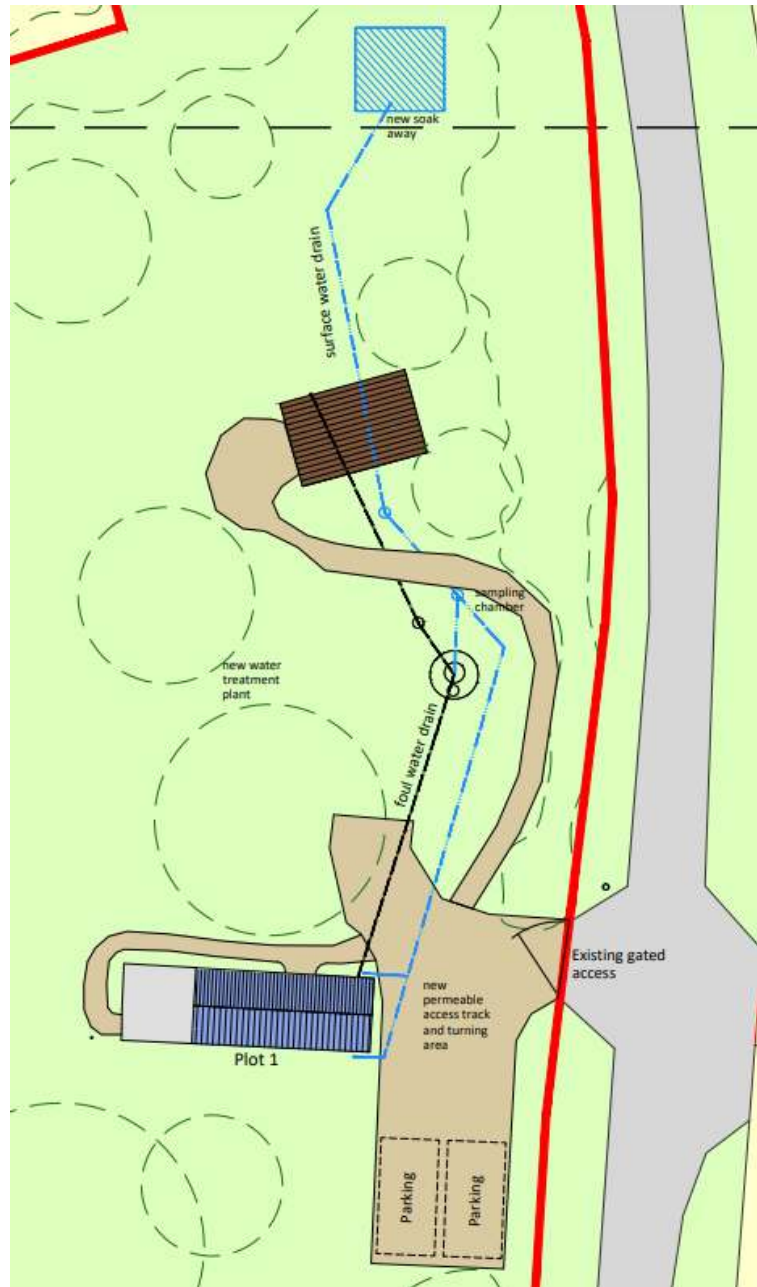


Image 4: Proposed site layout

3.0 Planning History

- 3.1 Based on information available on East Riding of Yorkshire Council's website, there is no planning history on site.

4.0 Planning Policy

Local Planning Policy

4.1 Applications are to be determined in accordance with the policies in the Development Plan. In this case, the Development Plan for the area comprises the East Riding Local Plan Strategy Document (ERLP) adopted in April 2016 and the Allocations Document that was adopted in July 2016.

4.2 The policies most relevant to this proposal are:

- Policy A6 – Vale of York Sub Area - sets out how growth will be delivered in the sub-area and supports appropriate expansion and diversification of the sub-areas key economic sectors, including tourism.
- Policy S4 – Supporting development in Villages and the Countryside – recognises the importance of a working, living and attractive countryside.
- Policy EC2 – Developing and diversifying the visitor economy – supports proposals for tourism development, particularly those which will improve the tourism offer and encourage the growth of the visitor economy.
- Policy ENV1 – Integrating high-quality design – seeks to achieve high-quality design, safeguarding and reflecting the distinctiveness of the local area.
- Policy ENV2 – Promoting a high-quality landscape – seeks to ensure that development proposals are sensitively integrated into the existing landscape setting.

National Planning Policy

4.3 The revised National Planning Policy Framework (NPPF) (July 2021) is a material planning consideration and is the Government's overarching framework for planning policy.

4.4 The NPPF identifies those applications that should be considered in the context in favour of sustainable development (paragraph 10).

- 4.5 Proposals that accord with the development plan should be approved without delay and where it is silent or relevant policies are out of date, permission should be granted unless any adverse effects of doing so would significantly and demonstrably outweigh the benefits when assessed against the NPPF as a whole, or specific policies within the NPPF indicate that development should be restricted (Paragraph 11).
- 4.6 Paragraph 38 of the NPPF states that: *'Local planning authorities should approach decisions on proposed developments in a positive and creative way. They should use the full range of planning tools available....and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision-makers at every level should seek to approve applications for sustainable development where possible.'*
- 4.7 Paragraph 84 c) of the NPPF relates to supporting a prosperous rural economy and states that planning policies and decisions should enable *"sustainable rural tourism and leisure developments which respect the character of the countryside."*
- 4.8 Paragraph 85 recognises that *'sites to meet local business and community needs in rural areas may have to be found adjacent to or beyond existing settlements and in locations that are not well served by public transport...it will be important to ensure that development is sensitive to its surroundings, does not have an unacceptable impact on local roads...sites that are physically well-related to existing settlements should be encouraged where suitable opportunities exist.'*
- 4.9 Paragraph 126 places great importance on the creation of high quality, beautiful and sustainable buildings and places that is fundamental to what the planning and development process should achieve. The Government also seeks to secure high-quality design and a good standard of amenity for all existing and future occupants of buildings (paragraph 130 f).
- 4.10 Paragraph 159 recognises inappropriate development in flood risk areas should be avoided by directing development away from high-risk areas.

5.0 Planning Considerations

Principle of Development

- 5.1 The proposed development site lies outside of any settlement boundary as defined in the East Riding Local Plan. As a result, it lies within the open countryside.
- 5.2 Policy S4 is the over-arching policy in the East Riding for development in villages and countryside. Part C of Policy S4 identifies the types of development that will be supported in the Countryside where proposals respect the intrinsic character of their surroundings. This includes '*sports, equine, recreation, community facilities and tourism development*' outside of development limits.
- 5.3 The NPPF outlines the need to secure economic growth in order to create jobs and prosperity. Significant weight is placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development.
- 5.4 Paragraph 85 of the NPPF recognises that '*sites to meet local business and community needs in rural areas may have to be found adjacent to or beyond existing settlements...it will be important to ensure that development is sensitive to its surroundings...sites that are physically well-related to existing settlements should be encouraged where suitable opportunities exist.*'
- 5.5 Policy EC2 seeks to support proposals for tourism development, particularly those which will improve the tourism offer and encourage the growth of the visitor economy. Paragraph 7.23 of the ERLP acknowledges that it is some tourism developments, including static and touring caravans and holiday lodges (which are defined as accommodation that falls into the size and transportability definitions of a caravan, and are normally a twin or single static caravan clad in timber or timber effect), may be appropriate in a Countryside location.
- 5.6 Policy EC2 states in part:

In the Countryside, proposals for tourism development will be supported where their scale and cumulative impact is appropriate for the location, and they:

- 1. Utilise existing buildings;*
- 2. Involve new, expanded, upgraded or rolled back/re-located static and touring caravan sites;*

- 5.7 As the proposed glamping pod falls within the legal definition of a caravan and the proposal also utilises an existing building, this proposed development would comply with the above policy.
- 5.8 Policy A6 also includes provision for the support of appropriately located developments aimed at promoting tourism in the Yorkshire Wolds and developments which support appropriate expansion and diversification of such sectors should be supported.
- 5.9 The East Riding of Yorkshire Council Guidance Note “Planning for Tourism Accommodation” also recognises that tourism is a key contributor to the rural economy.
- 5.10 The principle of development is considered to be in accordance with the above policies.

Design & Visual Impact

- 5.11 One of the core planning principles of the NPPF is that planning should seek to secure high-quality design and a good standard of amenity for existing and future occupants of land and buildings. National planning policy recognises the role that high-quality design plays in creating sustainable places. Good design is a key aspect of sustainable development and should contribute positively to making places better for people. The NPPF advises that in the assessment of design, consideration where appropriate should be given to layout, form, scale, detailing and materials.
- 5.12 Paragraph 126 of the NPPF states that “*The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and*

development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.”

- 5.13 Policy ENV1 requires all proposals to contribute to safeguarding and respecting the diverse character and appearance of the area through their design, layout, construction and use and has regard to the specific characteristics of the site’s wider context and the character of the surrounding area having an appropriate scale, density, massing, height and material.
- 5.14 The proposed development has been designed by LHL Group. This proposal involves the conversion of an existing chicken shed to form a holiday let and the siting of a glamping pod. The proposal is respectful of its rural surroundings and would not detract from the character of the area.
- 5.15 The existing chicken shed will be converted using timber cladding on the top half of the structure, keeping the existing masonry on the bottom half. This design will allow the structure retain its agricultural character. Image 5 below shows a proposed side elevation of the conversion (numbers correspond to materials labelled on the drawing):

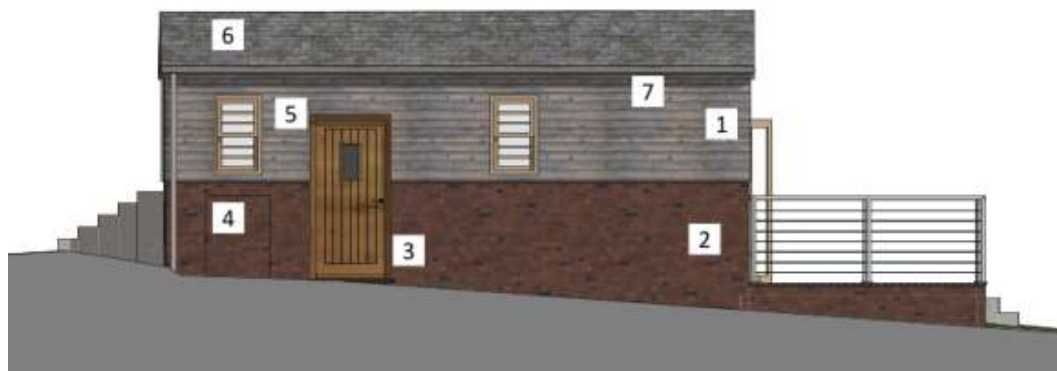


Image 6: Proposed side elevation

- 5.16 Moving on to the glamping pod, this will be clad in matching timber cladding to the proposed holiday let. This is proposed to be sited further north on the site to provide

adequate separation distances between the structures for sufficient privacy. Image 7 below shows the proposed front elevation of the glamping pod:



Image 7: Proposed front elevation of glamping pod

- 5.17 In terms of visual impact, the site is extensively screened by hedgerow and existing trees – all of which are to remain.
- 5.18 Whilst the proposed chicken shed conversion would be visible due to the gap in the hedge for access to the site, this structure is currently visible now. As seen from image 3 in this report, the structure is currently in an unsightly state. This proposal will vastly improve the visual aspect of this structure, whilst retaining its agricultural character.
- 5.19 As a result, the visual impact of the site will be improved, whilst also remaining minimal due to extensive screening.

Access

- 5.20 Policy EC4 of the ERLP (Part C) requires that the number of parking spaces for all new development should reflect, the level of public transport accessibility; the expected car usage on-site; and the most efficient use of space available and promotion of good design.

- 5.21 The submitted plans show that the site will be accessed via existing access to the site from Postern Lane with a proposed new internal access track to be implemented inside the site.
- 5.22 The site offers a parking space for each plot and a turning area situated adjacent to plot 1.
- 5.23 The site can be accessed and egressed safely, as satisfactory visibility can be achieved in both directions.
- 5.24 The proposal would, therefore, comply with the requirements for the proposed development to be safe and accessible to accord with policy EC4 of the ERLP and advice contained within the NPPF.

Impact on Residential Amenity

- 5.25 Relevant policies in respect of the impact of the proposal on residential amenity include Policy ENV1 of the ERLP. The NPPF sets out that development should create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users (paragraph 130). Good design requires that development proposals should ensure no undue adverse impact from overlooking, overshadowing or from over-dominant structures.
- 5.26 The proposal has been designed to ensure that there is a good standard of residential amenity and there is no impact on neighbours through noise, overlooking or overshadowing. The nearest residential property is located to the east of the site across Postern Lane. The development is adequately screened due to existing screening which is proposed to remain.
- 5.27 There is sufficient separation and screening between the proposed use and neighbouring residential properties to ensure that the impacts on these neighbouring properties are unlikely to adversely affect their current amenities. The proposed development would, therefore, comply with Policy ENV1 of the ERLP and guidance set out in the NPPF.

Flood Risk

- 5.28 Policy ENV6 of the ERLP seeks to manage environmental hazards such as flood risk, coastal change, groundwater pollution and other forms of pollution to ensure that development does not result in unacceptable consequences to its users, the wider community and the environment.
- 5.29 The National Planning Policy Framework advises that development should be located in areas where there is the lowest probability of flooding. The site is situated in Flood Risk Zone 1 (see Image 8 below) where flooding from rivers and the sea is very unlikely. There is less than a 0.1% chance of flooding each year.

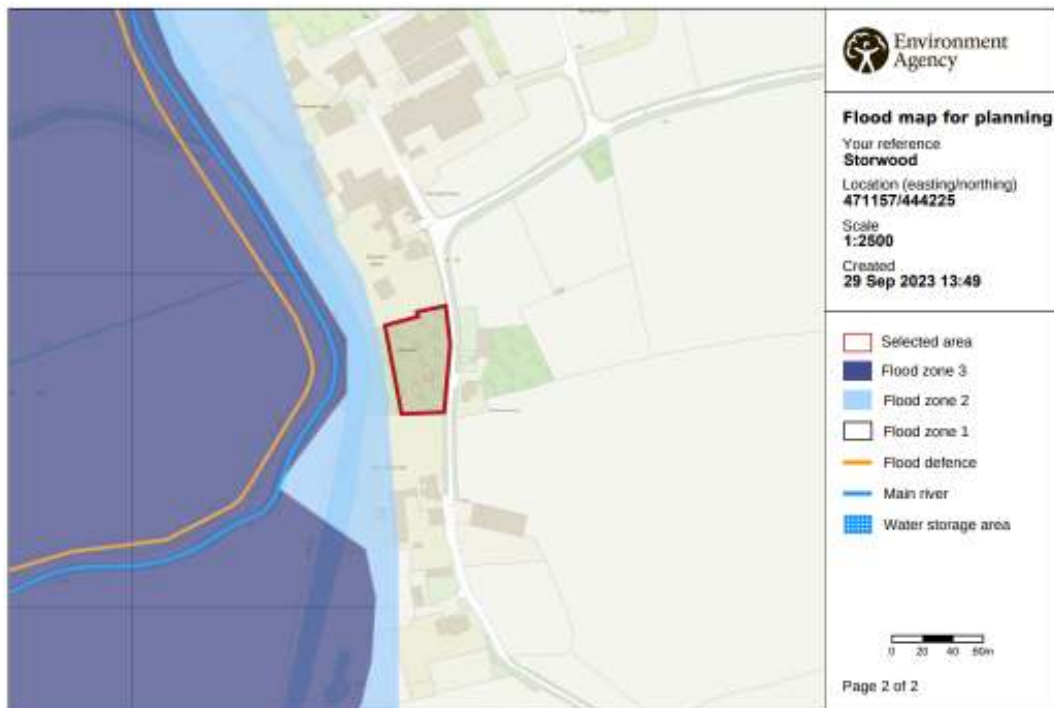


Image 8: Flood map for planning, Storwood (Source: Environment Agency)

Drainage

- 5.30 Foul drainage from both plots is to be connected to a new water treatment plant (as shown on proposed site layout). Surface water will be directed to a new soakaway to the north of the site.

Ecology

- 5.31 This application is accompanied by an Ecological Impact Assessment prepared by MAB Environment & Ecology. This concludes by suggesting mitigation and enhancement measures that will mitigate and enhance this developments impact on local biodiversity.

Structural Report

- 5.32 This application is also accompanied by a structural report on the existing chicken shed prepared by LHL Group.

- 5.33 This report concludes:

The building superstructure is dilapidated but the construction is considered capable of repair to sustaining the loads from the working construction details. The details show an enhanced level of thermal efficiency beyond the minimum requirements of current regulatory standards.

We consider the building superstructure suitable for conversion with substantial demolition or reconstruction.

6.0 Conclusion

- 6.1 The principle of development should be considered acceptable as per policy S4. In addition, policy EC2 seeks to support proposals for tourism development, particularly those which will improve the tourism offer and encourage the growth of the visitor economy.
- 6.2 The NPPF encourages sustainable rural tourism. The proposal will provide additional visitor accommodation which is supported by local and national policy and the East Riding Tourism Accommodation Studies.
- 6.3 The proposal is respectful of its rural surroundings and would not detract from the character of the area.
- 6.4 The proposed scheme will not have an adverse effect on the residential amenity of surrounding neighbours.
- 6.5 The NPPF introduces a presumption in favour of sustainable development, and this is currently a key material consideration in planning decisions. There are no significant adverse planning impacts in this case that would outweigh the benefits of this proposal to justify the refusal of planning permission. The policies in the ERLP are consistent with the planning merits of this proposal.
- 6.6 In summary, it has been demonstrated that there are no policies or other material considerations which would suggest that planning permission should not be granted.
- 6.7 We confirm that we represent the applicant with respect to this planning application. We will be in touch with the appointed planning officer in the coming weeks to discuss the proposed development.