

Design and Access Statement including Heritage Report and Construction Method Statement

Date: 18-01-2024
Client: J Roberts
Project: Proposed Replacement Boundary Wall
Project Address: Lansdowne House, 11 Cross Street, Beverley, East Riding Of Yorkshire, HU17 9AX,

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1.0 Introduction

- 1.1 This statement has been prepared to support the application submitted for Listed Building Consent to construct a replacement wall within the curtilage of the Grade II Listed Building.
- 1.2 Listing Entry for the development site is 1084088.
- 1.3 The grade of the Listing is Grade II.
- 1.4 The Listing was first issued in 01-03-1950 with amendments 01-09-1988 and 30-07- 2015.
- 1.5 List Entry Name: 9,10,11 and 12, Cross Street.
- 1.6 The following is an extract from the listing for the property.
- 1.7 Circa 1834, by E Page. Consists of house and 2 supporting blocks as now appearing as 1 composition and forms an important element in this street. The house (No. 11) is faced in painted stucco, 2 storeys, 3 windows wide with recessed centre. The windows are sash type, with glazing bars, excepting that the 1st floor central one has marginal panes to casements. 2 fluted Greek Doric columns project slightly in front of the centre recess, and support a plain entablature over which is a cast- iron balcony and a window with consoles and enriched cornice. Inside the small ground floor portico is a 6-panel door with fanlight. Moulded architraves enclose the ground floor windows with panels under, and extend down to the projecting base of the house. Channel in wall under eaves, which have wide projection with pairs of light brackets at intervals. Slate roof, hipped of low pitch. The house is connected to the side wings by screen walls which have arched openings and 6-panel doors, over which are projecting tablets, vertically fluted string courses and panelled parapets. The remainder of the screen has a curved ramp to a lower level in each instance, with a blocked yard doorway to the street frontage. The north side block (No. 9) in white brick, 1 storey, centre 6-panel door with fanlight, 2 windows with stone heads and cills, wood spout on widely spaced block brackets. Low pitch slate roof hipped. The south side block (No.12) is identical except its windows and doorway to the street frontage are blind. No.10 forms a two storey service range that extends from the north side of the main house, to the rear of the north side block. Like the side block, this is of white brick with multi-paned sash windows with stone lintels and cills.
- 1.8 The site also falls under the Beverley Area 6 Guildhall Conservation Area and Described as below.
- 1.9 This civic area elevates Beverley above other historic market towns. Its architecture is grander, and less typical of the East Riding vernacular. It uses more expensive materials – more stone dressings and has consciously used the fashionable styles of the eras when these buildings were erected. With the exception of its fringe areas, Guildhall has larger plot sizes and more space around its buildings allowing for more trees and green spaces than elsewhere in the core of the town. It seems to move at a different beat from the commercial heart of the town with services being accessed at varying locations. It also has some fine examples of Pre-Victorian Greek Revival style – ERYC Beverley Area 6 – Guildhall Appraisal Listing Below.

1.10 During the implementation of approved planning application 21/02844/PLF the contractor alerted the Building Control Inspector to the condition of the garden wall running along Well Lane. Structural Engineers from GTCE attended site and in agreement with the Local Authority the wall was demolished due to its condition and the danger the wall posed to public safety under the dangerous structures act.

1.11 The proposals covered in this document are supporting information the drawings produced by ADP for the reconstruction of a wall to replace the garden wall demolished.

2.0 Existing Wall Photographs

2.1 Photographs taken Prior to demolition during site clearance.

























2.0 Existing Wall Demolition

- 2.1 The existing wall has been demolished to below ground level to what has been determined as a solid foundation for rebuilding of the wall.
- 2.2 The wall as it is, has been altered over its life and is comprised of 2" bricks mainly especially on the Well Lane Elevation with the upper courses being 3" bricks. 3" bricks have been used to patch and strengthen the wall at points of its life.
- 2.3 The 3" bricks make up the upper 5-8 courses of brickwork and patching and repairs along the length of the wall to the garden side.
- 2.4 The top of the wall was dressed in a saddleback brick capping which appears to correspond to a later addition to the wall and it is not clear what date these works took place as either an early 20th century addition or a later 20th century repair along with the buttresses.
- 2.5 Currently the wall has been dismantled by hand retaining as many of the existing bricks as possible for reuse on-site in constructing the replacement boundary wall.
- 2.6 however the number of retained bricks are limited and do not allow for complete reconstruction of the wall in the original materials.
- 2.7 The original wall has an ad-hoc coursing pattern it was not regular in anyway; the headers didn't run through the wall and were only half headers.
- 2.8 The foundation of the wall is circa 1200mm below external ground and appears to be Elizabethan in date from information provided by the contractors.
- 2.9 The 1200-1500mm section of wall to right of the left-hand gates is off a later date and has a 20th century concrete capping.

3.0 Reconstruction Proposals

- 3.1 The reconstruction proposals have been submitted in the associated drawings for this application.
- 3.2 The design proposals retain the elements set out in the previously approved scheme, including, the new automatic gates, timber imitation gates between the two piers adjacent to the replacement garage under construction.
- 3.3 The main principles of the previous approval still stand and are incorporated into the reconstruction of the garden wall.
- 3.4 External Leaf of the wall (Well Lane Elevation) to be constructed in 2" reclaimed bricks from site with purchased 2" bricks to match mixed in to make up numbers as required.
- 3.5 Lime mortar NHL 3.5 to be used throughout the development.
- 3.6 Jointing to be bagged joints, giving the appearance of the wall being repointed rather than reconstructed.
- 3.7 Half bricks to be mixed into the coursing to randomise and pattern of the coursing as per the photographs.
- 3.8 Internal leaf of the wall and piers to be constructed in brickwork to match the new garage with lime mortar NHL 3.5 and bagged joints.
- 3.9 The two leaves of the wall and piers are to be joined by wire wall ties as per the details provided with the application to provide stability and strength.
- 3.10 Rather than reinstate the 20th century saddleback brick capping, it is proposed to cap the wall with a reclaimed sandstone flat capping. This will tie in with the existing pier capping and finials. Whilst not a great example the retained section of wall closer to the buildings has a 20th century concrete capping which again would significantly increase the uniformity of the overall wall.
- 3.11 The Section of wall between the two piers opposite the replacement garage has a fake gate on a wall infill section as per the previously approved scheme 21/02844/PLF, this has been retained as part of this scheme and our suggestion is to reuse the reclaimed 3" bricks in the construction of this section of the wall. This primarily because we are reusing materials from the site to modify an existing opening and it conforms with the approved scheme.
- 3.12 The proposed scheme would ensure the wall from the external perspective will look of the same age and quality by reusing the reclaimed 2" bricks for its construction, with lime mortar, bagged joints. The vegetation growing over the wall is prior to 2008 and given this has obscured the saddleback bricks to the top of the main wall section with only the 20th century concrete capping being visible along with sandstone capping and finial visible. Replacement of the 3" saddleback bricks with the sandstone capping is considered to be appropriate whilst not original to the wall at the time of listing.

- 3.13 The 3" saddleback bricks are considered not to be appropriate for finishing the 2" brick wall and replicating the mix of 2" and 3" is not considered to be suitable especially as this has been obscured by vegetation for a long period of time.

4.0 Reconstruction Method Statement

- 4.1 The reconstruction proposals have been submitted in the associated drawings for this application.
- 4.2 Main section of wall between the two gates to be constructed in two leaves.
- 4.3 External Leaf 2" reclaimed bricks from the existing wall.
- 4.4 Internal Leaf 65mm bricks to match garage construction.
- 4.5 Lime Mortar NHL 3.5 to be used throughout the development.
- 4.6 All joints to be bagged.
- 4.7 Stainless steel wall ties to be installed at maximum 750mm C/C horizontally and 450mm C/C vertically.
- 4.8 New foundations to be installed and confirmed on-site for all piers in the wall.
The main wall to be constructed on the existing wall and foundations, building control and structural engineer to confirm on-site.
- 4.9 The section of wall adjacent to the new garage and between the two piers to be constructed in 3" reclaimed brickwork and dressed with imitation gates to comply with the previously approved scheme under 21/02844/PLF.
- 4.10 Lime Mortar NHL 3.5 to be used throughout the development. All joints to be bagged.
- 4.11 Reclaimed Sandstone capping to be installed to wall with hidden mechanical fixings to ensure stability and to prevent water ingress into the centre of the wall between the two leaves.

5.0 Conclusion

- 5.1 The proposed development is considered to be appropriate and in line with good practice guidelines as we are reconstructing the wall in materials salvaged from the original wall. Whilst there are not enough materials to allow for a full reconstruction of the wall with 2" bricks to both sides. Given the garden wall has been altered and modified considerably over its life and includes bricks of different dimensions, periods and provinces'. Unifying the Well lane elevations is paramount by re-establishing this boundary line.
- 5.2 The garden side of the wall was at best patchy and at worst ramshackled together to prevent the wall from collapsing with the vegetation masking the extent of the issues. The use of bricks to match the new garage with new piers will unify the garden side of the wall dating the reconstruction of the wall to the current period.
- 5.3 The wall had to be demolished it was unsafe, the boundary line needs to be reinstated the proposal allows for the reinstatement of a wall constructed of the original materials and elements in keeping with the conservation area and setting of a Grade II Listed Building.