

## Supporting Planning Statement

### HOUSEHOLDER PLANNING APPLICATION

Householder application for the erection of single storey rear extension; front porch; increase in roof height to accommodate loft conversion, incorporating 6 dormer windows and 6 skylight windows. Alterations to fenestrations.

Camps Hill Bungalow North Road Hertford Hertfordshire SG14 1NE



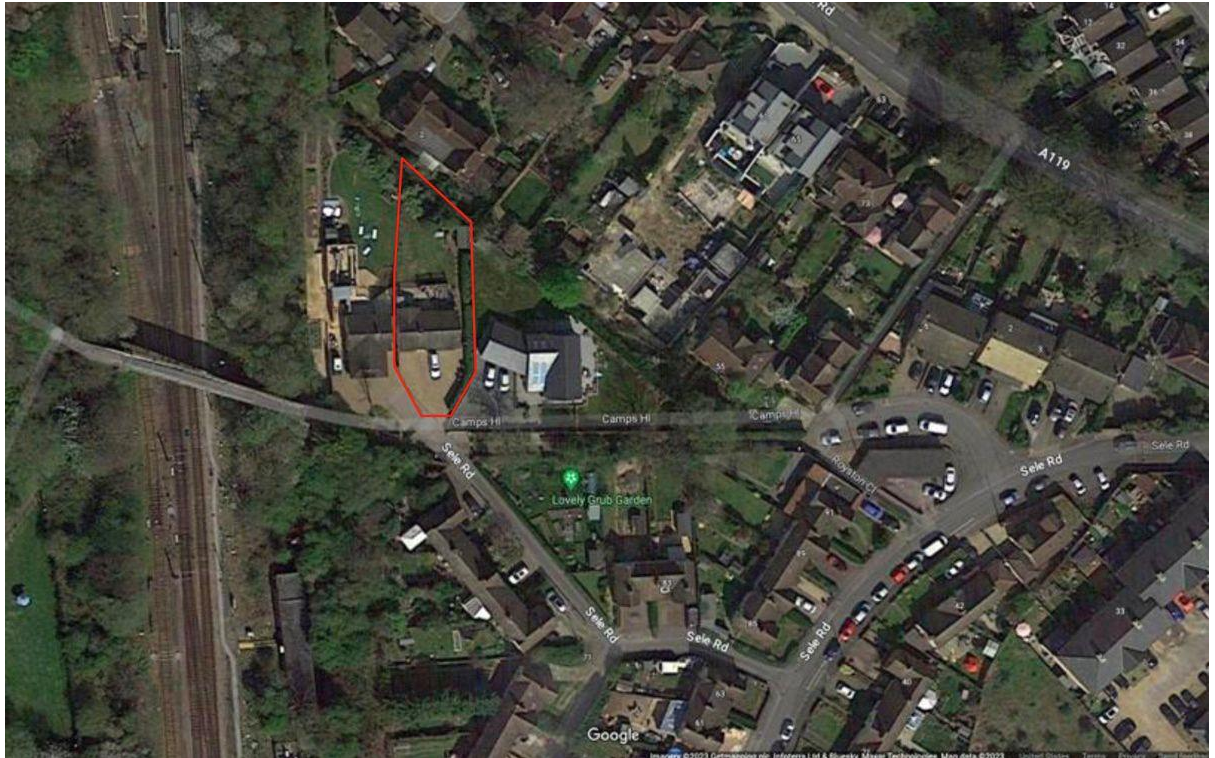
*Figure 1.* Google Ariel View of the site outlined in Red.

## 1. INTRODUCTION

- 1.1 The following planning statement relates to a householder planning application for the erection of a single storey rear extension; front porch; increase in roof height to accommodate loft conversion, incorporating 6 dormer windows and 6 skylight windows and alterations to fenestrations to the dwelling at Camps Hill Bungalow, North Road, Hertford. The planning statement considers the development site and the immediate surrounding area. The statement will also consider the site's planning history, and relevant national and local planning policies, including any planning material considerations including the planning history related to the most recent refusal and dismissed appeal.

## 2.0 SITE CONTEXT AND HISTORY

- 2.1 The development site is currently occupied a single storey detached bungalow within a residential area along Camps Hill Road, Hertford. The surrounding area is characterised by other residential properties of different architectural merit, storey sizes and external finishes. However, it is noted that most of the properties in the immediate area have pitched roof elements.
- 2.2 The dwelling is located and nestled in at the bottom end of Camps Hill Road with limited views from the any nearby vantage points as per *Figure 2*. below;



**Figure 2.** Development site highlighted in red.

- 2.3 Historically, the host dwelling used to be attached to the immediate adjacent neighbouring property at Hillside and the two buildings once formed one larger dwelling. However, the host dwelling and Hillside were separated into two dwellings under application; 3/18/1836/FUL.
- 2.4 3/23/0146/HH – Erection of single storey rear extension; front extension; increase in roof height to accommodate loft conversion, incorporating 5 dormer windows and two skylight windows. Alterations to front and side fenestrations – Refused and Dismissed on Appeal
- 2.5 The above application was refused the 31st of March 2023 based on the following reasons;
  - i. *The proposed changes to the dwelling would fail to represent good design or subservience being unduly large and overbearing on that of the existing dwelling resulting in no resemblance to the original property. Moreover, these changes would be highly visible to the public realm. The proposal therefore fails to comply with Policies HOU11 and DES4 of the East Herts District Plan 2018.*
  - ii. *The proposal would result in an undue loss of amenity in terms of overlooking and a loss of privacy, overshadowing, loss of light and an undue tunnelling effect to the property known as Hillside to the west*

*of the application site. As such the application is not considered to comply with Policy DES4 (c) of the East Herts District Plan 2018.*

*iii. The proposal has failed to include details of the western elevation of the site, there is therefore insufficient information to make an accurate decision on this proposal in terms of assessing amenity issues to Hillside and the overall design of the scheme.*

2.6 The subsequent appeal was dismissed on the 28<sup>th</sup> of September 2023 and the reasons for the dismissal are summarised below;

-Extension by virtue of the proposed depth and height would introduce a bulky roof from of an uncharacteristic design, which, when viewed in the street scene and along the public footpath of Camps Hill, would appear as an incongruous addition.

-The proposed flank wall by virtue of its height, depth and positioning would introduce a dominant feature very close to rear facing windows and the patio area of Hillside causing an overbearing and overshadowing impacts which would harm the living conditions of the occupiers of hillside.

### 3.0 DESCRIPTION OF PROPOSAL

3.1 Erection of a single storey rear extension; front porch; increase in roof height to accommodate loft conversion, incorporating 6 dormer windows and two skylight windows and alterations to fenestrations.

### 4.0 POLICY CONTEXT

#### 4.1 *Character and appearance*

4.2 Paragraph 135 of the NPPF (2023) states developments should function well, add overall quality to the area, be visually attractive and sympathetic to local character and history, whilst not preventing or discouraging appropriate innovation.

- 4.3 Policy DES4 requires that all development proposals must be of a high standard of design and layout to reflect and promote local distinctiveness. Development proposals should respect or improve upon the character of the site and the surrounding area, in terms of its scale, height, massing (volume, shape), orientation, siting, layout, density, building materials landscaping, environmental assets, and design features, having due regard to the design opportunities and constraints of a site.
- 4.4 Policy HOU11 of the East Herts District Plan states that extensions and alterations to dwellings should;
- (a) be of a size, scale, mass, form, siting, design, and materials of construction that are appropriate to the character, appearance and setting of the existing dwelling and/or the surrounding area, and extensions should generally appear as a subservient addition to the dwelling;
  - (c) flat roofed extensions, except those on the ground floor, will be refused as visually undesirable other than in those exceptional circumstances where the character of the original dwelling allows a flat-roofed design to be appropriately incorporated, or it represents a sustainable or innovative design approach;
  - (d) roof dormers may be acceptable if appropriate to the design and character of the dwelling and its surroundings. Dormers should generally be of limited extent and modest proportions, so as not to dominate the existing roof form.
- 4.5 The inspector in the appeal decision notice noted that; whilst the design Policy HOU11 and DES4 promote schemes to generally appear as a subservient addition to an existing dwelling, *'it seems that in schemes such as that proposed, whereby the whole dwelling is effectively being remodelled, the issue of 'subserviency' has little general relevance'*.
- 4.6 The above is particularly relevant in this instance as it would be unreasonable to expect habitable space at first floor level to be created within the existing single storey bungalow without the existing dwelling being remodelled. Therefore, the applicant agrees with the inspector's conclusion that the issue of subserviency has little general relevance for the subject scheme. Notwithstanding this it is still acknowledged that the predominant character of the dwelling as a bungalow should be retained, and attention should be paid to ensure that the resultant dwelling would not detract from the context of the wider area by introducing design elements

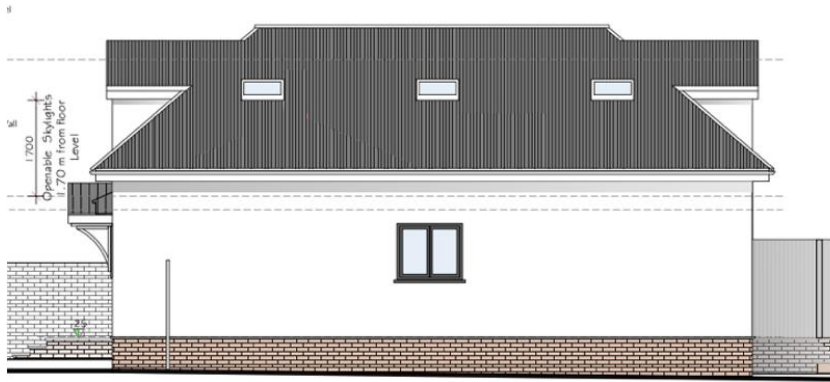
which conform to the character and appearance of the host dwelling and wider area.

- 4.7 In the appeal decision the inspector concluded that the extension by virtue of the proposed depth and height would introduce a bulky roof form of an uncharacteristic design, which, when viewed in the street scene and along the public footpath of Camps Hill, would appear as an incongruous addition. However, the inspector did not rule out of the introduction of a crown roof, instead the inspector acknowledged the following in terms of the crown roof's visibility from the front elevation;

*'Whilst viewing the property 'face on' the increase in roof height and crown roof shape would not be particularly noticeable'*

- 4.8 The above is largely due to the fact that the front elevation of the previous scheme was primarily characterised by a pitched roof with the crown roof set back and centrally within the resultant dwelling. The same design concept has been introduced within the proposed development for the front, side, and rear elevations. As highlighted in **Figure 3 and 4** below, the introduction of pitched roof elements along the side elevations, in particular the east side elevation, will diminish the visibility/how noticeable the crown roof would be from the public footpath of Camps Hill.



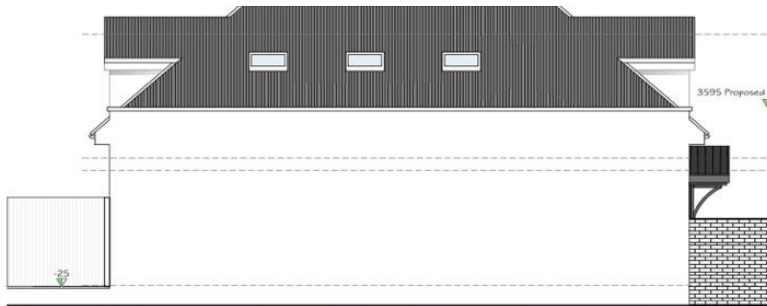


7 Proposed Side Elevation  
East View Facade

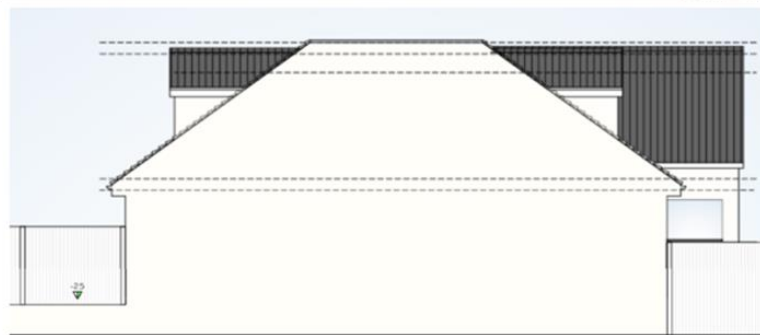


4 Proposed Side Elevation  
East View Facade

**Figure 3.** Proposed (top) and refused (bottom) east elevations



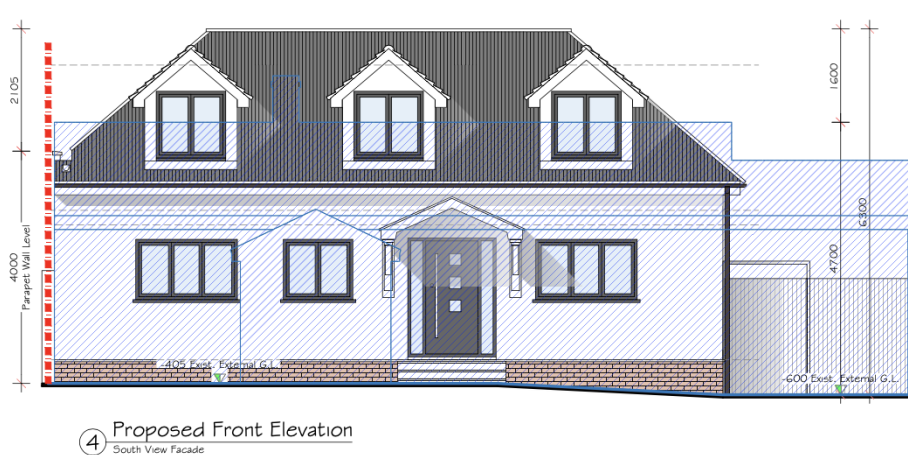
B Proposed Side Elevation  
West View Facade



**Figure 4.** Proposed (top) and refused (bottom) west elevations

- 4.9 The above illustrations highlight a comparison of the proposed and refused east and west side elevations. The proposed east and west side elevations introduce dummy pitched roof elements which conceals and significantly diminishes the prominence of the centred crown roof which would be in contrast to the refused scheme which depicted a solid wall with a clear flat crown top. Furthermore, the previous front gable extension has been omitted, (replaced with a modest front porch) reducing the bulk attributed to the scheme as a whole and thus introducing a more sympathetic design when viewed from the east and west side elevations.
- 4.10 Further to the above, introduction of primary pitched roof elements along the front and side elevations of the resultant dwelling which conceal the crown roof will relate well and positively respond with the roof designs of the immediate neighbouring properties along Hillside and Arrowhead (which have been noted to be pitched roofs in the inspector's appeal decision) , the dwelling will be viewed alongside. Lastly, the inspector also noted that the rear extension at Hillside which is visible within the wider area and has a ridge higher than its host dwelling (thus not subservient) is an acceptable feature due to its pitched roof design which mitigates any perceived harm to the host dwelling and wider area. Therefore, it is deemed reasonable for the same approach and viewpoint to be adopted in this instance in relation to the subserviency issue which is mitigated by the careful and considerate design of the remodelled resultant dwelling.
- 4.11 It is also worth noting that the proposed development would not add any width to host dwelling and the resultant development will retain its visual buffer and spacing with the property at Arrowhead. In contrast the approved CLPO application under ref; 3/23/0830/CLPO, if implemented would increase the width of the host dwelling right up to the boundary mutually shared with the property at Arrowhead as depicted in **Figure 5** below.





**Figure 5.** Front elevation imposition of approved CLPO outlined in shaded blue relative to the proposed scheme.

4.12 Overall, the refused scheme has been revised and remodelled to reflect a design that respects the existing dwelling and the wider area, maintaining the existing visual buffer and spacing with neighbouring properties. The previous incongruous front extension has been omitted and the solid side flank walls depicted by a clear flat crown top have been replaced with pitched roof elements which reduce the bulk and massing of the resultant dwelling despite the height and depth increase. Therefore, the revised scheme is considered to be now acceptable in design terms.

#### 4.13 **Neighbouring amenities**

4.14 Policy DES4 of the East Herts District Plan states developments should avoid significant detrimental impacts on the amenity of occupiers of neighbouring properties and land and ensure that their environments are not harmed by noise and disturbance or by inadequate daylight, privacy, or overshadowing.

4.15 In regard to the 'tunnelling effect' mentioned by the council in the officer's report for the previous refusal, the inspector in the appeal decision concluded that this would be limited given the separation distance of the proposed extension from the existing rear extension to Hillside. The applicant agrees with the inspector's views on this considering that the

proposed extensions works will have the same depth, separation distance and similar height as the refused scheme. Therefore, the proposed development is not considered to cause a loss of light to the rear extension at Hillside caused by an undue tunnelling effect.

- 4.16 Further to the above, the proposed extension will introduce the same number of dormers within the same position as the refused scheme and the inspector concluded that;

*'In terms of any potential loss of privacy, whilst the proposal would result in new first floor windows, this would not introduce a significantly greater level of overlooking than currently exists'*

- 4.17 Lastly, the proposed development will not introduce first-floor side flank windows and the proposed rooflights along the side roof slopes will be at an acute angle which will obscure any views into the adjacent neighbouring plots.

- 4.18 Based on the assessments in sections 4.15 and 4.16 of this report the proposed development is not considered to cause any loss privacy and outlook issues to the adjacent neighbouring properties.

- 4.19 The inspector concluded the statement below in terms of the refused development's impact to the property at Hillside in terms of overshadowing and overbearing impacts;

*'The proposal would result in the flank elevation of the dwelling on the appeal site being increased in depth by around 4 metres and a much larger flank gable wall introduced on the boundary. Whilst Hillside is set a short distance from the common boundary the proposed flank wall would nevertheless introduce a dominating feature very close to rear facing windows and the patio area. The pergola would have the effect of somewhat reducing the light received to the window it adjoins, but it appeared to have a translucent roof to minimise these impacts. Due to its position, height, and solid nature the flank wall would be likely to have a much greater overbearing impact and reduce the amount of light received.'*

*Overall, I find that the proposal would have a harmful effect on the living conditions of the occupiers of Hillside in terms of overshadowing and overbearing impact.'*

4.20 As highlighted in **Figure 4** (under section 4.8) **and Figure 6**, below; the previously proposed solid flank wall which faces the rear facing windows and patio area at Hillside under the current scheme has been replaced with a pitched roof (with a modest 4 metre parapet wall/eaves) which slopes away from the subject windows and patio area at Hillside. Therefore, mitigating the overshadowing and overbeating effects the proposal would have on Hillside.

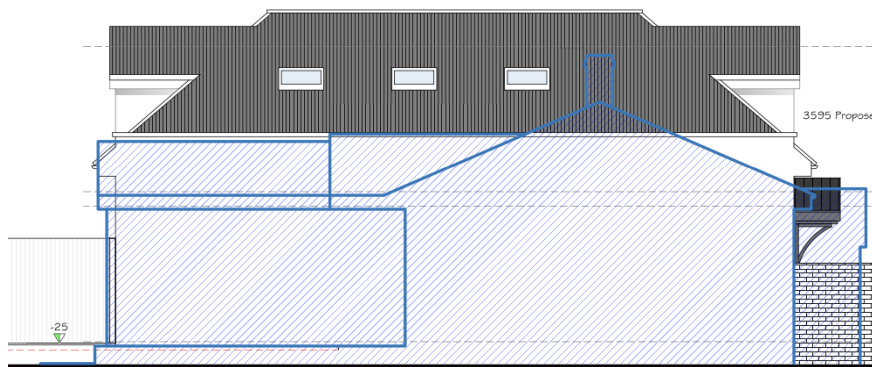


**Figure 6.** Proposed (top) and refused (bottom) rear elevations

4.21 Furthermore, the inspector already acknowledged that despite the pergola at Hillside's translucent roof, it would still have an effect of reducing light received to the rear facing window at Hillside it adjoins. Therefore, the

proposed development with a roof sloping away from the subject rear window and patio at Hillside is not considered to cause a significant overshadowing and overbearing impacts to the property at Hillside, considering the existing situation at this property.

- 4.22 Lastly, it should also be noted that there is an approved certificate of lawfulness under ref; 3/23/0830/CLPO for a rear extension with the same depth as the proposed extension and also located in the same position as the proposed extension relative to the rear facing windows and patio at Hillside as depicted in **Figure 7**. Whilst the height of the CLPO extension is lower than that of the proposed rear extension, the eaves of the CLPO rear extension would be higher than the pergola's height. Therefore, it could be argued that the subject proposal would not have a materially greater impact on the amenities of the property at Hillside in terms of overshadowing and overbearing issues to the rear facing window and patio area at this property than the CLPO rear extension, which is a fall-back position for the applicant.



**Figure 7.** West elevation (adjacent to property at Hillside) imposition of approved CLPO outlined in shaded blue relative to the proposed scheme.

- 4.23 Overall, the revised development based on the above considerations is not deemed to cause any amenity issues to the immediate neighbouring properties in terms of loss of privacy, light/outlook, and any overbearing/overshadowing issues.

#### 4.23 ***Other material considerations***

4.24 The proposed development will result in a 4 bedroomed dwelling which requires at least 3 parking spaces. No issues were raised in the previous refusal ref; 3/23/O146/HH in terms of the site's capacity to accommodate 3 parking spaces.

4.25 Furthermore, the proposal would drastically improve the function of the dwelling into a family home in line with the requirements of the NPPF (2023) in terms of meeting the needs of different groups in the community. Furthermore, the proposal would create a home office which facilitates remote working, mitigating the need for office commutes which has indirect environmental benefits.

## 5.0 CONCLUSION

5.1 The current proposal has been revised relative to the previously refused scheme to incorporate a design that is more respectful the host dwelling and the wider area. Therefore, the proposal is now considered to be a positive addition to the development site and immediate area. Furthermore, the revised proposal has also been amended in its design to mitigate any harm to the amenities of the neighbouring properties. Therefore, based on this it is respectfully requested that planning permission is granted.