

14 ACACIA GARDENS, ST JOHN'S WOOD, NW8 6AH

A_56GL_5000

SUPPORTING DOCUMENT: REAR ROOFLIGHTS AND NEW SINGLE STOREY REAR EXTENSION

Rev C

Issue Date: 25th January 2024

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Executive Summary

This document has been prepared in support of the planning application for new rear elevation rooflights and a single storey rear extension at 14 Acacia Gardens, NW8 6AH.

Location plan



Revisions

Rev	Date	Status
A	17.01.24	Updated with client comments (email 17.01.24)
B	22.01.24	Updated in line with design change
C	25.01.24	Planning application issue

1.0 Site Appraisal & Local Context

14 Acacia Gardens is a mid-terraced house situated close to St John's Wood underground station.

14 Acacia Gardens is within the St John's Wood Conservation Area.

A conservation area is defined as:

'areas of special architectural or historic interest the character or appearance of which it is desirable to preserve or enhance'

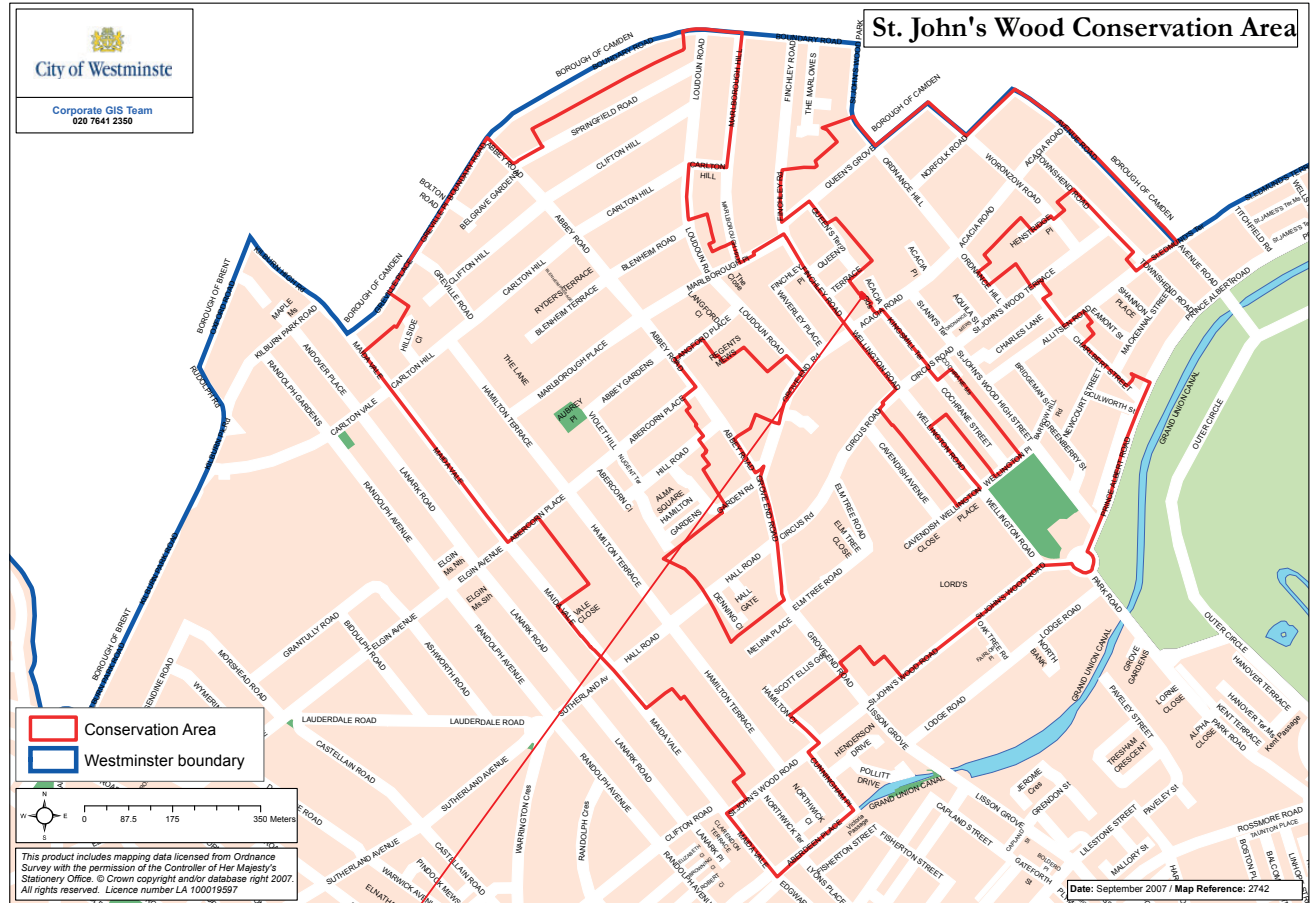
There are approximately 10,000 conservation areas in England.

LISTED AND LOCALLY LISTED BUILDINGS

There are numerous listed buildings within the St John's Wood Conservation Area. 14 Acacia Gardens is not listed. Likewise, it is also not locally listed. It is described as an Unlisted Building of Merit in the St John's Wood Conservation Area Audit (figure 57), however.

ARTICLE 4 DIRECTIONS

There are also no Article 4 directions in place to cover 14 Acacia Gardens.



14 Acacia Gardens

ST JOHN'S WOOD CONSERVATION AREA

Conservation Area boundary within red outline

Westminster boundary within blue outline

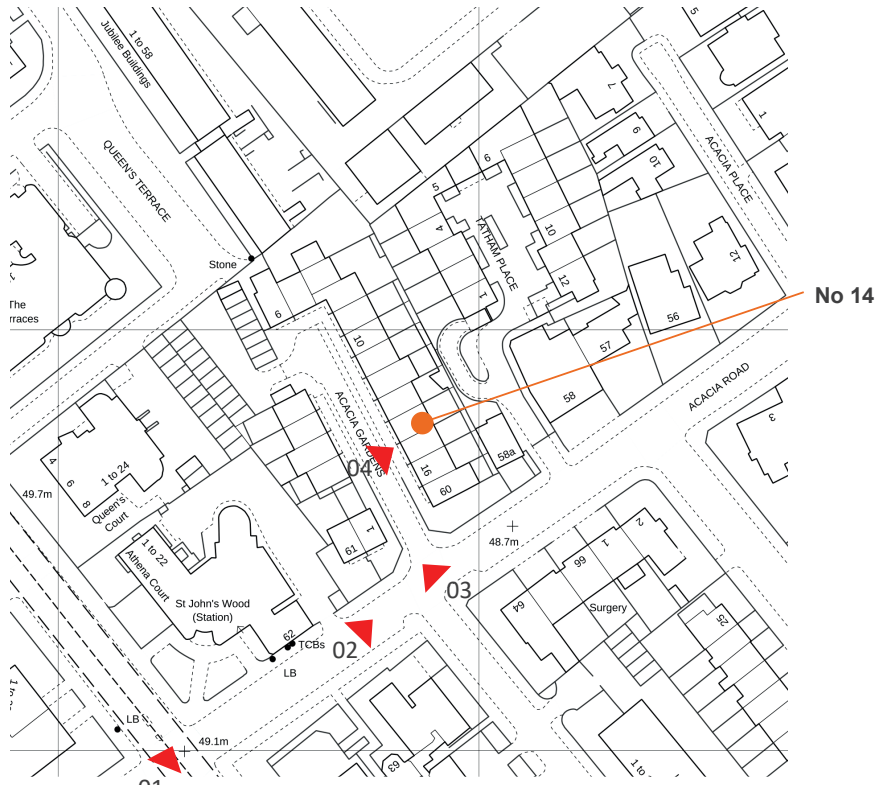
Extracted from: St John's Wood Conservation Audit SPD 2008.



01 St John's Wood Underground Station: Acacia Gardens just visible to the right of the underground station



02 Acacia Road: The start of the Acacia Gardens cul de sac is visible on the left



No 14

LOCAL CONTEXT

Extracted from: OS map of NW8 6AH



03 Acacia Gardens junction with Acacia Road: No14 Acacia Gardens is part of the right hand side row of terraces



04 No14 Acacia Gardens: shown within red box

2.0 Appearance and Design Proposal

14 Acacia Gardens is a 3-storey mid-terraced, late 20th Century house. It is set within a small cul de sac of similarly styled houses, all of which are terraced. The front elevations are consistent with each other, however the rear elevations are where modifications have taken place. The front elevations of the houses are characterised by the linear metal, balustraded, covered balconies running at first floor level. The houses are brick built, with painted timber casement windows and tiled roofs. The roof of the main house is pitched parallel to Acacia Gardens and is tiled in concrete tiles. Access to the house is directly off Acacia Gardens cul de sac via a ground floor entrance with an additional front external bin store, concealed by metal balustrades atop a part-height brick wall. The rear of the property facing the garden is orientated North-East and overlooks Tatham Place offices and residential houses.

PROPOSAL

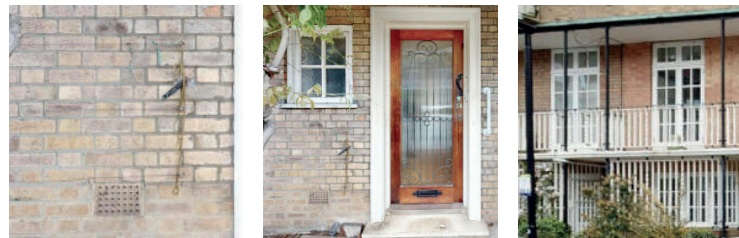
The proposal seeks to add new rooflights to the rear of the property in the existing main house pitched roof. These will sit flush with the surrounding tiles and provide much needed daylight into the central stairwell of the house. In addition, a new single storey, flat roofed, rear extension will extend the current ground floor dining room and enable the owners to create a designated ground floor study and a combined kitchen / dining space at the rear of the property (refer to the drawings). Whilst carrying out these works, the owners will be refurbishing the rooms internally, installing new painted timber double glazed windows to match the existing and improving the sound attenuation between them and their neighbours. Materials have been carefully selected to be solid, truthful, have longevity and to complement and respect the materials and the colours of the existing house and it's setting. Under the proposals, the external walls of the extension will match the existing bricks, and have a high level ppc metal fascia to complement the bricks. The rear elevation will be broken down into an area for sliding doors and a separate oriel window for all season connection to the garden.



14 ACACIA GARDENS: FRONT ELEVATION



14 ACACIA GARDENS: REAR ELEVATION



EXISTING MATERIALS



PROPOSED MATERIALS

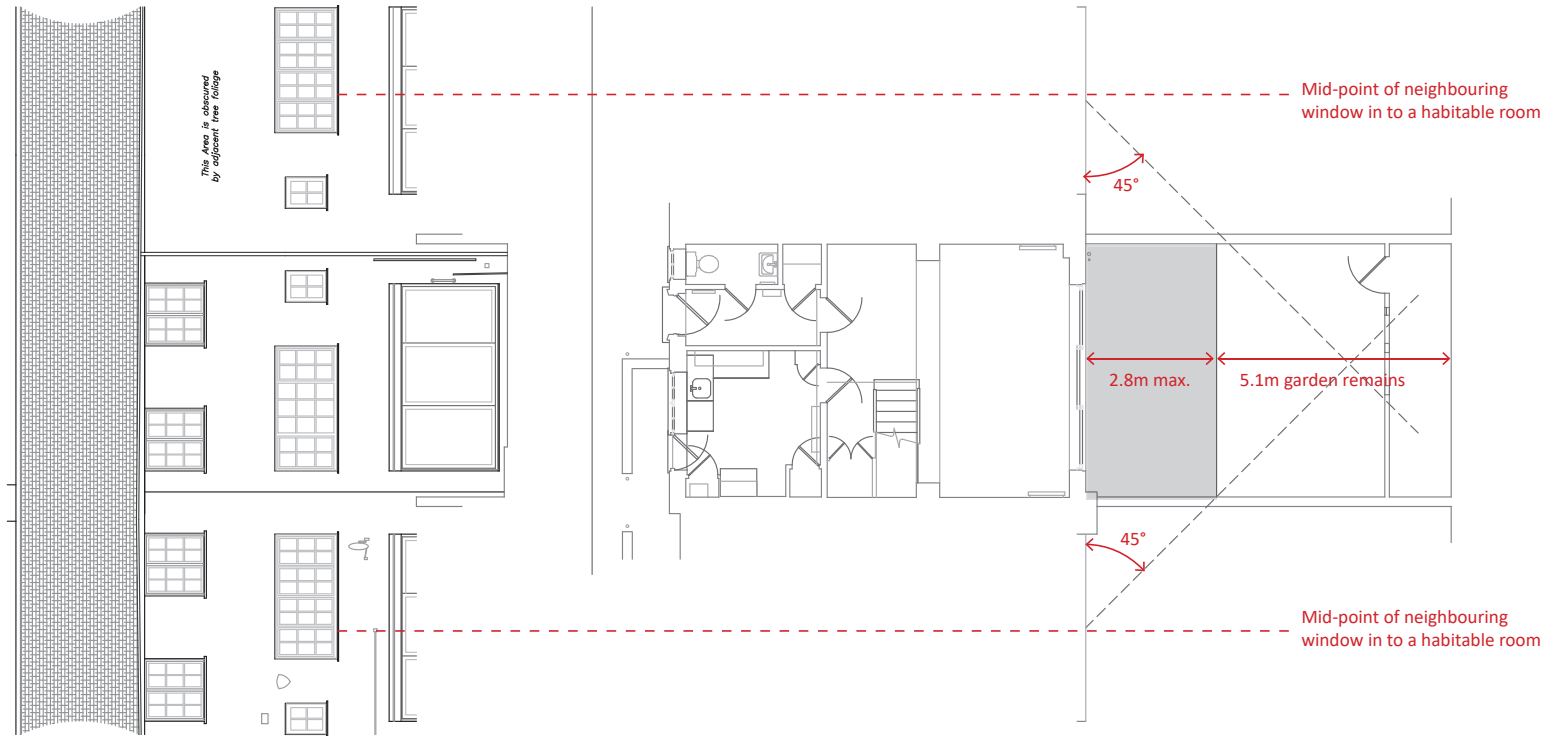
3.0 Scale

The proposal seeks to add a ground floor, single storey rear extension. The existing external store / shed at the rear of the garden will be removed as part of the proposed works. Please refer to the associated drawings.

GROUND FLOOR REAR EXTENSION

The owners would like to increase their ground floor living space and create a combined kitchen diner (as opposed to two separate spaces) overlooking the existing garden and to dedicate a specific space within the house for a home office. Please refer to the drawings for the existing and proposed ground floor plan and rear elevations.

Permitted development rules permit an extension of 3m from the existing rear elevation of the property, yet there is also guidance of a 45 degree rule restricting extension sizes to properties whilst respecting the amenities of neighbouring properties. The size of the extension proposed here complies with the 45 degree rule as shown in the diagram on the right. The unused, existing rear external storage shed at the rear of the garden will be removed and the wall repaired where required, this will help to ensure a decent sized garden remains once the extension work is carried out.



SCALE

Proposals shown in grey with 45 Degree Rule shown overlaid

4.0 Landscape

The house sits directly against the pavement of Acacia Gardens to the front. So there is little front garden to speak of. There is a large Wisteria that will be removed as part of the proposals which will help with natural daylight into the rooms and also allow essential maintenance to be carried out to the existing balcony at first floor level.

The rear garden currently contains an unused external storage shed running along the entire rear boundary wall. This will be removed as part of the proposals, thus helping to rebalance the remaining garden space once the extension is in place. The rear garden is currently paved with small planter areas at the perimeter containing shrubs. A tree within the rear garden will be removed as part of the proposals as it is growing extremely close to the rear facade and boundary, restricting daylight in the internal rooms and is within the footprint of the proposed extension. New low maintenance planting and paving (and drainage) will be created outside of the new extension.



5.0 Precedents



6.0 Planning

14 Acacia Gardens is in the St John's Wood Conservation Area.

PLANNING HISTORY

A look at the planning history of the site on the City of Westminster portal reveals there have been no planning applications in relation to the specific property.

There have been a number of approved planning applications for modifications and extensions around Acacia Gardens, as well as elsewhere in the Borough both within one of the numerous Conservation Areas and outside of these.

Acacia Gardens approved applications:

20/0665/FULL, October 2020, approval granted for a single storey extension to enlarge an existing garden room (in rear garden).

20/01052/FULL, February 2020, approval granted for a single storey rear extension (to the kitchen / diner).

18/04110/FULL, approval granted for side and rear extensions.

16/03268/CLPUD, April 2016, approval granted for front elevation rooflights.

16/00270/FULL, February 2016, approval granted for front and rear elevation rooflights.

20/0635/CLOPUD, October 2020, approval granted for a small rear extension.

PLANNING POLICY

We have extensively reviewed a large number of planning policy documents both at National and Local level in relation to this application. Reference is made throughout the documents to high quality design, sustainable design and construction, scale, form, materiality and massing of the existing streetscape, host buildings, and, of course, development in conservation areas. Other key documents:

- Westminster City Plan 2019-2040 (WCP),

- The London Plan, 2021,
- Conservation Area Audit, St John's Wood, June 2008,

These documents were read in conjunction with the Government's guidance on permitted development and the NPPF.

High Quality Design: (Policy 38 B and D of WCP). The design of the proposal has been carefully considered in relation to the existing property and neighbouring properties. We feel this creates a sympathetic and proportional approach to the elevations, and by matching the materials with the main house, we feel this approach is less fussy and confusing than introducing 'alien' materials into the palette. Materials and colours have been chosen that are both in keeping with the existing house and site location, and are complimentary. The proposal seeks to use low maintenance and high quality materials / fixings / robust design detailing chosen for their longevity and energy efficiency, such as the new ppc sliding doors on the ground floor, that will require almost no maintenance and will last for years. We reviewed multiple options for the proposed rear elevation of the extension, considering the scheme both visually from the outside and ensuring the amenity space created *within* the extension was well considered and well designed (Policy 12 WCP). The split of sliding doors and an oriel window ensures a dynamic facade that has been considered for its use during the seasons, ensuring the scheme works during the cold winter months when everything is closed up, and when the doors can be opened in summer. The visual connection to the garden remains throughout so that the enjoyment of the garden can continue. This extends to the requirement to introduce rooflights within the main house roof. The staircase is currently central to the floorplan of the house, and whilst this creates very useable spaces on the first and second floor, it does create a dark central core to the house. The proposed rooflights will help improve daylight in

this central core and to the main bedroom and associated bathroom (refer to the drawings). The proposed rooflights are not considered to adversely effect either the neighbours or impact on the row of terraced houses (Policy 40 E WCP) nor create a loss of amenity to neighboring properties as they are for the sole purpose of gaining extra daylight internally. The design of the rooflights will be such that they comply with Class C of The Town and Country Planning Permitted Development rights.

Scale / Mass: The scale of the existing property, the established pattern of development, building forms and materials have been closely observed and respected by the proposals (Policy 40 A and D of WCP and London Plan Policy D6). We reviewed numerous roof profiles, elevation configurations and massing options to ensure we did not propose something that was overbearing on the host building and the neighbours, nor impact on the existing features of the property whilst also addressing the clients brief. The front of the house at No14 remains unchanged. The streetscape of Acacia Gardens is therefore not altered with the proposals put forward here, and by matching the host dwelling's materials and understanding the proportions of window apertures etc, the proposal does not impact unduly nor is overbearing on the rear of the property or on neighbouring properties (Policy 40.7 WCP). It is not felt that the outlooks from the rear of No13 and No15 are marred by the proposals at all. The flat roof will help to minimise the scale of the proposals vertically, ensuring the windows at first floor level of the host building are not hindered nor look too encroached upon and preventing neighbouring properties from a sense of enclosure (Policy 7 A of WCP). We have also reviewed the proposal using guidance of the 45 degree rule ensuring our proposal is not detrimental to the internal amenity of our neighbours at No13 and No15.

Materiality: The existing materials and design detailing; namely brick with mortar are to

mimicked in the proposals to create a simple palette of materials for the property as a whole. The new ppc sliding doors and virtually frameless oriel window seat will complement the host building.

Landscape: (Policy 38 B WCP) The owners wish to remove a tree as part of the proposals put forward here. The tree is growing very close to No14 and the property boundary and is blocking out much appreciated daylight in the rear first floor bathroom. By removing the unused external store at the rear of the garden, the garden will still remain of a decent proportion and size for a house in this location despite the proposed extension.

Sustainability: (Policy 38 D WCP) The proposals seek to use high quality materials that will create high quality floorspace for the occupants. The new painted timber double glazed windows will ensure the property is not drafty and help to reduce heat and energy loss. And the new MVHR (mechanical ventilation heat recovery) and ASHP unit will ensure the house can source energy in a more environmentally friendly way.

Heritage: 14 Acacia Garden is part of a row of terraced houses within a cul de sac environment - all virtually identical from the front. The proposals put forward here, show a determination to respect the host dwelling and in turn its setting by respecting the palette of existing materials and not be overbearing on the size of plot and the host building. It is felt the proposals presented here do not impact negatively on the heritage of the St Johns Wood Conservation Area (Policy 39 K WCP).

7.0 Conclusion

It is felt that the proposals presented in this planning application are sympathetic to the existing host building and result in a sympathetic proposal in-keeping with a house of this size and location for a modern family.

Careful consideration has been taken when designing the proposals presented here for 14 Acacia Gardens to both respect the host building and to ensure the character of the host building and wider context is not harmed.

The owners need to carry out essential modernisation work to the property and whilst doing so would like to take the opportunity to improve the ground floor rear room and its relationship with the garden and internal configuration. It is felt that the proposals presented here will vastly improve the way the house is used by the owners without being detrimental to the context and host building.

It is felt that the proposals presented here are of a high quality design and comply with the City of Westminster's planning policies which are to be used as guidance for a decision to be made. Given other schemes of a very similar nature have already been approved within Acacia Gardens, it is felt the proposals presented here are in keeping and are not alien to this type of host building.

If you would like to discuss any aspect of the proposals for 14 Acacia Gardens we would be more than willing to review the proposals with you.