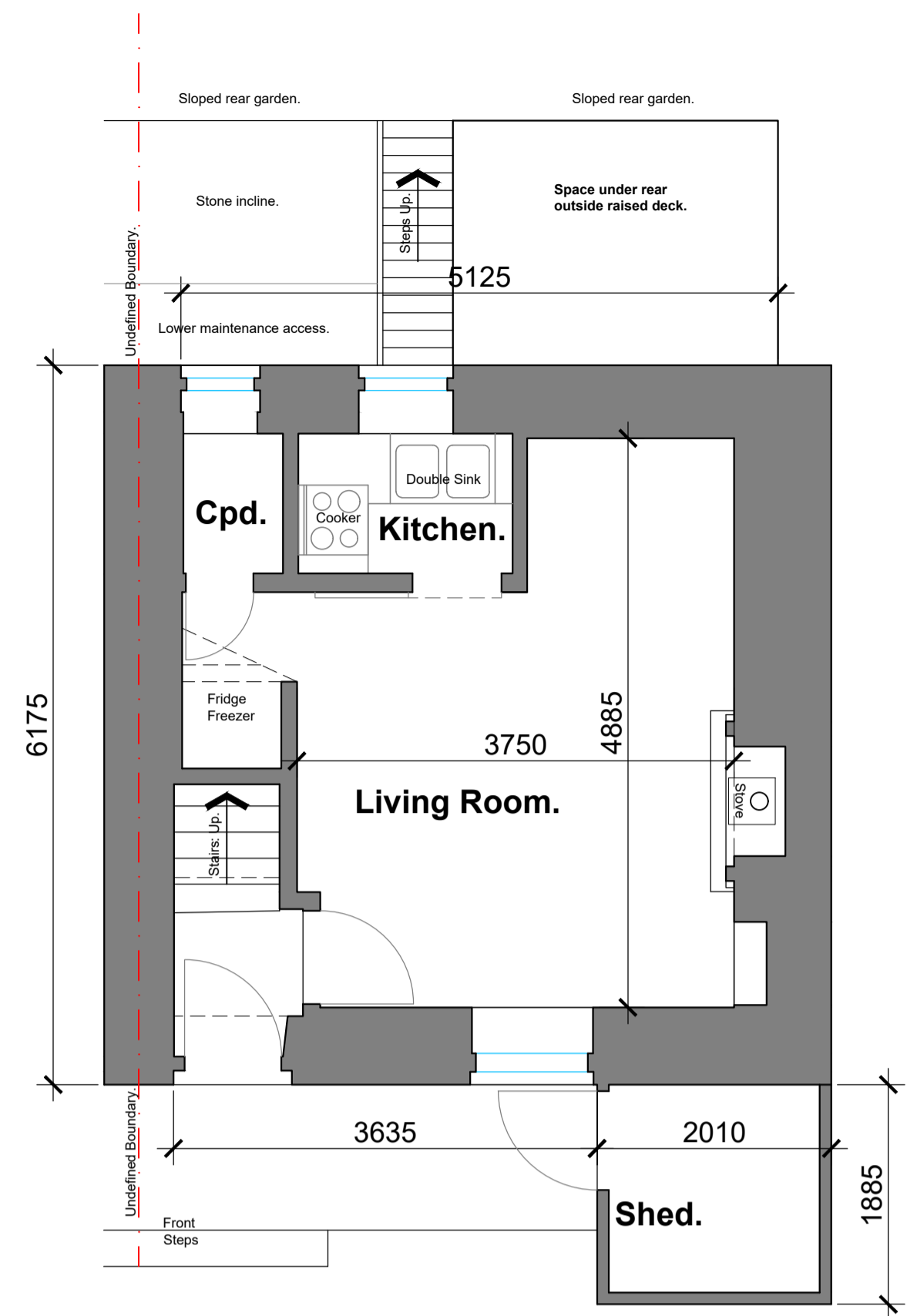
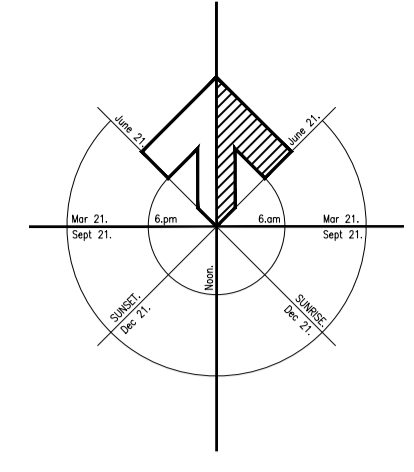
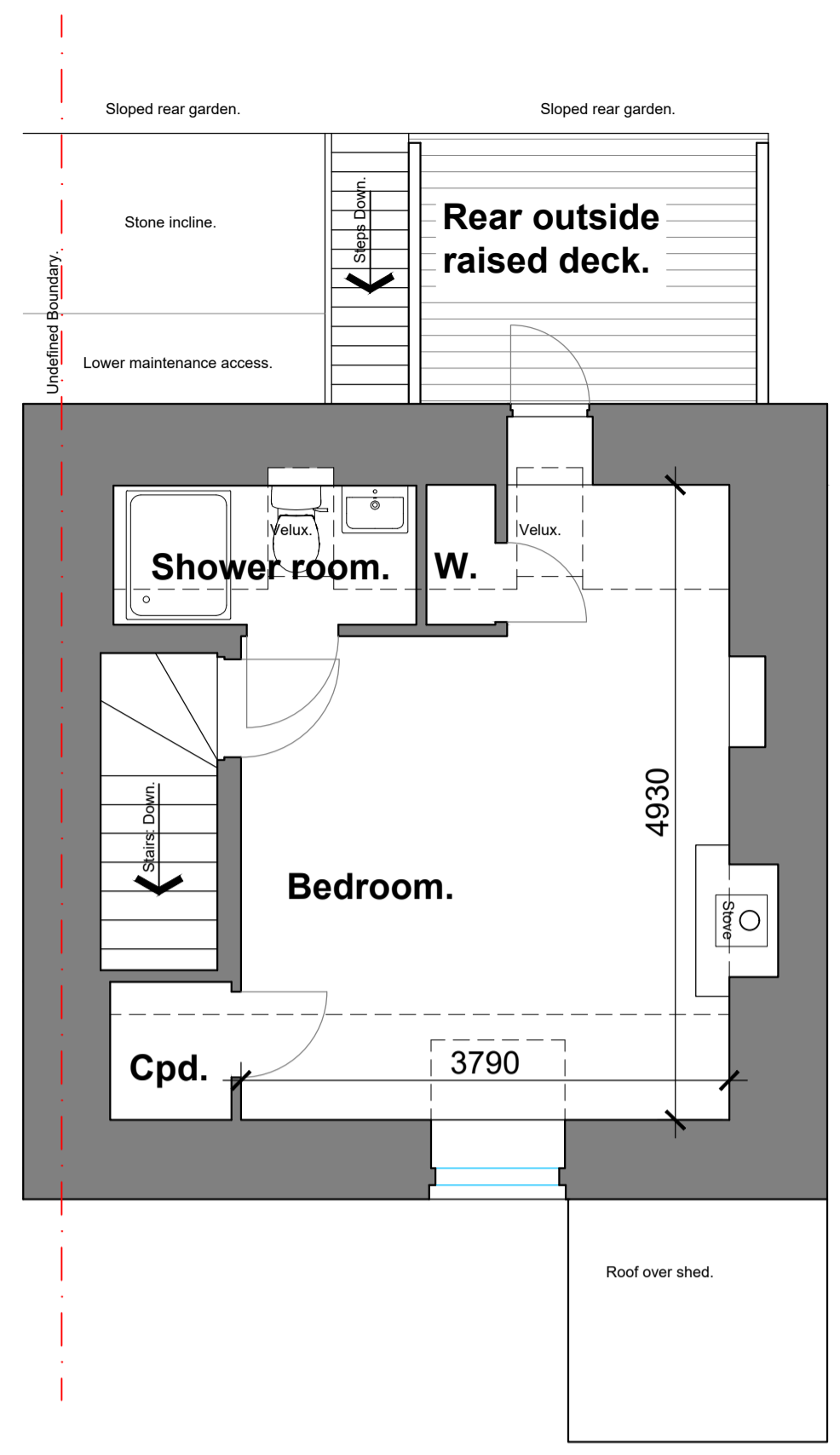


REVISIONS

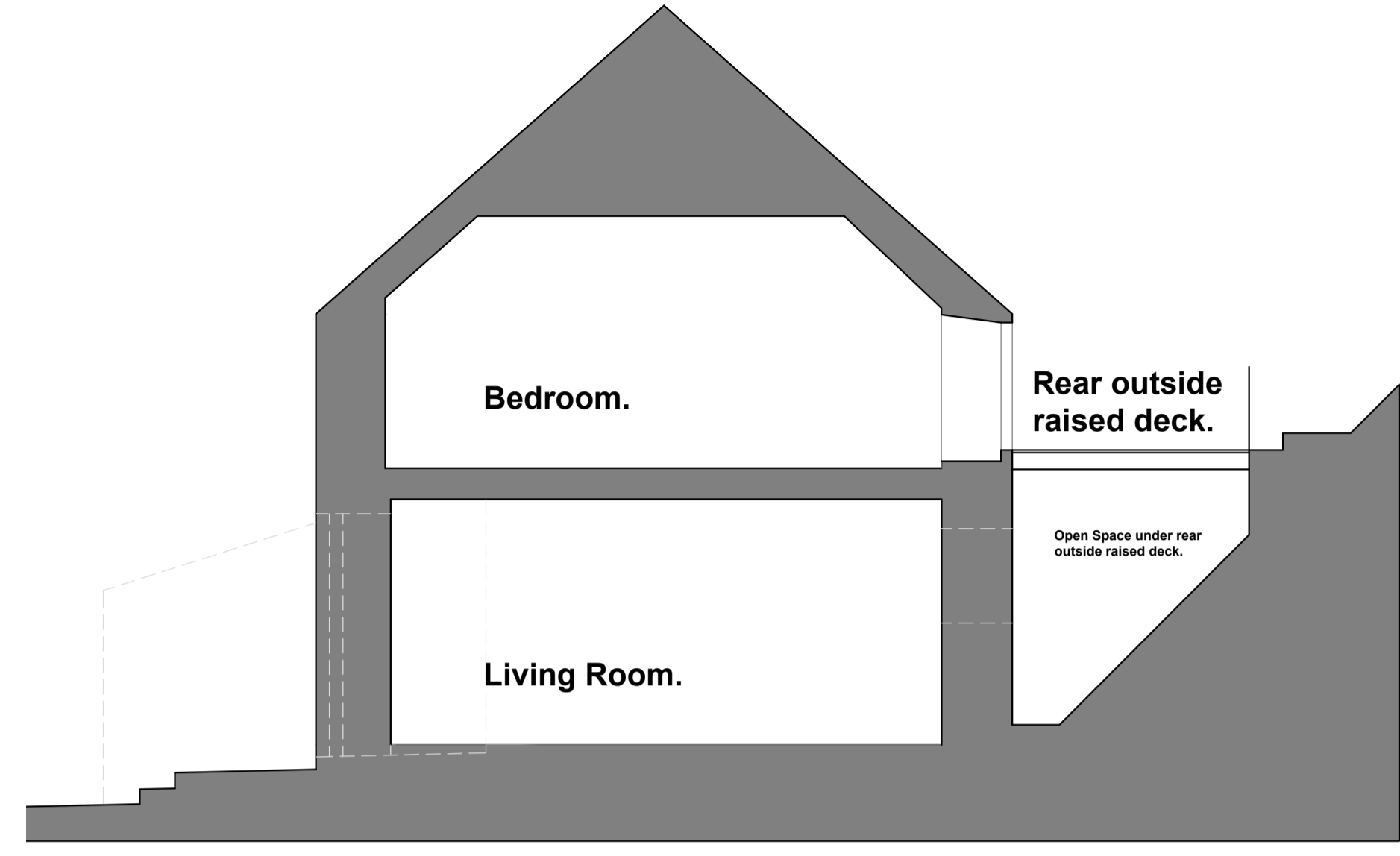
NOTES



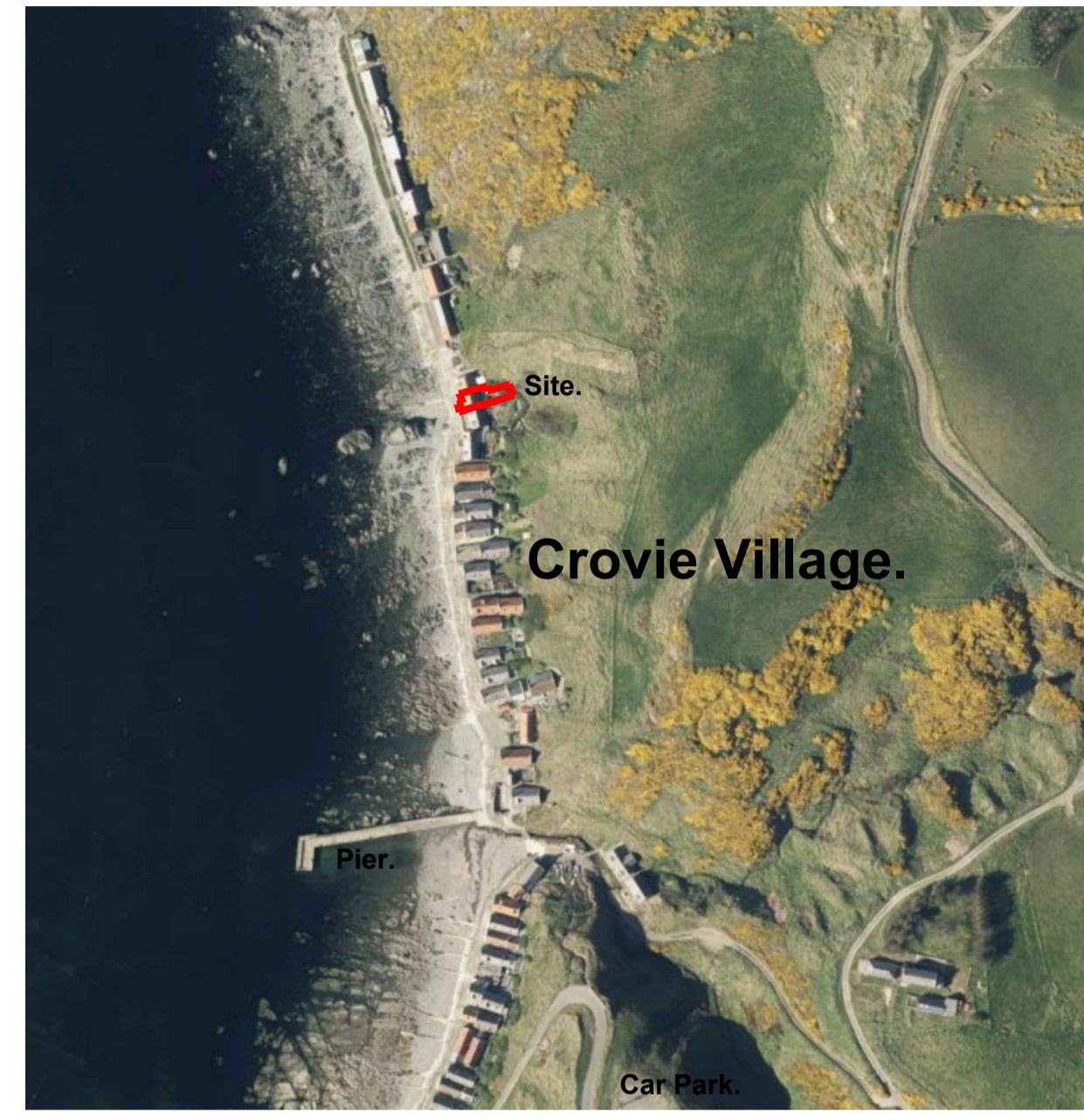
**EXISTING GROUND FLOOR PLAN**  
Scale 1:50 @ A1 / 1:100 @ A3.



**EXISTING FIRST FLOOR PLAN**  
Scale 1:50 @ A1 / 1:100 @ A3.



**EXISTING SECTION.**  
Scale 1:50 @ A1 / 1:100 @ A3.

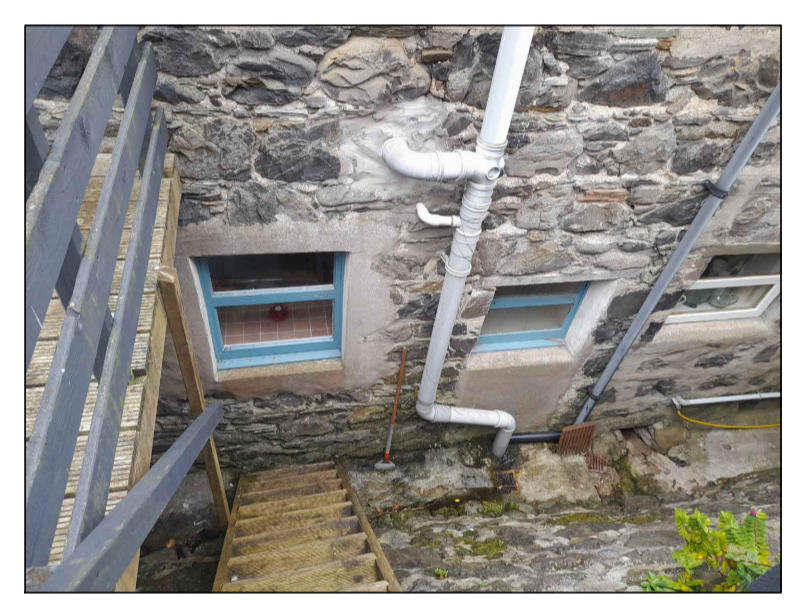


**LOCATION PLAN**  
Scale 1:2500 @ A1 / 1:5000 @ A3.



**Front Elevation.**

The house has two front windows and a front door, shown gray in the photo to the left, it also has two lower level windows to the rear, shown blue in the photo to the right. It's my clients intention to replace these windows with like for like timber true sash and case heritage double glazed windows to the front and with timber casement double glazed windows to the rear. The windows are to be painted white to match those of the neighbouring No54 semi-detached house. The front door is to be replaced with Farrow & Ball "Skimming Stone" code 241 (or equal and approved) coastal coloured door to match the styling of that of the neighbouring No54 semi-detached building on the left, as seen in the left photo. The lower panel of the new door is to be timber lined not two panel as previously agreed with Shaun Norman. The timber lined shed will be painted the same colour to match the door. This colour has yet to be communicated to the Historic Environment team for approval before paint is ordered.



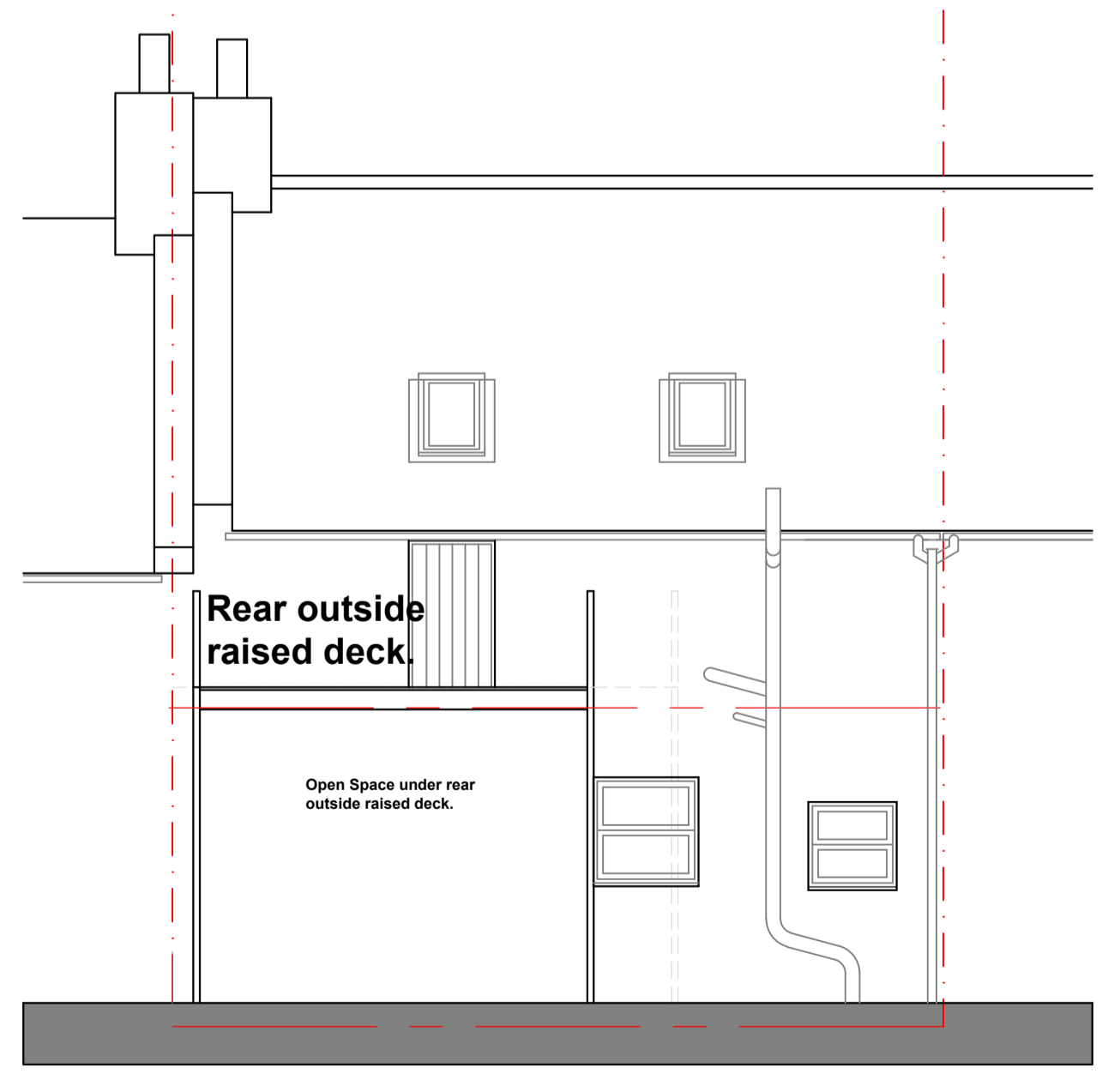
**Lower Rear Elevation.**



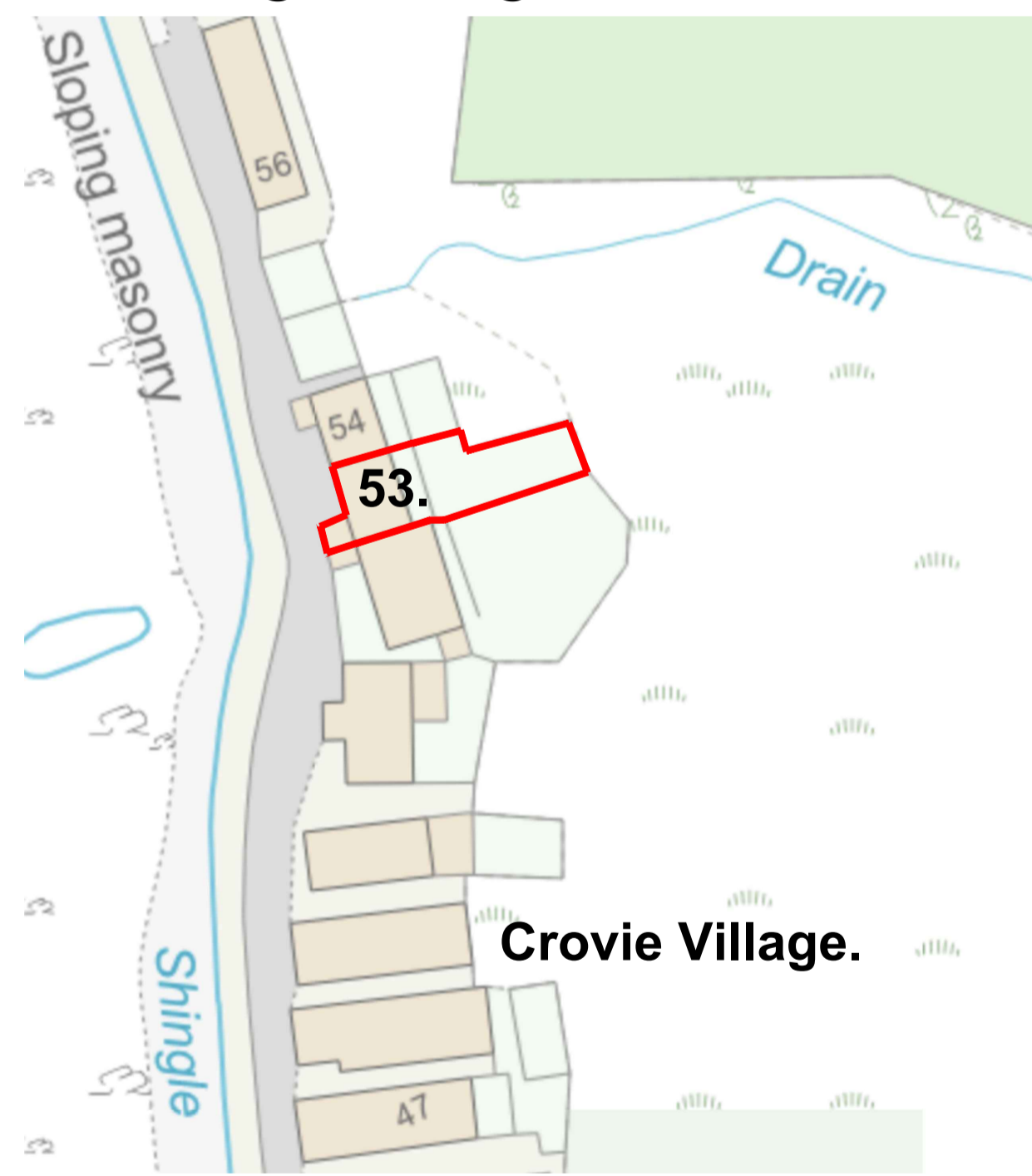
**Upper Rear Elevation.**



**EXISTING FRONT ELEVATION.**  
Scale 1:50 @ A1 / 1:100 @ A3.



**EXISTING REAR ELEVATION.**  
Scale 1:50 @ A1 / 1:100 @ A3.



**SITE PLAN**  
Scale 1:500 @ A1 / 1:1000 @ A3.

**IMPORTANT NOTE.**  
This drawings photos are not for public viewing. The client wants all photos of the internal of the building kept securely from the general public to protect their privacy.

ALTERATIONS

Internal Alterations  
No 53 Crovie Village,  
Gardenstown, Banff,  
Aberdeenshire, AB45 3JQ.  
Ms R. Stuart & Mr W. Moir.

EXISTING DWG.

Scale: As Shown.  
Date: 16th Dec 2023.  
Drawn: SN.

Ref: 0029/002/-

