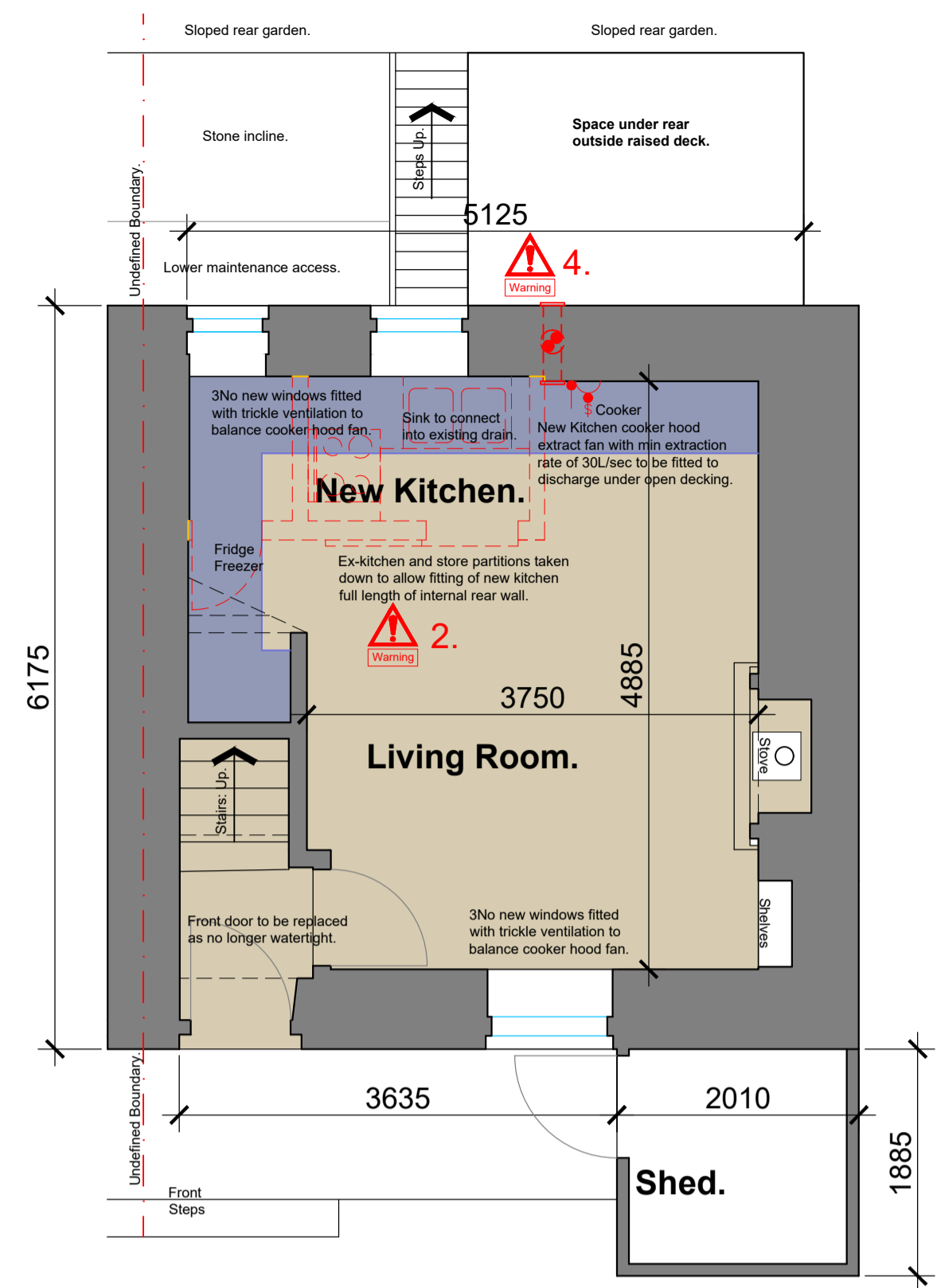


REVISIONS

A: North & South Elevations added. 05/01/2024 - SN.
 B: Rear outside and door colours reiterated. 11/01/2024 - SN.

NOTES

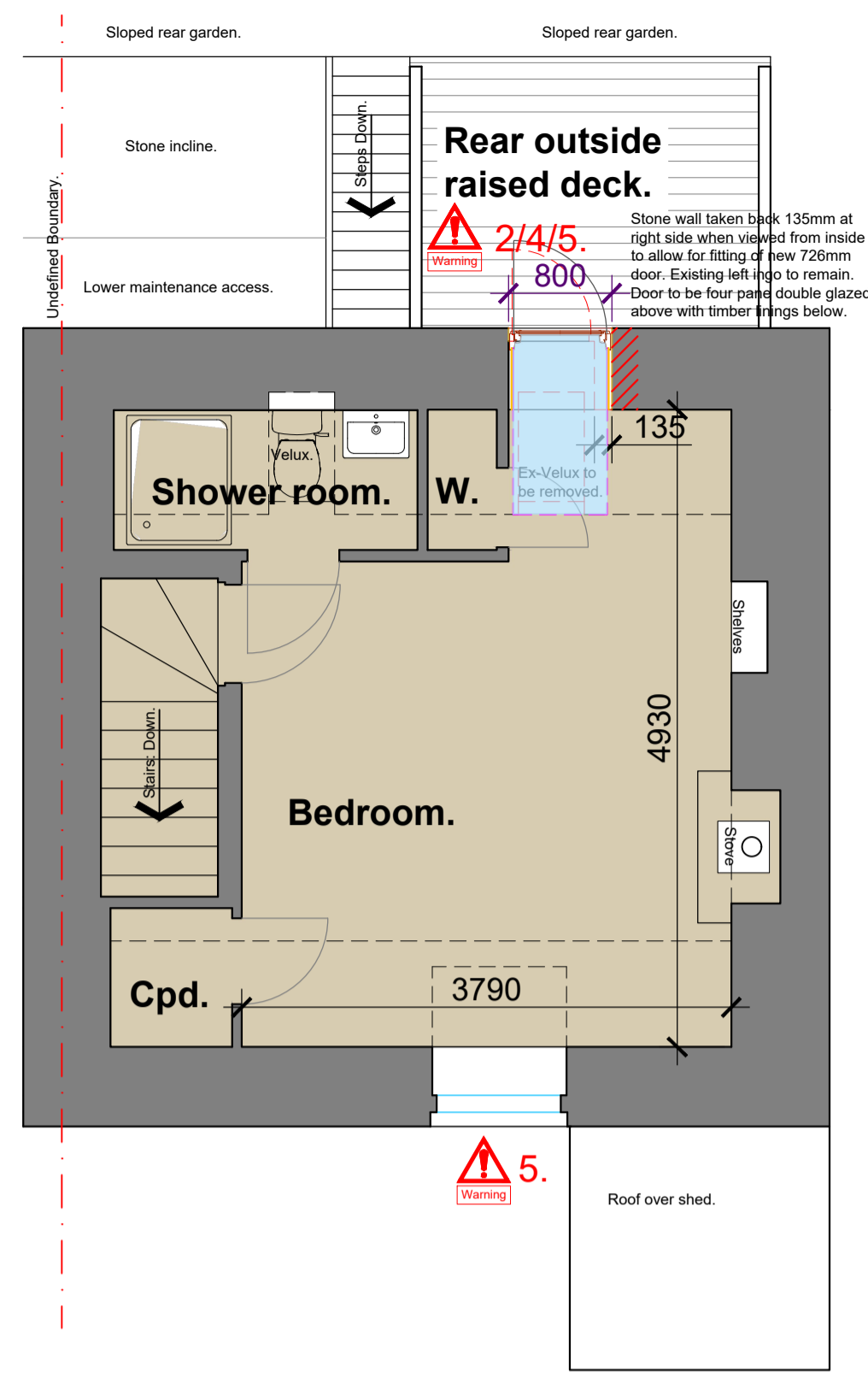


PROPOSED GROUND FLOOR PLAN
 Scale 1:50 @ A1 / 1:100 @ A3.



Front Elevation.

The house has two front windows and a front door, shown grey in the photo to the left, it also has two lower level windows to the rear, shown blue in the photo to the right. It's my clients intention to replace these windows with like for like timber true sash and case heritage double glazed windows to the front and with timber casement double glazed windows to the rear. The windows are to be painted white to match those of the neighbouring No54 semi-detached house. The front door is to be replaced with Farrow & Ball "Skimming Stone" code 241 (or equal and approved) coastal coloured door to match the styling of that of the neighbouring No54 semi-detached building on the left, as seen in the left photo. The lower panel of the new door is to be timber lined not two panel as previously agreed with Shaun Norman. The timber lined shed will be painted the same colour to match the door. This colour has yet to be communicated to the Historic Environment team for approval before paint is ordered. New rear timber door and catslide roof fascias all to be white, the catslide roof pan tiles to be reused existing tiles, the haffits to have new pan tiles to match the roof in profile and colour; terracotta (pan tile) red.

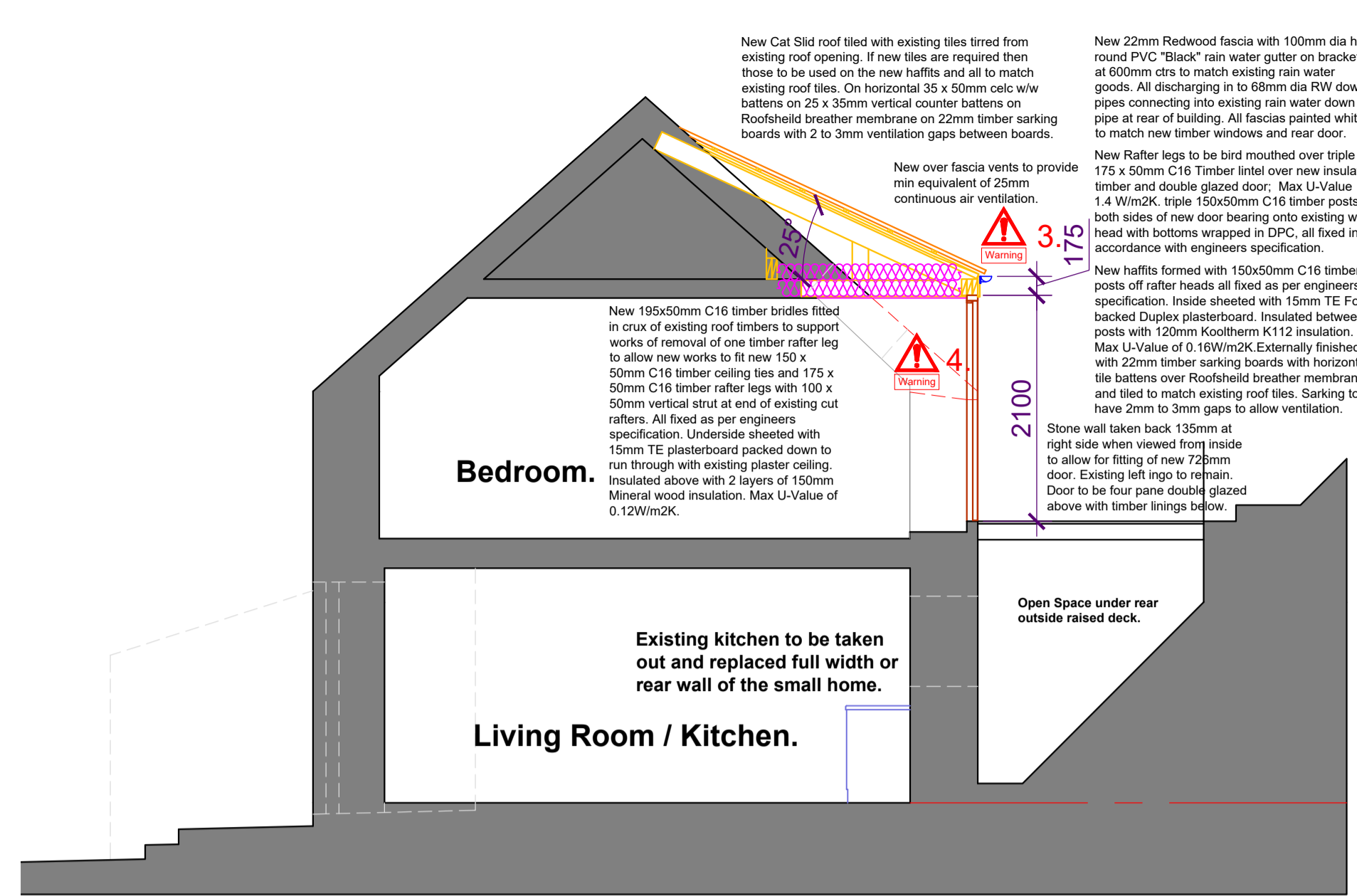


PROPOSED FIRST FLOOR PLAN
 Scale 1:50 @ A1 / 1:100 @ A3.

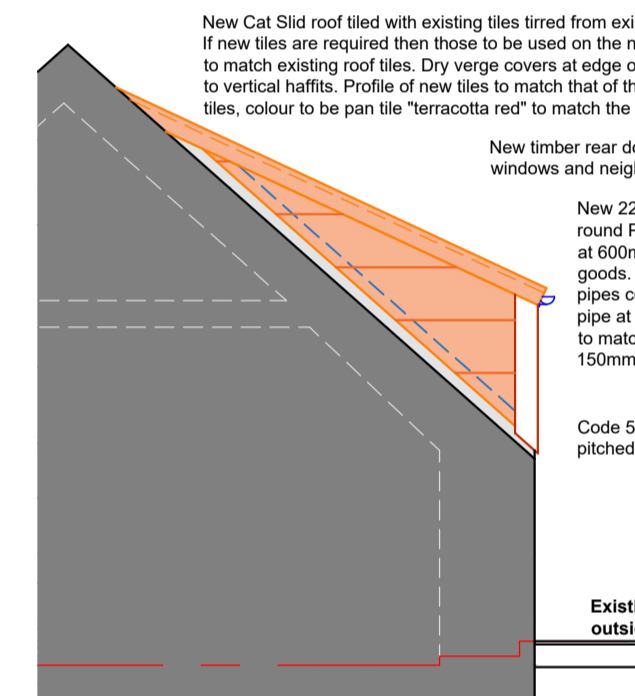


Lower Rear Elevation.

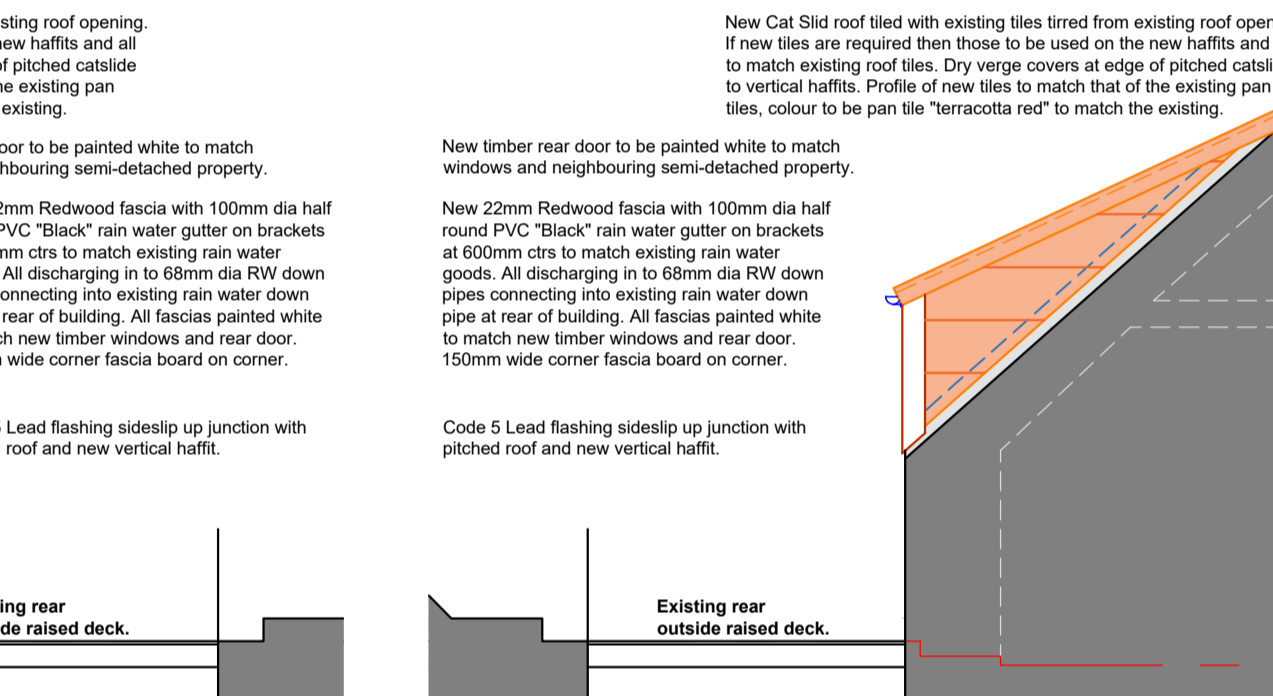
Stone wall taken back 135mm at right side when viewed from inside to allow for fitting of new 726mm door. Existing left leg to remain. Door to be four panel double glazed above with timber linings below.



PROPOSED SECTION.
 Scale 1:50 @ A1 / 1:100 @ A3.



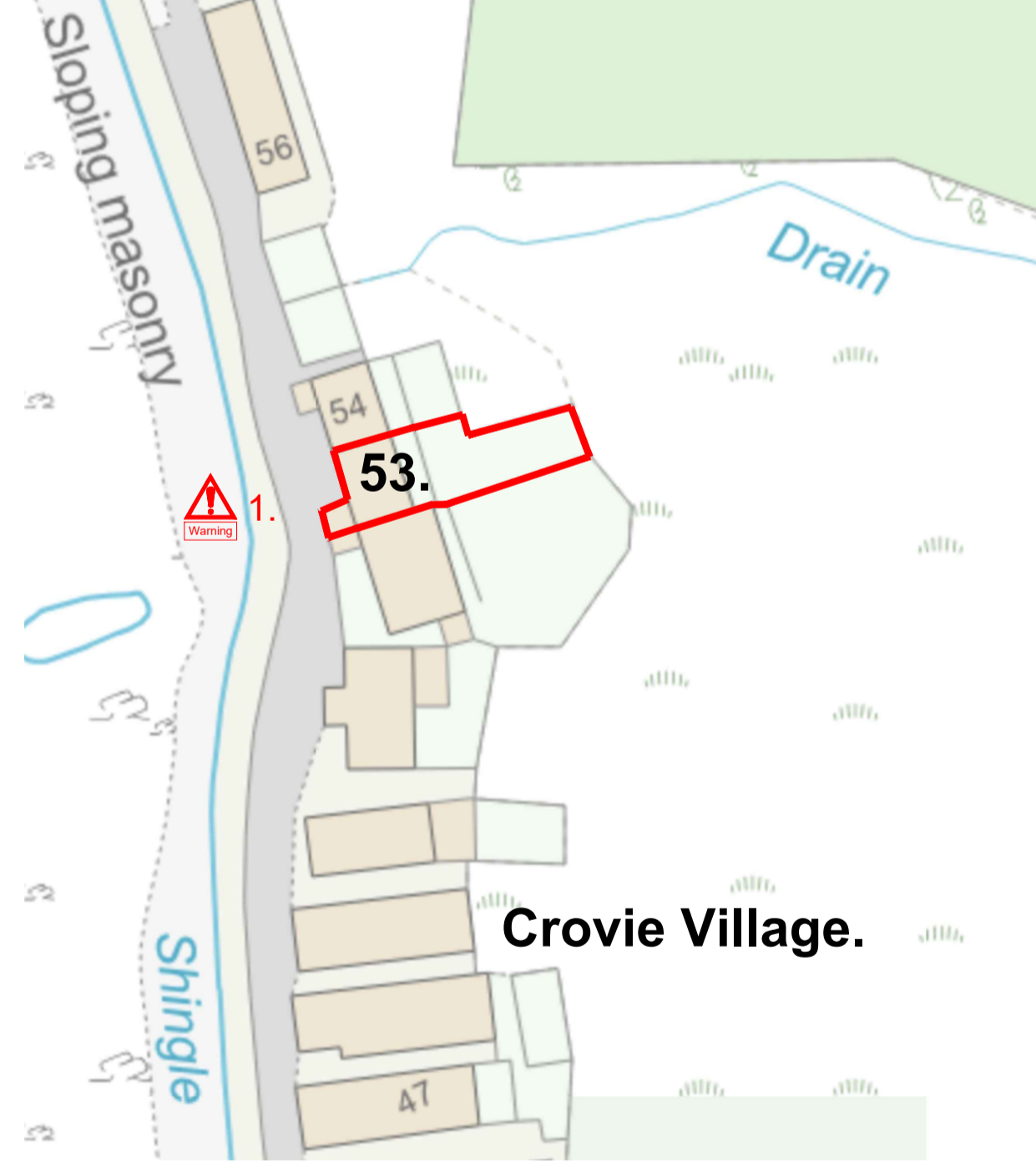
PROPOSED SOUTH ELEVATION.
 Scale 1:50 @ A1 / 1:100 @ A3.



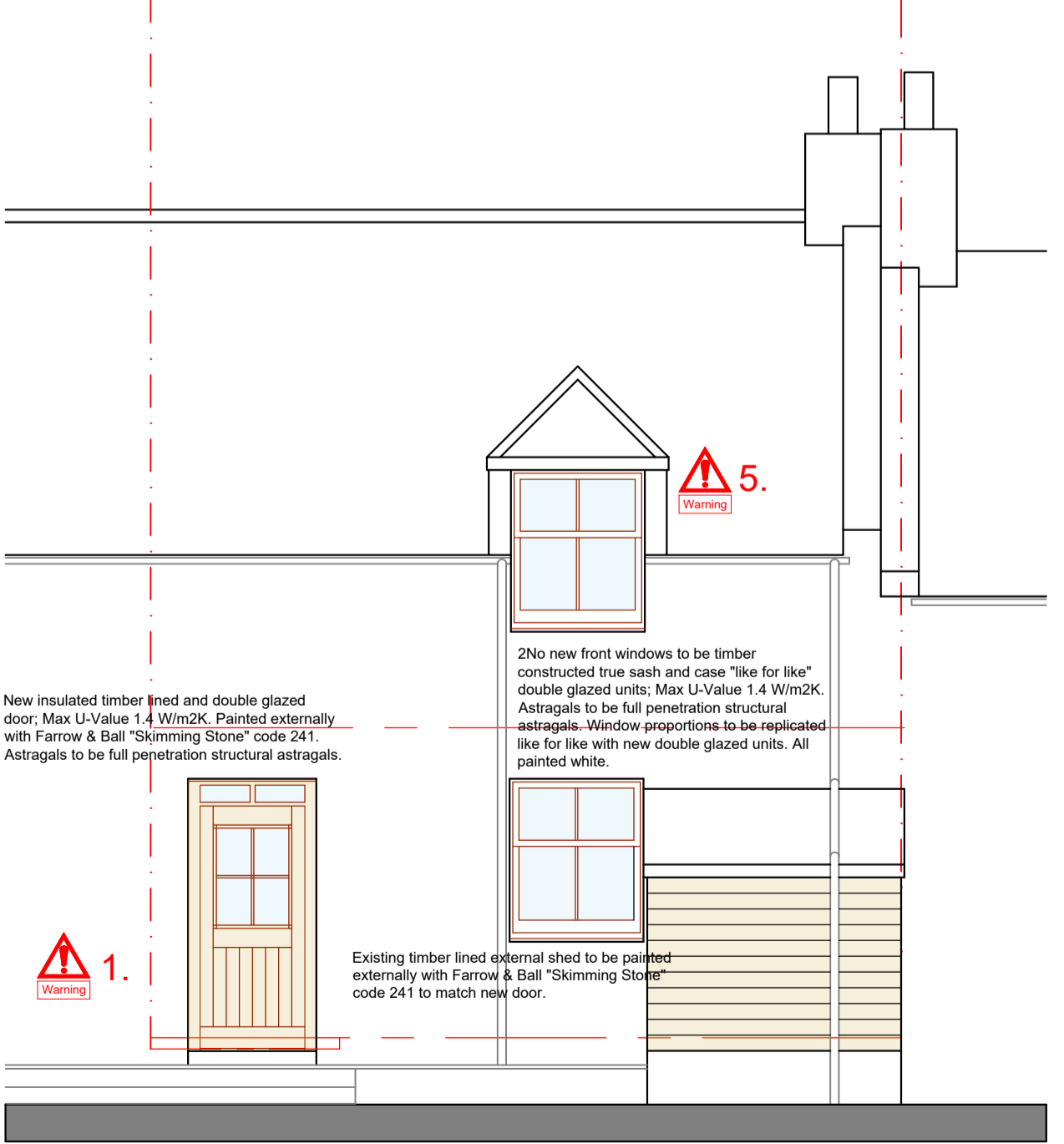
PROPOSED NORTH ELEVATION.
 Scale 1:50 @ A1 / 1:100 @ A3.



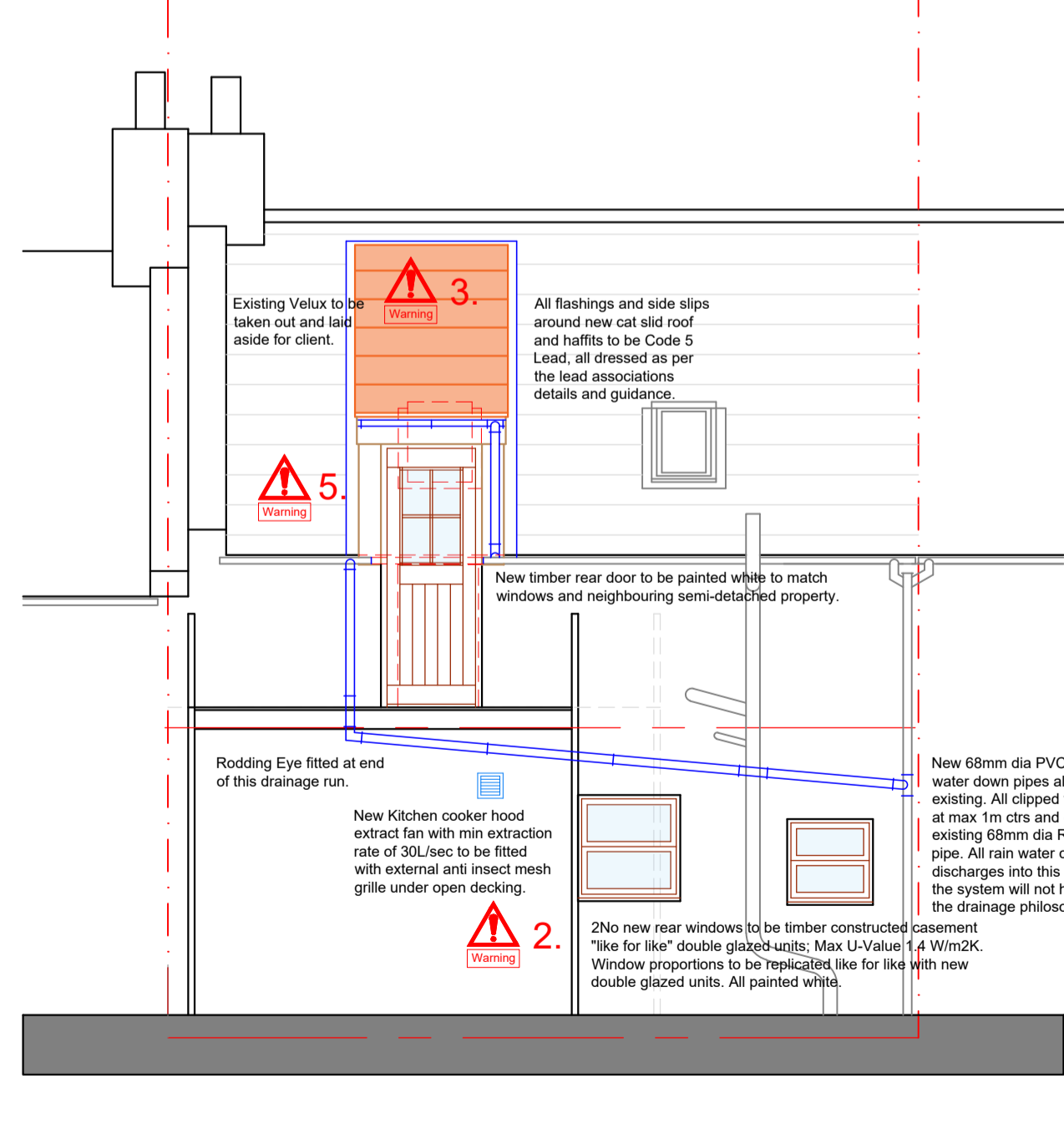
LOCATION PLAN
 Scale 1:2500 @ A1 / 1:5000 @ A3.



SITE PLAN
 Scale 1:500 @ A1 / 1:1000 @ A3.



EXISTING FRONT ELEVATION.
 Scale 1:50 @ A1 / 1:100 @ A3.



PROPOSED REAR ELEVATION.
 Scale 1:50 @ A1 / 1:100 @ A3.

ELECTRICAL LEGEND:

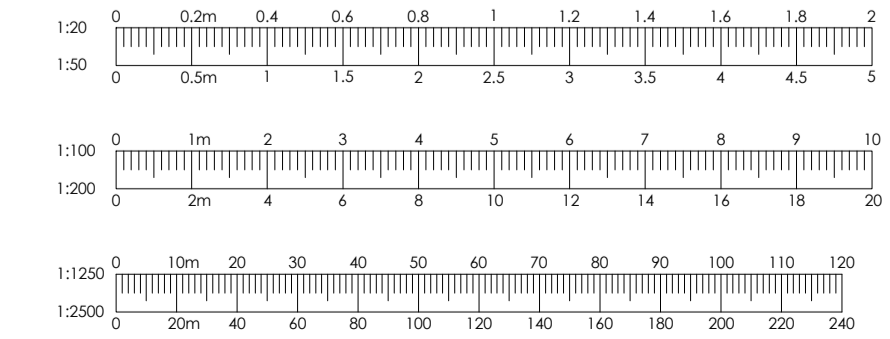
DOUBLE 13 AMP SOCKET	WALL MOUNTED SHOWER SOCKET	SMOKE DETECTOR	CEILING MOUNTED PENDANT FITTING
DOUBLE 13 AMP SOCKET WATER LEVEL	TV AERIAL / SKY POINT	HEAT DETECTOR	WALL MOUNTED LED EXTERNAL QUALITY LIGHT FITTING (WHERE SHOWN)
DOUBLE 13 AMP SOCKET C/P 2no. USB PORTS	TELEPHONE POINT	CARBON MONOXIDE DETECTOR	LIGHT SWITCH
DOUBLE 13 AMP SOCKET WATER LEVEL 2/W 2no. USB PORTS	MAINS DISTRIBUTION BOARD	CARBON DIOXIDE MONITOR	UNDER WALL LINT LED LIGHT FITTING
DOUBLE 13 AMP SOCKET EXTERNAL SOCKET	WALL/CEILING MOUNTED EXTRACT FAN	RECESSED LED DOWNLIGHT FITTING	WALL MOUNTED LIGHT FITTING SPEC. TIC
13 AMP SPUR POINT AT LEVEL TO SUIT C/P SWITCH OUTLET AT GRID SWITCH	MULTI GRID SWITCH	COOKER CONTROL LINT	

CDM Residual Risks

Symbol	Item	Description
Warning 1	Communal access to site and delivery of materials	Danger of conflict with neighbours. Contractor to install appropriately located hoars security fencing and remain in constant communication with adjacent occupants.
Warning 2	Unknown location of existing services.	Danger during down taking. Contractor to investigate locations as far as reasonably possible.
Warning 3	Installation of Cat Slid roof into existing roof.	Danger of collapse & manual handling at height issues. Appropriate propping & stability of structure above required during works.
Warning 4	Removal & stopping through existing stone walls.	Danger of collapse & manual handling issues. Appropriate propping & stability of structure above required during works.
Warning 5	Removal & re-fitting new replacement windows and doors.	Danger due to manual handling and working at height. Suitable scaffold required and handling method statements required.

WHILST THIS TABLE IDENTIFIES RESIDUAL RISKS, THERE MAY BE OTHER RISKS WITHIN THIS DESIGN THAT ARE CONSIDERED TO BE WITHIN THE NORMAL EXPERIENCE OF A COMPETENT CONTRACTOR.

IMPORTANT NOTE.
 This drawings photos are not for public viewing. The client wants all photos of the internal of the building kept securely from the general public to protect their privacy.



ALTERATIONS

Internal Alterations
 No 53 Crovie Village, Gardenstown, Banff, Aberdeenshire, AB45 3JQ.
 Ms R. Stuart & Mr W. Moir.

PROPOSAL DWG.

Scale: As Shown.
 Date: 16th Dec 2023.
 Drawn: SN.

Ref: 0029/003/B