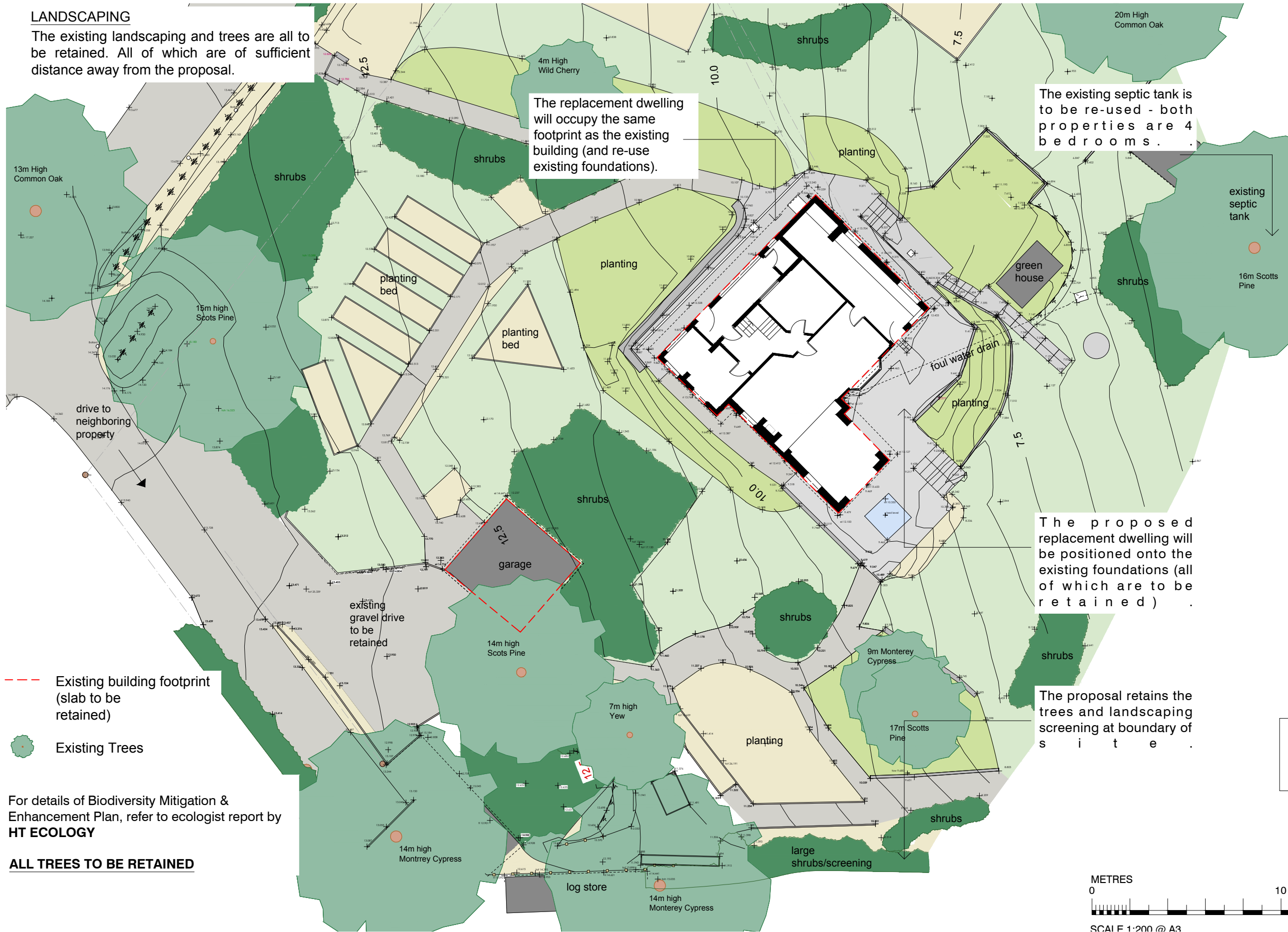


LANDSCAPING

The existing landscaping and trees are all to be retained. All of which are of sufficient distance away from the proposal.



EXISTING SITE

The subject site relates to a detached dwelling known as Kenwood, Seaview Road, Uplyme.

Situated onto a bend of Seaview the garden is set on lower ground and is well screened with vegetation.

EXISTING AND PROPOSED DRAINAGE

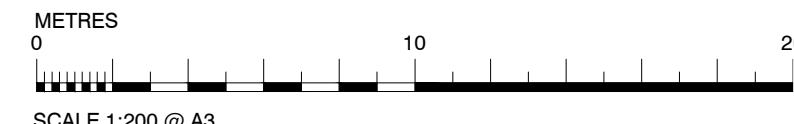
The scope of works shall include for the provision of all below ground drainage works necessary to adopt the existing foul and surface water drainage system.

A measured survey of the drainage has been undertaken (the runs as drawn are subject to further site investigation when works begin).

As the existing foul drainage system requires adapting the Contractor shall include for the adaptation of all existing manholes, covers and frames where necessary and adequate allowance shall be made within the internal dimensions of the manhole to accommodate the existing invert levels and the required access facilities to discharge to the existing septic tank. It is assumed the Septic tank is adequate to receive the increased effluent from the new house.

The client is to agree with the LABC the drainage layout before commencing work.

PLANNING DRAWINGS ONLY
This status indicates that the drawings are design intentions for planning approvals only.



1. EXISTING SITE PLAN (1:200 SCALE)



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Client
Josie & Chris

Project Title
Kenwood Seaview Road
Woodhouse Hill, Uplyme
DT7 3SL

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9. All work shall comply with the current Building Regulations requirements of the Local Authority and relevant British Standards.
10. All dimensions and conditions shall be verified on site before commencing any work or making any shop drawings
11. GIA'S have been measured in accordance with RICS Property Measurement - 2nd Edition 2018)

Rev.	By	Description	Date

Drawing Title
Existing Site Plan

Date	Proj.	File
Sept 23	064	
Scale 1:200	Drawn PAB	

Drawing Number
064 - 05