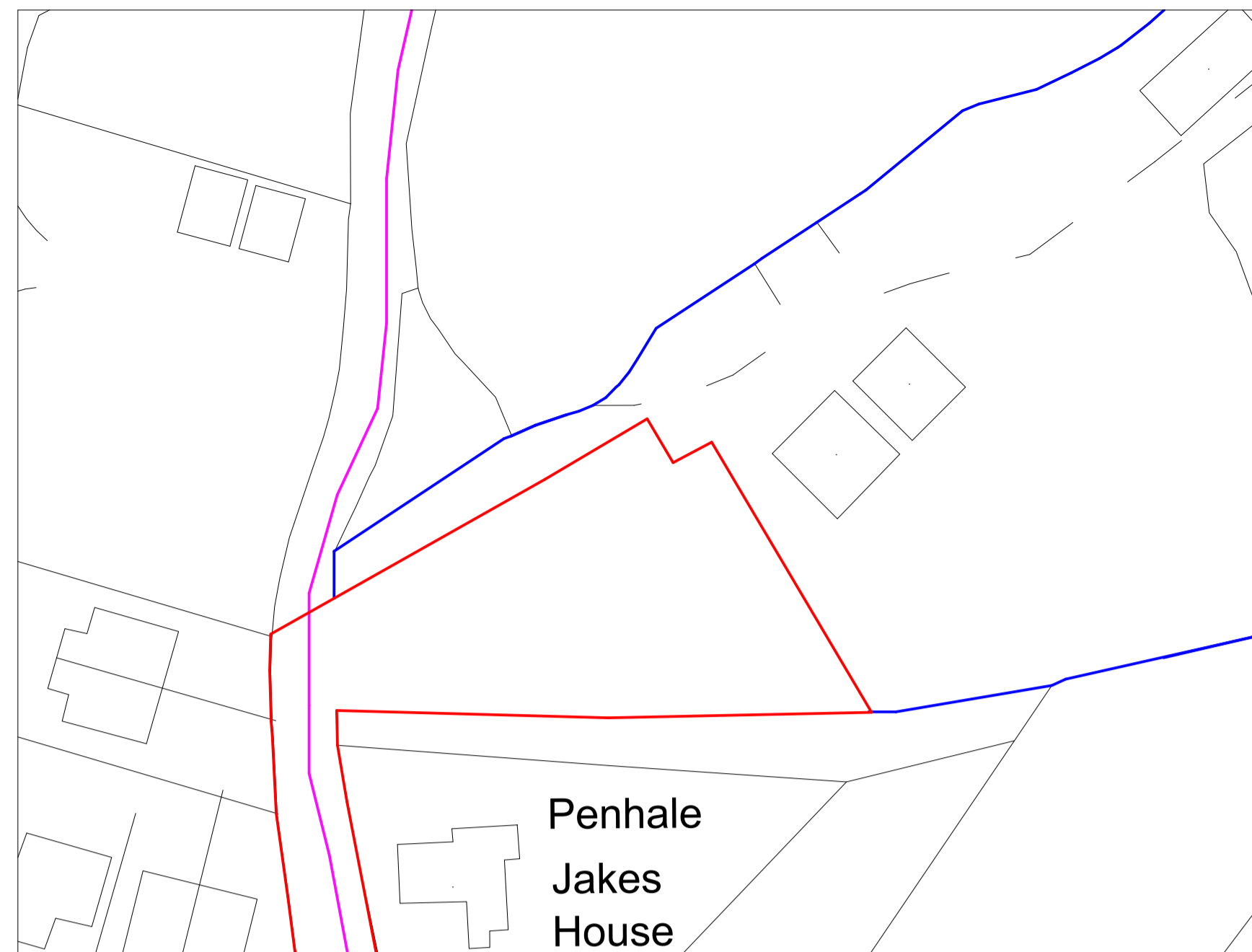
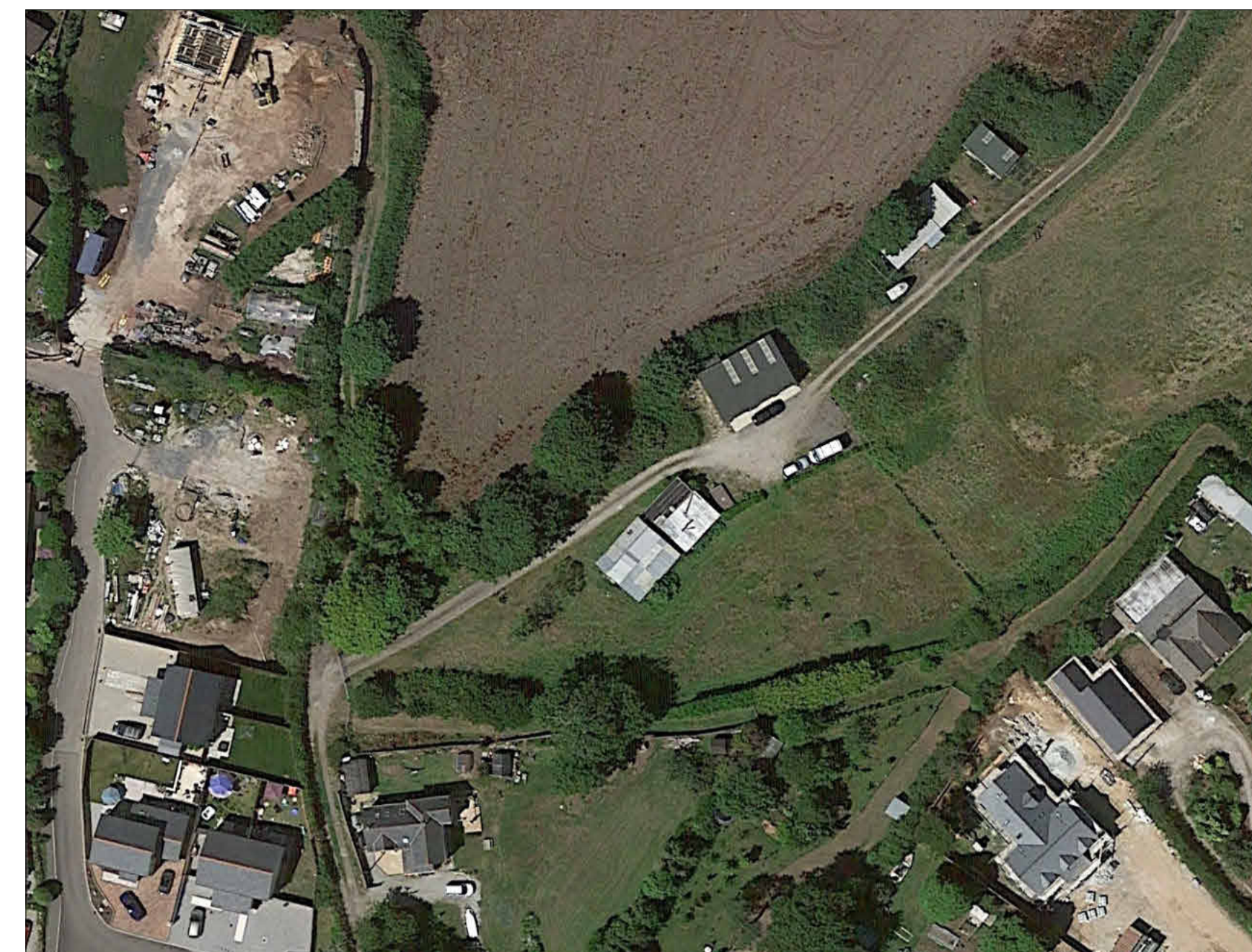


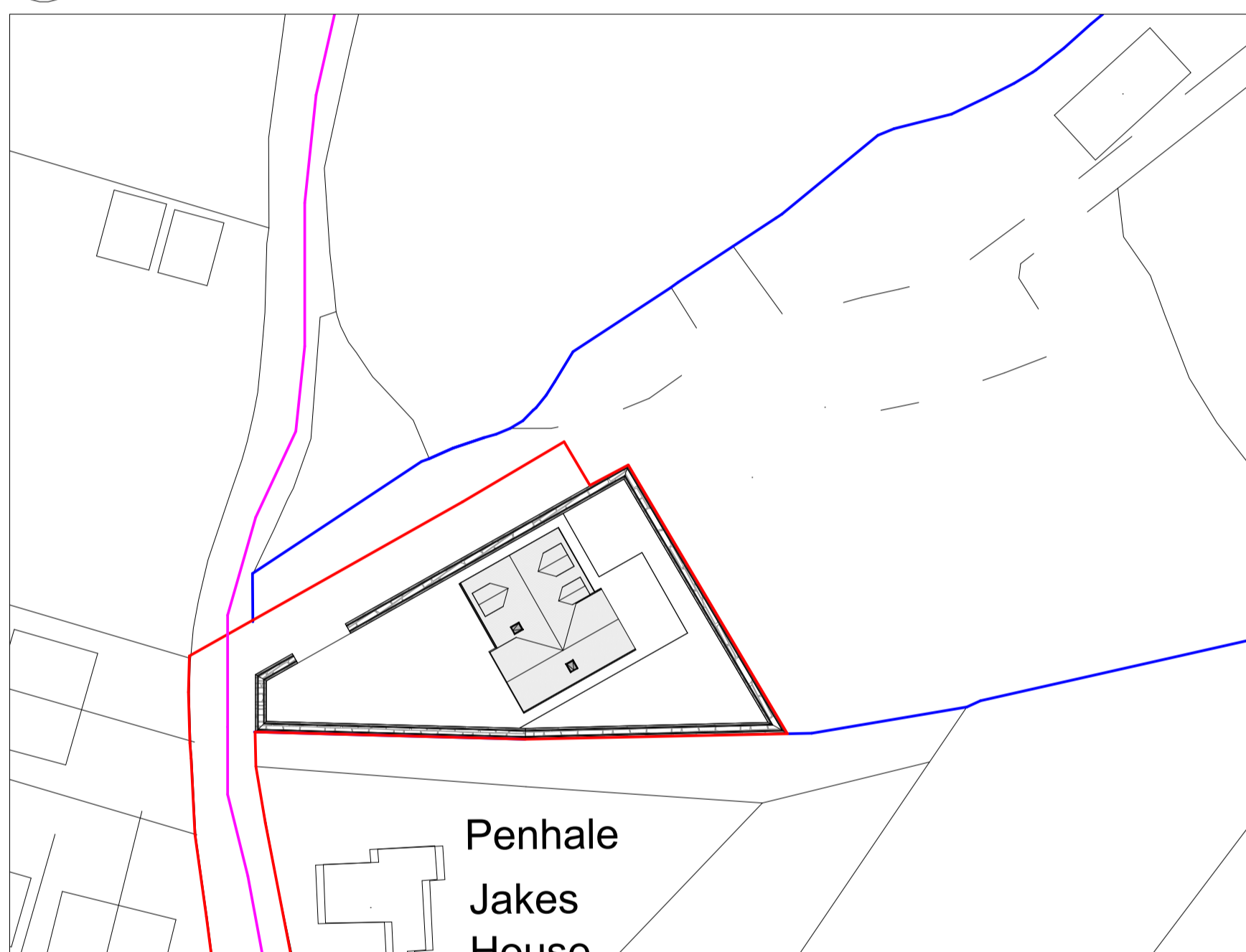
1 Existing Location Plan  
1 : 1250



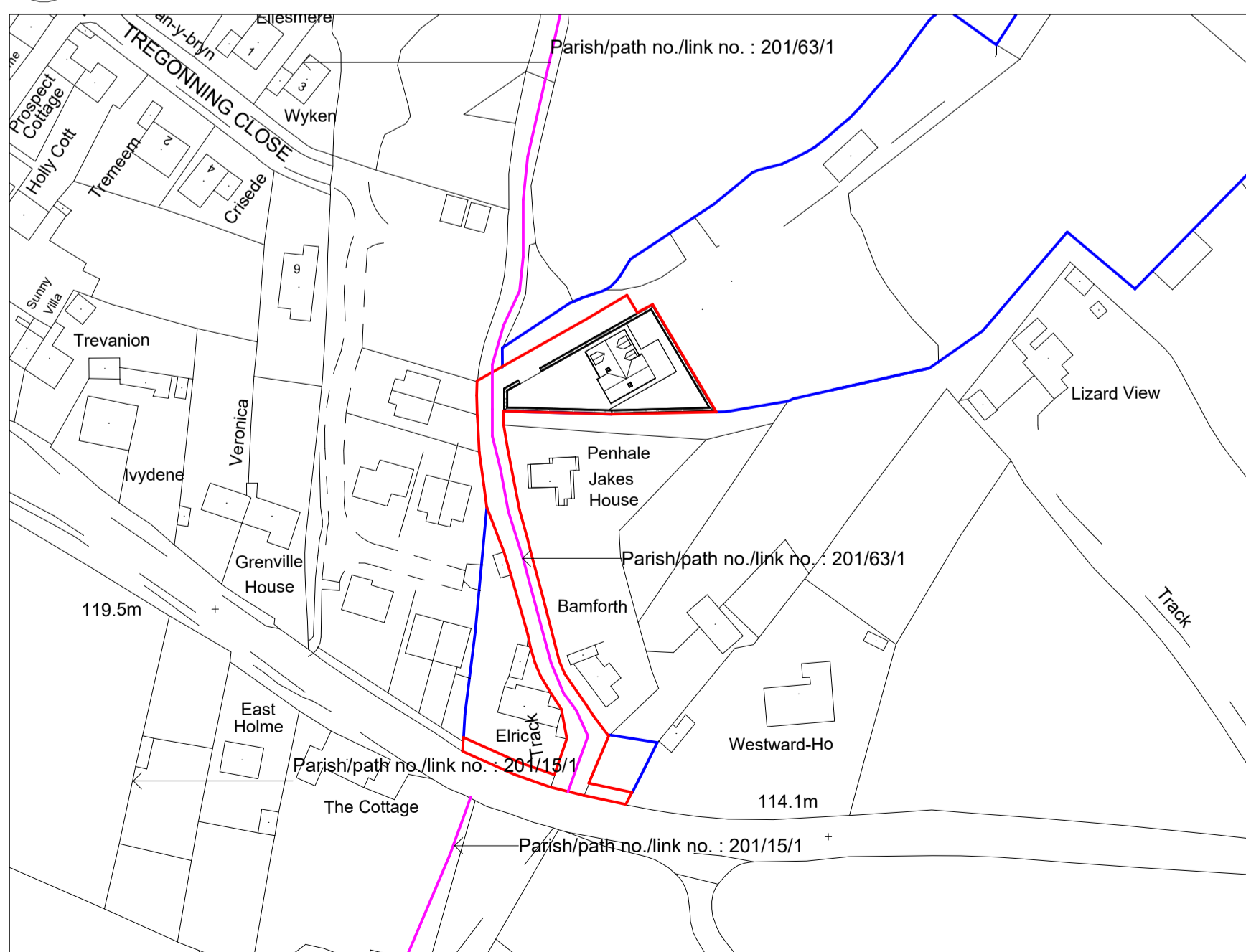
2 Existing Block Plan  
1 : 500



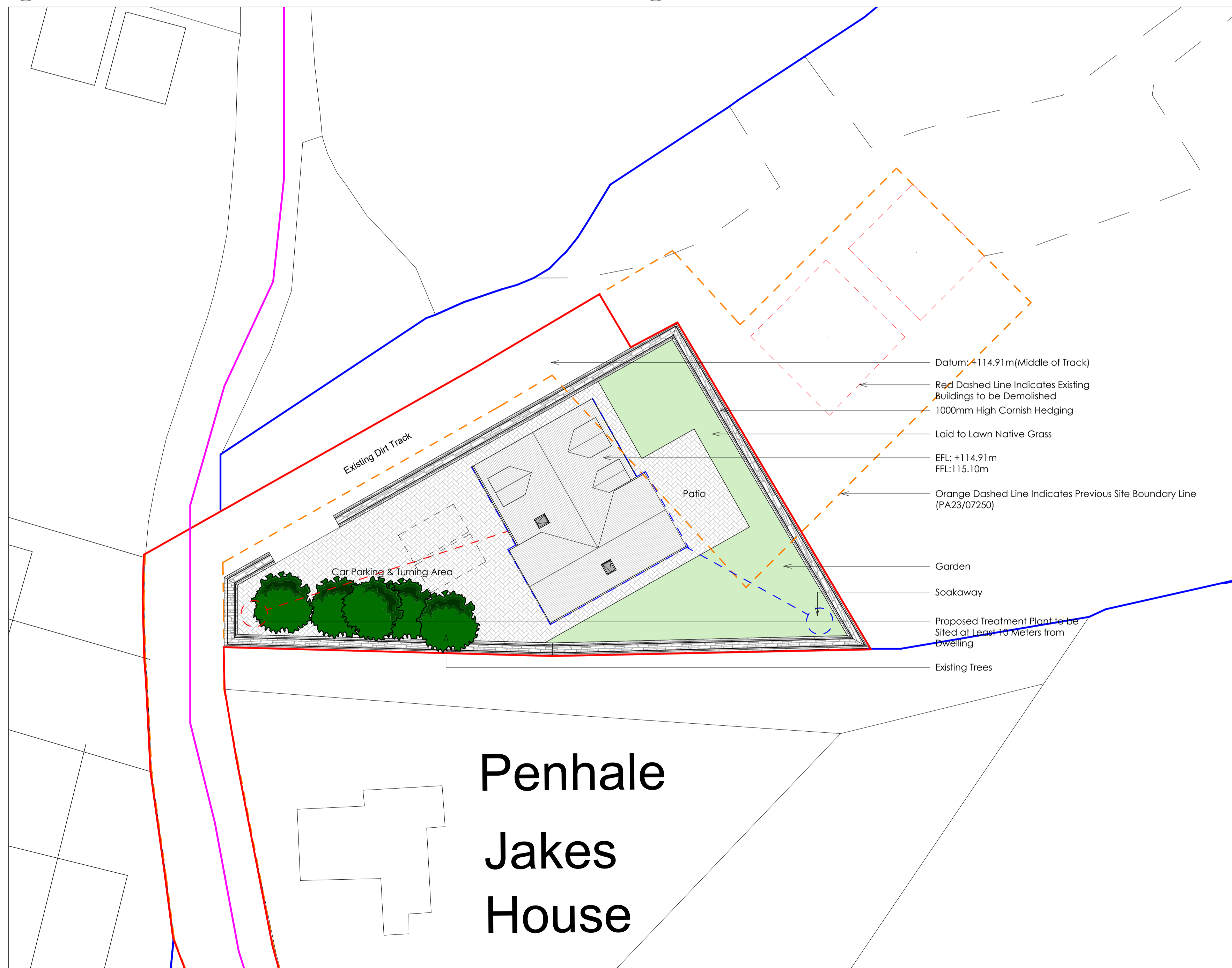
6 Google Earth Image  
1 : 1



4 Proposed Block Plan  
1 : 500



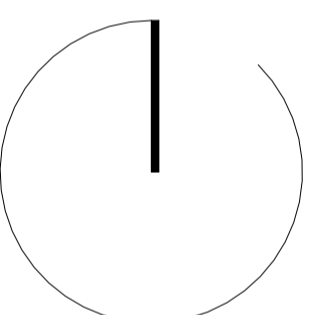
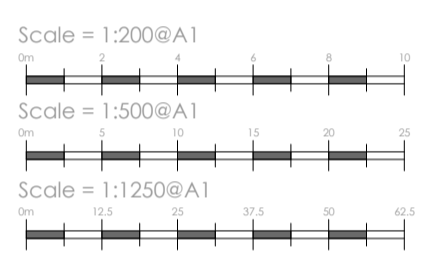
5 Proposed Location Plan  
1 : 1250



3 Proposed Site Plan  
1 : 200



1. This drawing is the copyright of Cornwall Planning Group and may not be reproduced without licence.  
 2. The Contractor shall not scale off this drawing for construction purposes, only figured dimensions shall be worked from.  
 3. All dimensions and levels are to be checked on site by the Contractor before the commencement of any work and any discrepancies reported to the Architect.  
 4. No responsibility can be accepted for errors arising on site due to unauthorised variations from the Architects drawings.  
 5. The Contractor is recommended to visit the site before tendering to ascertain all local conditions and restrictions likely to affect the works. No claims arising from failure to do so will be considered.  
 6. Tenders must include for all the works described or being apparent on the drawing or can reasonably be inferred as being necessary for the proper execution of the works.  
 7. This drawing is for town planning and building regulations only and is not a complete working drawing.  
 8. Depth, size and design of foundations shown are preliminary only, actual foundation, depth, size and design may differ depending on site conditions.  
 9. On completion of the works, if a National Home Energy Rating Certificate is required by the client, contact the Local Authority Building Control Department.  
 10. L1 and L2 requirements for limiting thermal bridging & air leakage workmanship shall be executed by the Contractor in accordance with the appropriate sections and DEPR/DJLR guidance document "Limiting Thermal Bridging & Air Leakage: Robust Construction Details for Dwellings and Similar Buildings" available from The Stationery Office Ltd.



- Datum: +114.91m (Middle of Track)
- Red Dashed Line Indicates Existing Buildings to be Demolished
- 1000mm High Cornish Hedging
- Laid to Lawn Native Grass
- EFL: +114.91m  
FFL: 115.10m
- Orange Dashed Line Indicates Previous Site Boundary Line (PA23/07250)
- Garden
- Soakaway
- Proposed Treatment Plant to be Sited at Least 10 Meters from Dwelling
- Existing Trees

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 Web: www.cornwallplanninggroup.co.uk

Client: Mr Roger Thorpe  
 Project: Demolition & Construction of Dwelling  
 Following Approval PA23/07250

Address: Penhale Paddock, Main Road, Ashton,  
 Helston, Cornwall, TR13 9SD

Title: Location Plans

Revisions			
Rev.	Issue Date	Description	Issued by

Stage: PRE APP

Scale: As indicated

Date: 24/01/2024

Drawn: AF      Checked: CM

Project No: 2571      Drawing No: 001

Rev: