

PROPOSED WEST ELEVATION 1:50

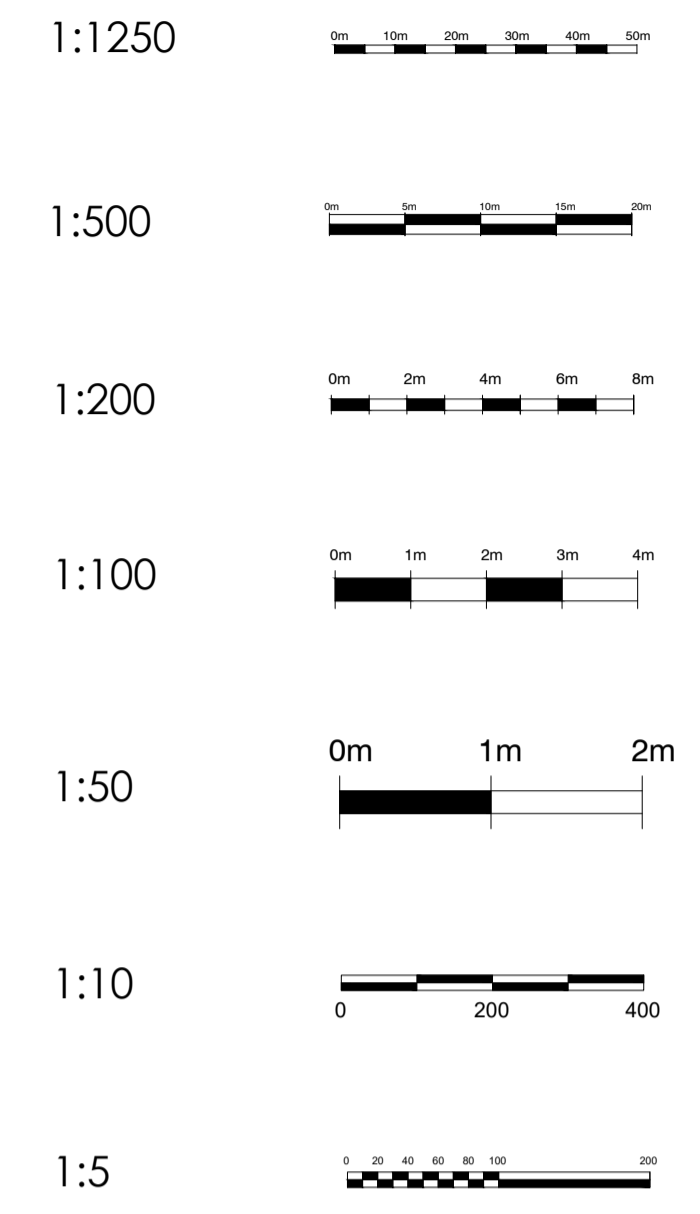


PROPOSED SOUTH ELEVATION 1:50



PROPOSED NORTH ELEVATION 1:50

Scale Bars:

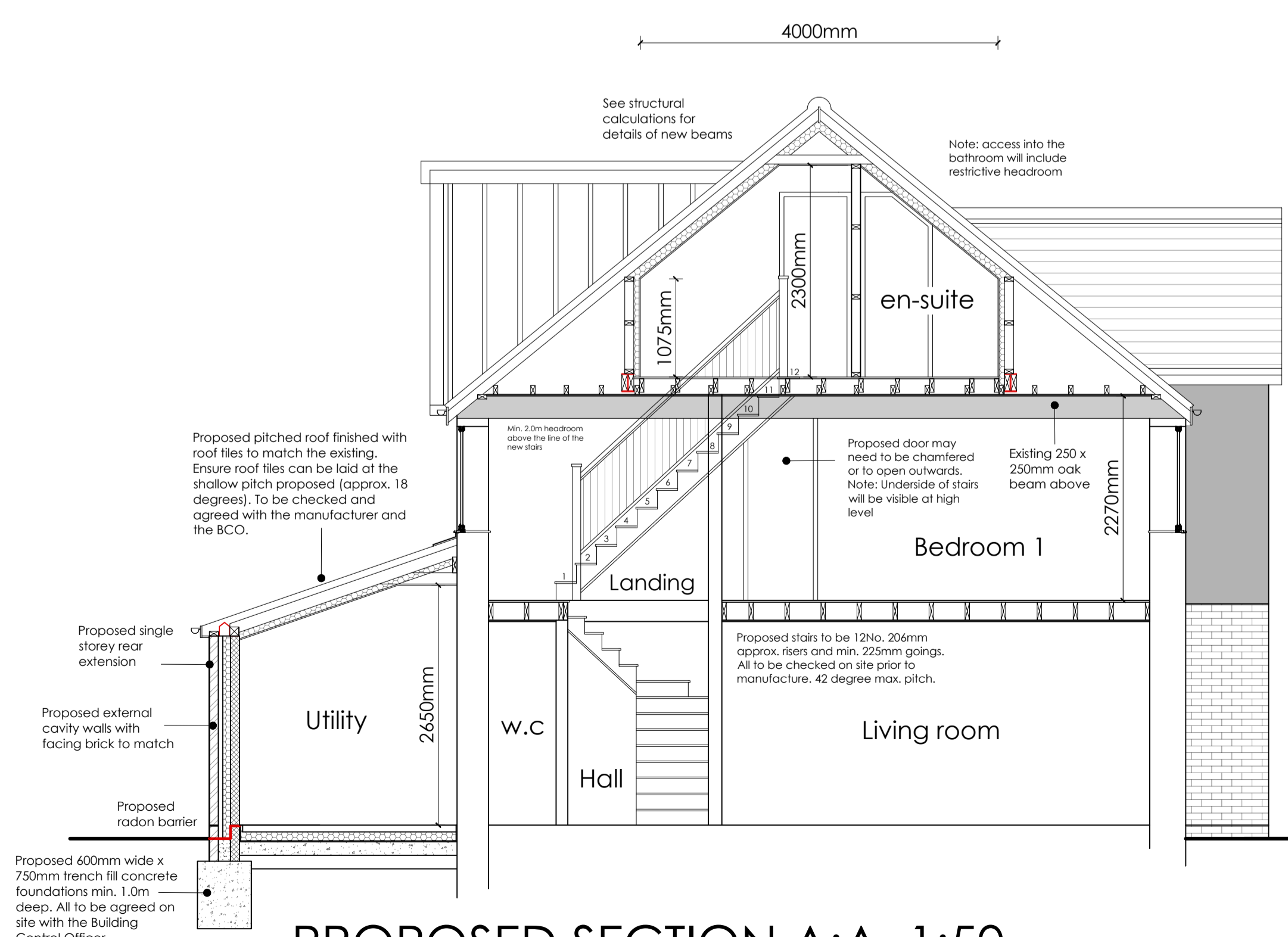


KITSONS, LOWER FARM COTTAGES, MADEHURST, BN18 0NU

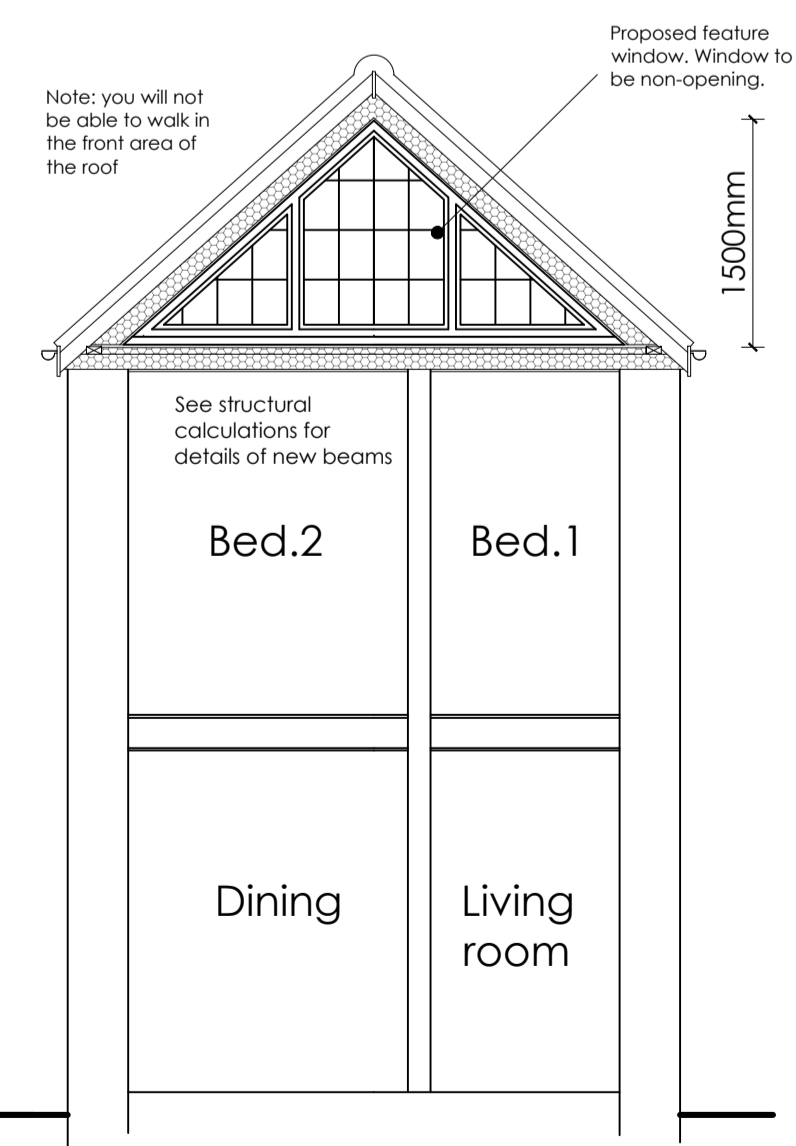
PERMITTED DEVELOPMENT:
The client has advised that the existing dwelling is not listed and not in a Conservation area.

- EXTENSION**
1. Not to exceed 3m from the rear wall - proposed extension to be 2.75m.
 2. Eaves height not to exceed 3m - proposed eaves height to be 2.5m.
 3. Total height not to exceed 4m - proposed height will be 3.4m.
 4. All materials to match the existing.

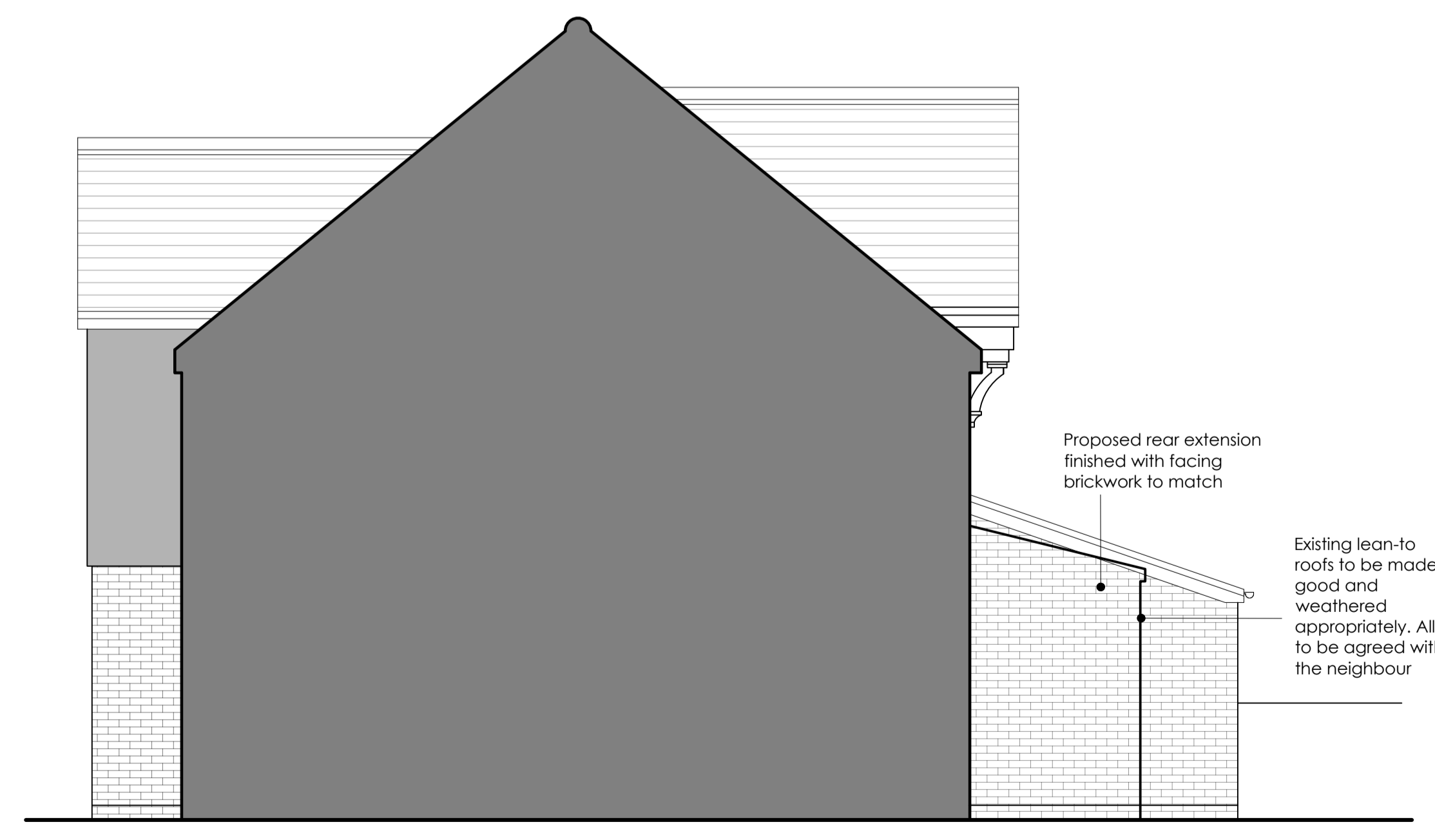
- LOFT CONVERSION**
1. Proposed rooflights not to protrude the roof by more than 150mm. 3No. conservation rooflights are proposed at the rear of the property.
 2. No further roof alterations or extensions are proposed on the main roof.
 3. A feature window is proposed on the front elevation.
 4. All materials to match the existing.
 5. Any new side windows shall include obscure glazing and fixed up to a height of 1.7m about floor height. The front feature window and the rooflights will all face to the front and rear only.



PROPOSED SECTION A:A 1:50



PROPOSED SECTION B:B 1:50



PROPOSED EAST ELEVATION 1:50



Unit 1 Gosling Craft Business Park
Long Furlong
Clapham Worthing
West Sussex BN13 3UT
01903 871131
cara@atterburymoore.co.uk

Client:

Address of Works: KITSONS, Lower Farm Cottages
Madehurst
West Sussex
BN18 0NU

Drawing Title: PROPOSED REAR EXTENSION & LOFT CONVERSION
PLANNING & BUILDING CONTROL

Paper Size: A1 Date: January 2024

Job Number: AR-185 Drawing Number: 02 Revision: Revision

General Notes:
1. Do not scale from these drawings (unless for planning purposes).
2. Drawings to be read in conjunction with the structural calculations and the building notes provided.
3. The client/contractor is advised to read the separate notes and the details provided in the structural calculations regarding the CDM regulations.
4. The property owner is reminded to serve a Party Wall Notice on any adjoining owner should they need to do so under the requirements of the Party Wall Act 1996.
5. No work should be undertaken until all consents (Planning and Building Control) have been received and approved in writing. Any work undertaken without consent is done so at the client's risk.
6. All dimensions to be checked on site prior to ordering any materials, kitchens or bathrooms.
7. All existing foundations and walls taking any additional loads are to be exposed and agreed with the Building Control Officer.

Revision	Date	Amendment