

Scheme of Biodiversity and Ecosystem Services Enhancements

In respect of the demolition of existing industrial building and construction of a building for storage of wine, granted under application SDNP/22/00396/FUL

North Farm, Chanctonbury Game, London Road, Washington, RH20 4BB

Prepared for
Wiston Estate

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Version **FINAL**

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1. INTRODUCTION

- 1.1. This Scheme of Biodiversity Ecosystem Services Enhancements (SBESE) has been prepared in relation to the grant of planning permission for the demolition of an industrial building and construction of a building for storage of wine, on land at North Farm, London Road, Washington.
- 1.2. Planning permission for the works was approved by South Downs National Park Authority (SDNPA) in a Decision Notice dated 23rd March 2022 (application reference: SDNP/22/00396/FUL).
- 1.3. The permission is subject to amongst others, Condition 7, which requires that prior to development above slab level, a detailed scheme of biodiversity and ecosystem services enhancements shall be submitted to and approved in writing by the local planning authority.
- 1.4. This SBESE details the proposed enhancements to be incorporated into the development.

2. PLANNING CONDITION

- 2.1. Condition 7 of planning permission SDNP/22/00396/FUL granted 23 March 2022 states that:

“Prior to development above slab level, a detailed scheme of biodiversity and ecosystem services enhancements to be incorporated into the development shall be submitted to and approved in writing by the Local Planning Authority.

The scheme shall identify and incorporate measures to secure net gains in biodiversity, carbon reduction and sustainable management of water resources, not limited to the following:

- i) Locally appropriate planting to support habitat creation;*
- ii) Creation of wildlife features such as habitat piles;*
- iii) Provision of a minimum of at least 1No bat and 1No bird box;*
- iv) Rainwater catchment/capture at source solutions for surface water run-off;*
- v) Renewable energy solutions such as pv panels, where feasible.*

The approved scheme shall be fully implemented and maintained in accordance with the approved details.

Reason: To ensure that the development provides an acceptable level of enhancement in accordance with the National Park's first purpose through the provision of ecological and ecosystem services enhancements, and biodiversity net gain.”

3. SCHEME OF BIODIVERSITY AND ECOSYSTEM SERVICES ENHANCEMENTS

3.1. Locally Appropriate Planting To Support Habitat Creation -

3.2. The approved development involves the replacement of a former agricultural building for a new building to be used as a wine store. The site area covers the footprint of the former building and sits within an existing yard area laid with hardstanding. It is therefore considered to be of no ecological value, with no opportunity to introduce new planting in this location.

3.3. Nonetheless, the approved scheme is an integral part of the overall redevelopment of North Farm and the Wiston Winery and associated vineyards, and this wider project is being brought forward to delivery onsite net gain biodiversity enhancements and overall improvement in ecological habitats. This includes, amongst other things, additional wildflower chalk grassland planting on land to the south and east of the north farm built enclave, as detailed on the Enhancements Plan attached at Appendix A.

3.4. Creation Of Wildlife Features Such As Habitat Piles -

3.5. It is proposed to create a small log pile for use as refugia by reptiles, amphibians, invertebrates and small mammals.

3.6. As detailed on the Enhancements Plan attached at Appendix A, the log pile would be located to the south of the built enclave, in the south western corner of the improved grassland area, east of the drainage basin.

3.7. The log pile would be in relatively shady area, by virtue of the adjacent trees, making it less prone to drying out and more suitable for a wide variety of wildlife, as well as fungi.

Figure 1 - Log pile (image courtesy of Greenhavens Network)



3.8. Provision Of A Minimum Of At Least 1No Bat And 1No Bird Box;

- 3.9. It is proposed that one bat box and one bird box be erected within the existing treeline to the north east of the application site, within the applicant's land ownership.
- 3.10. The bat box would be installed on one of larger mature trees, within the dense treeline sited to the north east of the application site, as identified on the Enhancements Plan attached at Appendix A.
- 3.11. It is considered this is the most suitable location for the bat box, as it would ensure a good level of shelter at high level, whilst also benefitting from sufficient sunlight during the day and good access to potential food sources. Being sited within a distinct treeline is also beneficial for the bats in regards to navigation.
- 3.12. The bat box will help create new roosting opportunities on the Estate, which, in turn, would lead to other biodiversity benefits, including increased plant pollination and seed distribution across the applicant's land and surrounding area¹.
- 3.13. The bat boxes installed would be the 'WoodStone - Harlech' variety (Figure 1), or if not available at the time of purchase, then a similar alternative would be sourced. The Harlech Woodstone boxes are well insulated and constructed from a mix of concrete and wood fibres for durability.

Figure 1 - Woodstone - Harlech Bat Box



¹ www.bigbatbox.com/blogs/learn/7-benefits-of-your-new-bat-house

- 3.14. One bird box is also proposed to be erected within the same treeline as the bat box, sited northeast of the application site, as detailed in the Enhancements Plan at Appendix A.
- 3.15. The bird box installed would be the 'WoodStone - Seville Oval Hole' variety (Figure 2), or if not available at time of purchase, then a similar alternative from the 'WoodStone' range would be sourced.

Figure 2 - Woodstone - Seville Oval Hole Bird Box



- 3.16. The WoodStone bird boxes are made from a mix of concrete and wood fibres, providing a high level of thermal insulation and durability, particularly when compared with standard wooden bird boxes.
- 3.17. If possible, the bird box will be erected at least 2.5m from ground level on a mature tree.
- 3.18. The bird box will help create new breeding opportunities on the Estate, which, in turn, would lead to other biodiversity benefits, including increased plant pollination and seed distribution across the applicant's land and surrounding area.

3.19. Rainwater Catchment/Capture At Source Solutions For Surface Water Run-Off

- 3.20. Surface water run-off from the roof of the approved building will be directed to the sustainable surface water drainage system approved as part of the wider redevelopment of North Farm. In particular, it will discharge to the existing drainage basin located to the south of the winery and north of the main grade separated access to the site, as detailed in the Enhancements Plan at Appendix A.

3.21. Renewable Energy Solutions Such As PV Panels

- 3.22. As detailed in the recently submitted Design Stage Sustainable Construction Report, in respect of Condition 5, it is proposed to install a 4kWp photovoltaic system on the south facing roof of

the building. This equates to 16 x 250 watt panels and requires approximately 26 sqm of the available roof area, as detailed in the proposed south and east elevational drawings attached at Appendix B.

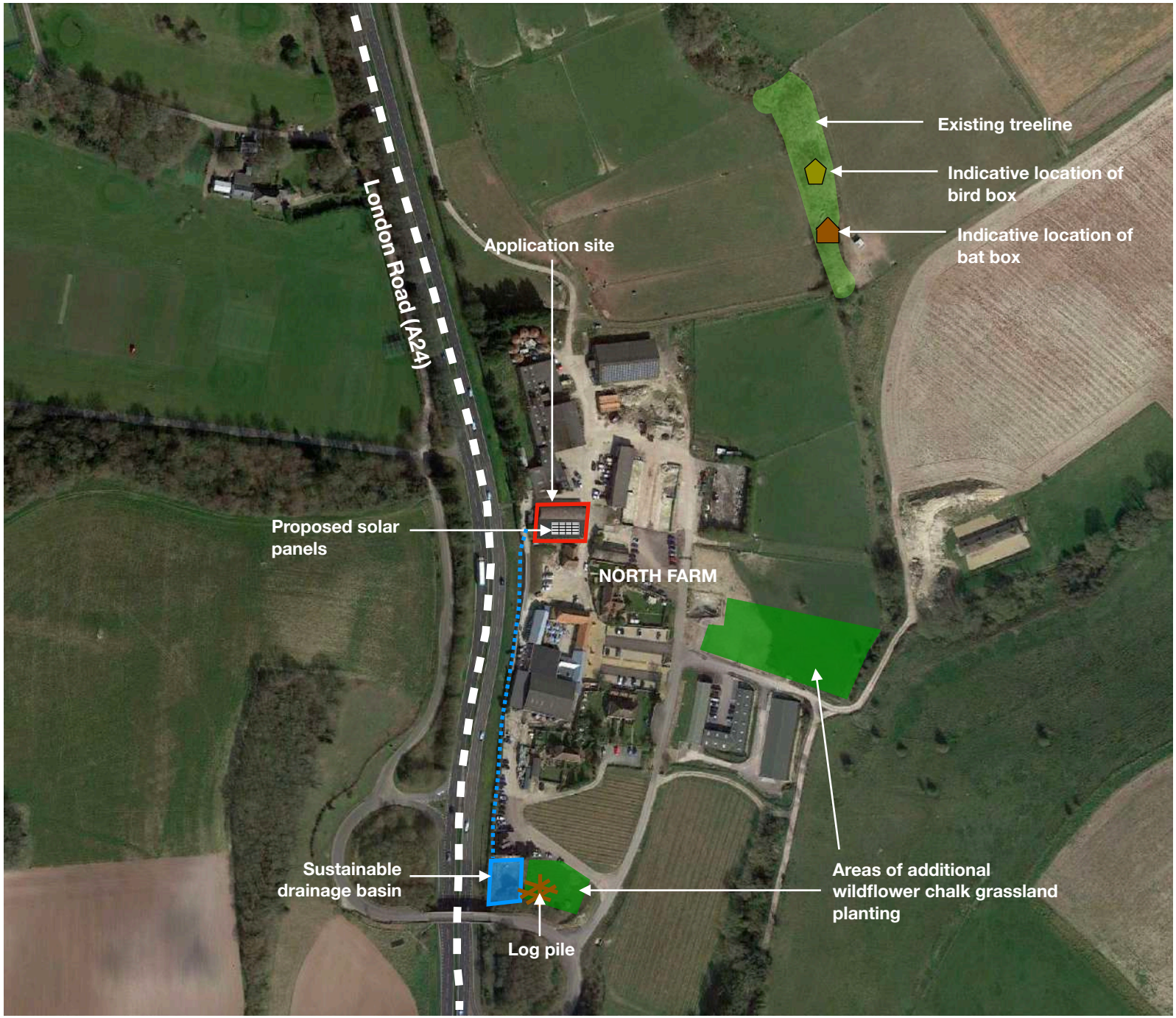
- 3.23. It has been calculated that the panels will generate approximately 3,065 kWh of electricity, which equates to 0.3 tonnes of CO₂.
- 3.24. Overall the panels will deliver a 41.5% saving in the energy use of the building compared to the building regulation target emission rate.

4. SUMMARY

- 4.1. This Statement sets out a Scheme of Biodiversity and Ecosystem Services Enhancements which are to be provided in conjunction with the implementation of planning permission SDNP/22/00396/FUL for the construction of a replacement building for the storage of wine, on land at North Farm, London Road, Washington.
- 4.2. The ecological enhancements comprise the proposed provision of bat and bird boxes on the Estate, the creation of a small log pile to provide refuge for a wide array of wildlife, additional wildflower chalk grassland planting on land to the south and east of the north farm built enclave, the provision of on-site renewable energy in the form of 16 solar PV panels on the roof of the approved building, generating approximately 3,065 kWh of electricity, and the use of the existing sustainable drainage basin, for discharging the surface water run-off.
- 4.3. It is submitted that the proposed features would create biodiversity and ecosystem services enhancements to the application site and wider Wiston Estate, in accordance with the Policy SD2 of the adopted South Downs National Park Local Plan and National Planning Policy Framework.
- 4.4. On that basis, it is requested that Condition 7 of planning permission SDNP/22/00396/FUL is discharged.

APPENDIX A

(Biodiversity Ecosystem Services Enhancements Plan)



London Road (A24)

Application site

Proposed solar panels

NORTH FARM

Sustainable drainage basin

Log pile

Areas of additional wildflower chalk grassland planting

Existing treeline

Indicative location of bird box

Indicative location of bat box

APPENDIX B

**(Proposed South and East Elevations Detailing
Solar PV Panels)**

