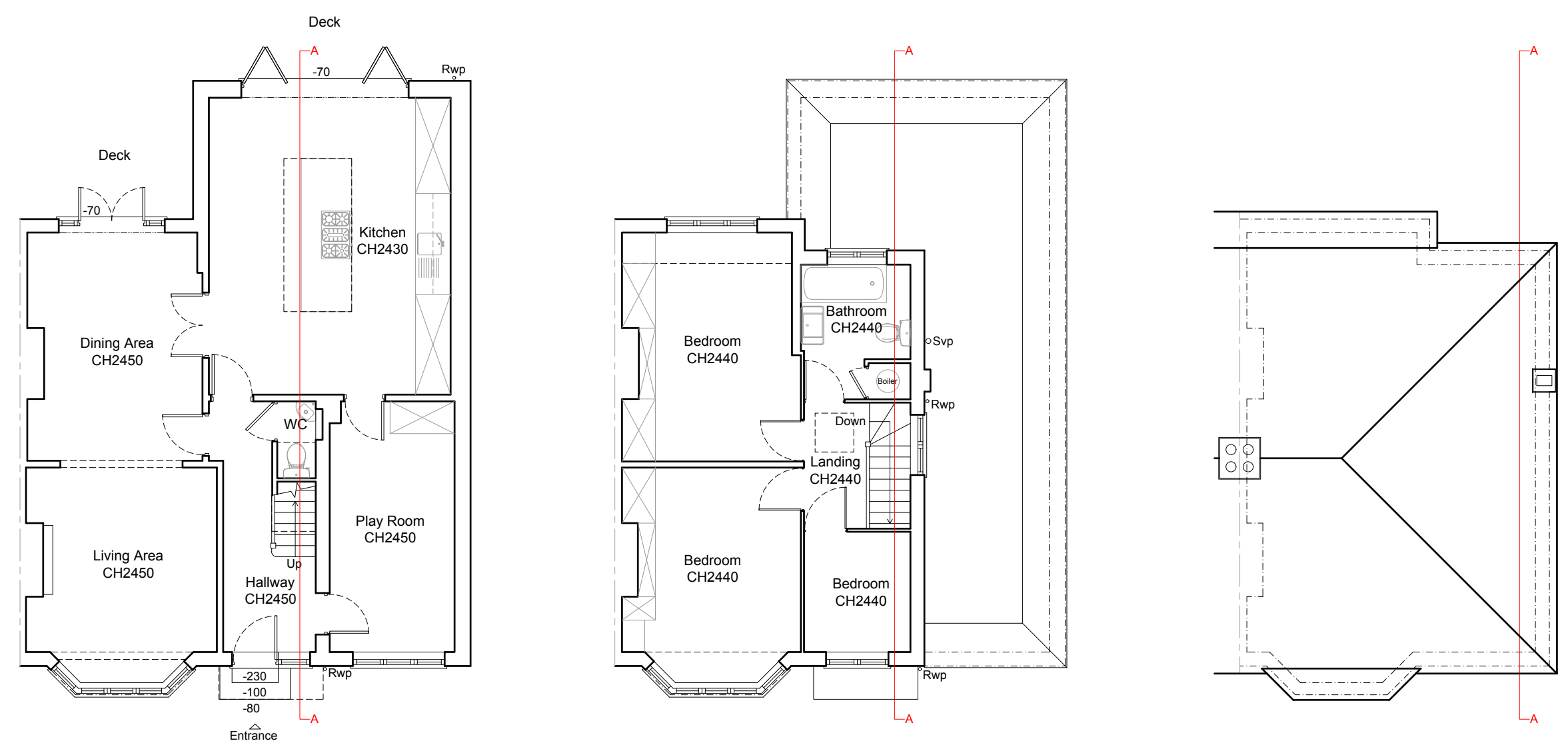


NOTES:  
 © COPYRIGHT - DETAILED PLANNING LTD  
 All dimensions should be checked on site prior to works commencing. Variations in squariness, depth of plaster etc. must be checked for. Where new walls are shown as aligned with existing walls, physical removal of brickwork and / or plaster to establish the actual position of the wall being attached to must be checked.  
 Any discrepancies should be reported in writing immediately.  
 When printing off PDFs, check that the drawings are printed to correct paper size and scale.  
 Documents should be used as to the drawing status described.  
 Property owner to ensure that all aspects of the "party wall etc. act 1994" are complied with prior to any works commencing on site.  
 Client to be aware of CDM duties and appoint as appropriate.



Ground Floor Plan  
As Existing 1:100

First Floor Plan  
As Existing 1:100

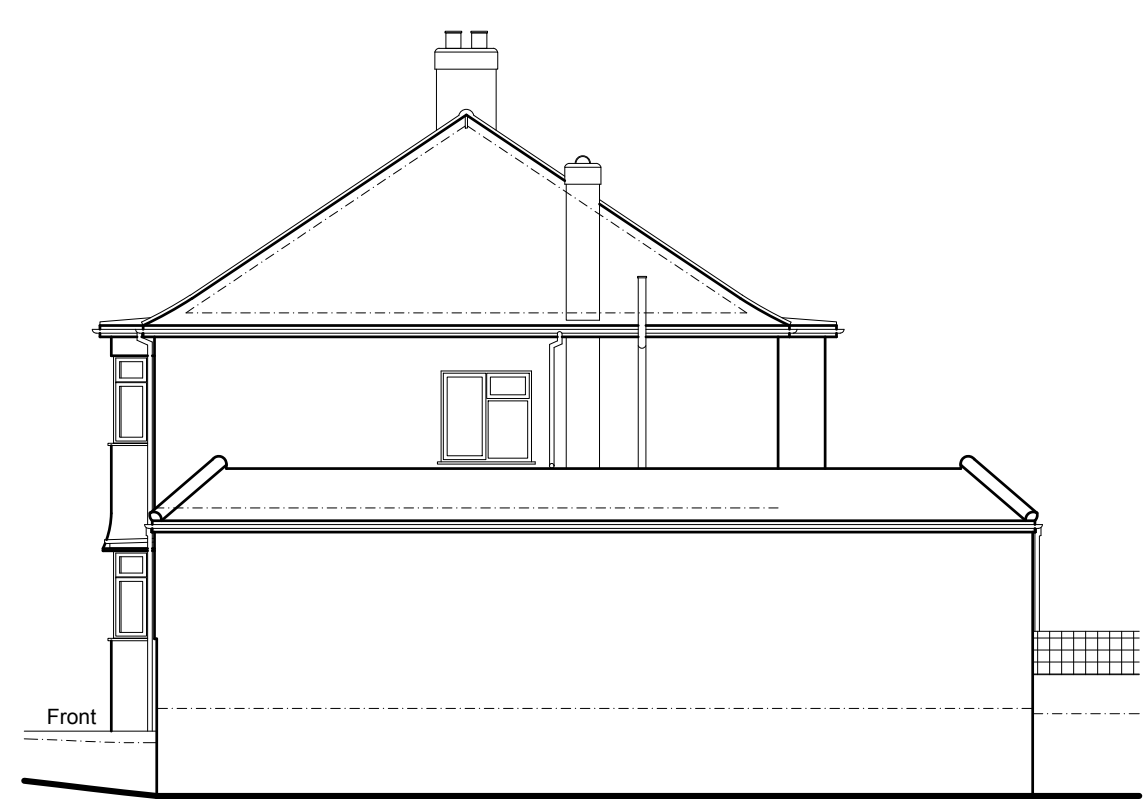
Roof Plan  
As Existing 1:100



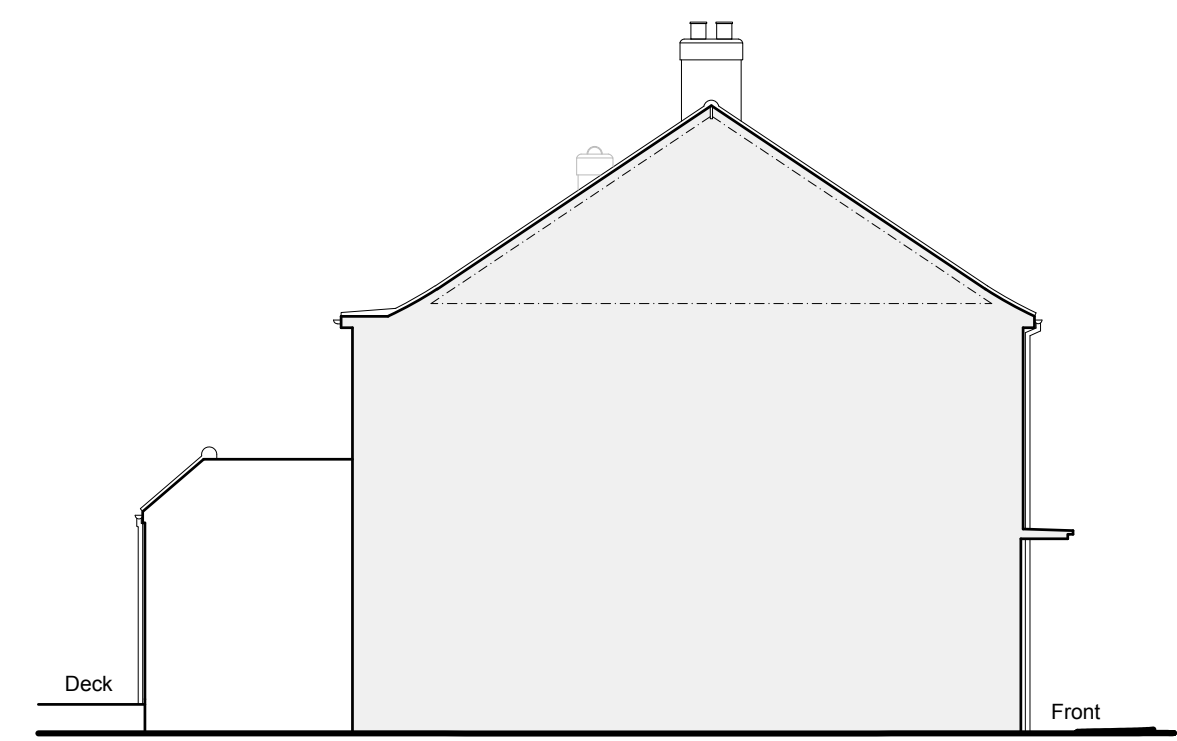
Front Elevation  
As Existing 1:100



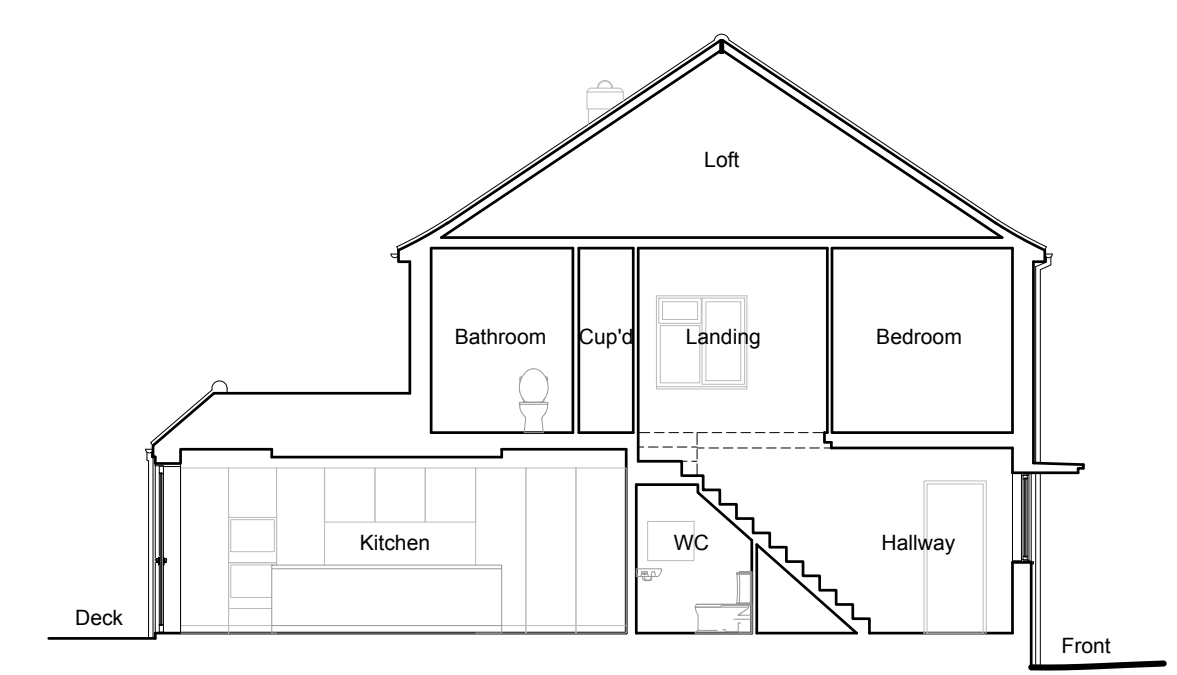
Rear Elevation  
As Existing 1:100



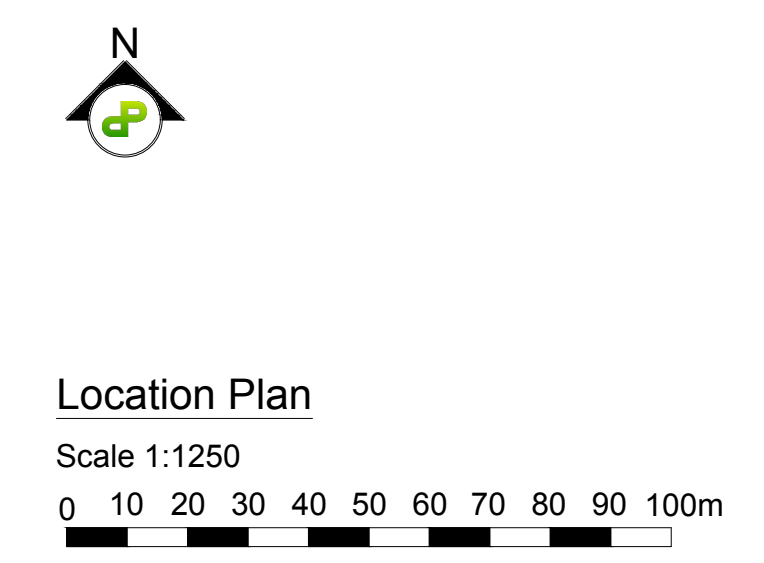
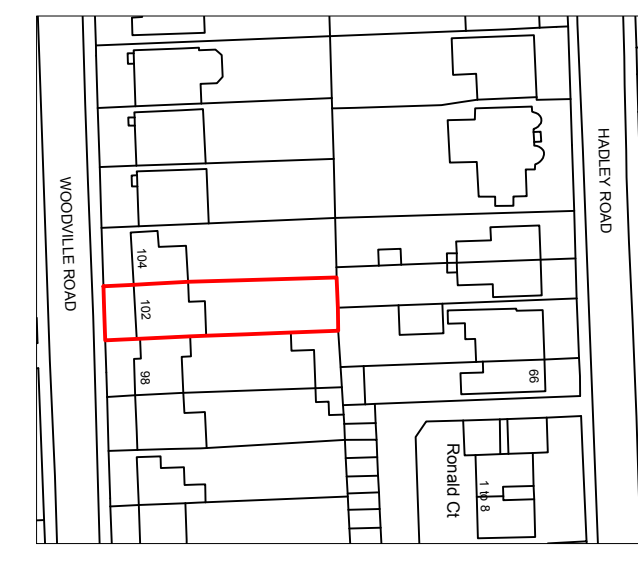
Side Elevation  
As Existing 1:100



Side Elevation  
As Existing 1:100



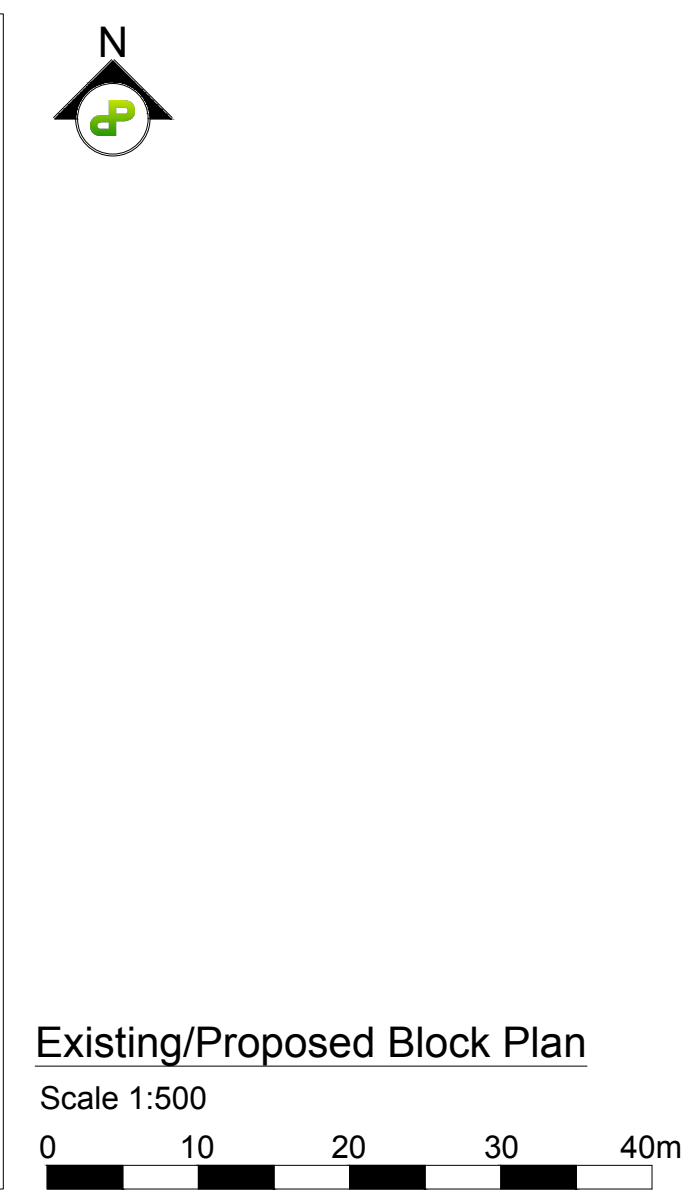
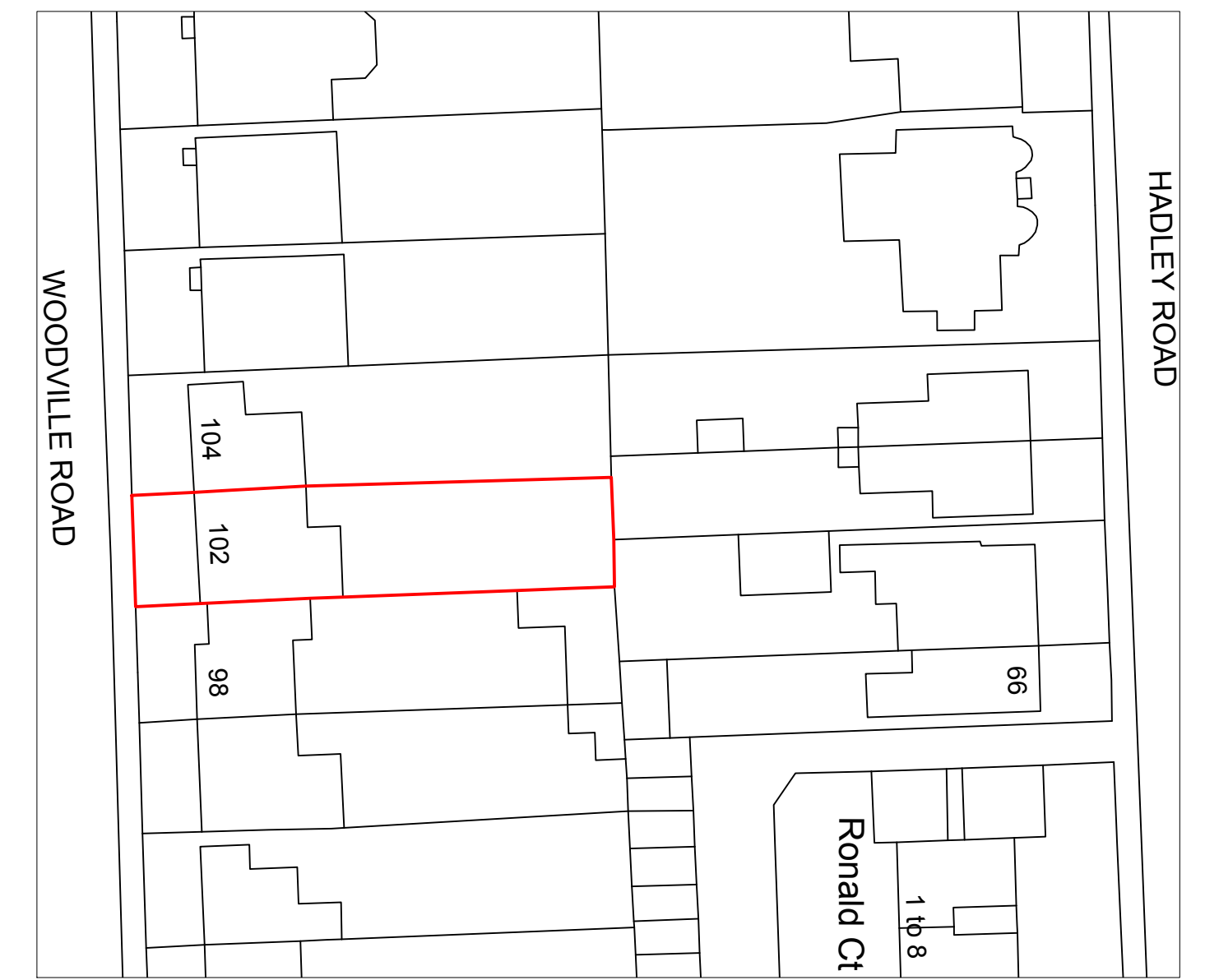
Section A-A  
As Existing 1:100



Location Plan

Scale 1:1250

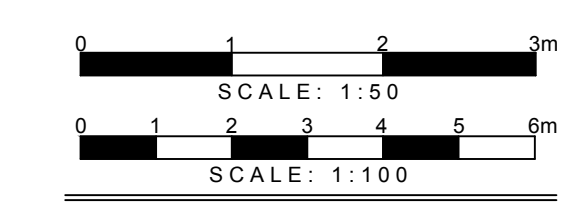
0 10 20 30 40 50 60 70 80 90 100m



Existing/Proposed Block Plan

Scale 1:500

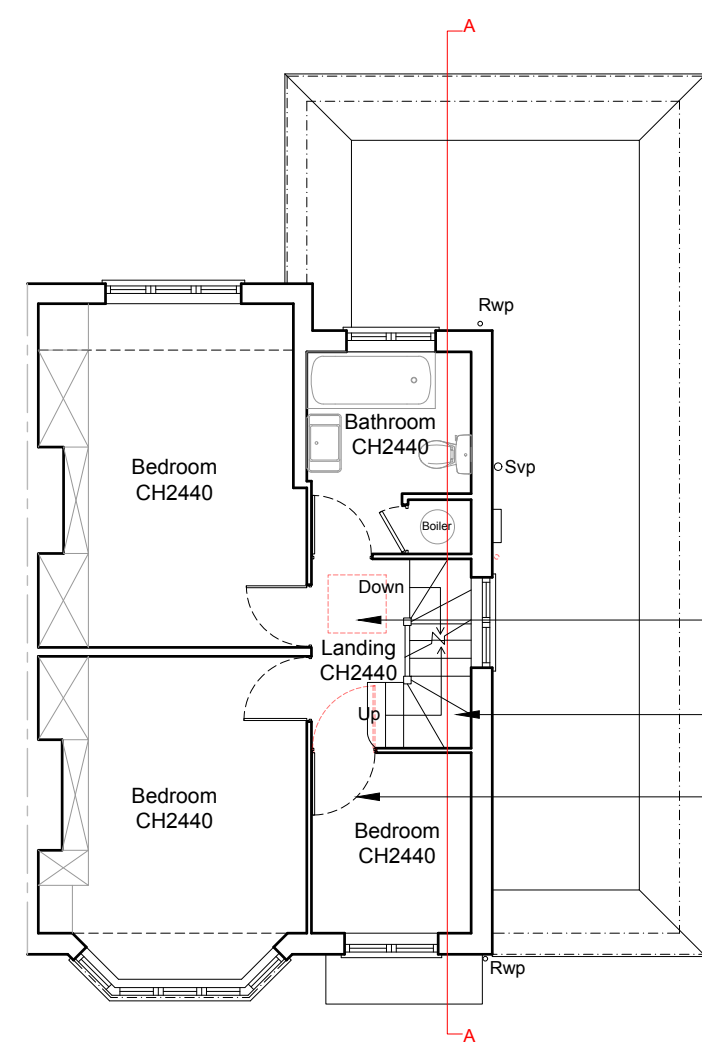
0 10 20 30 40m



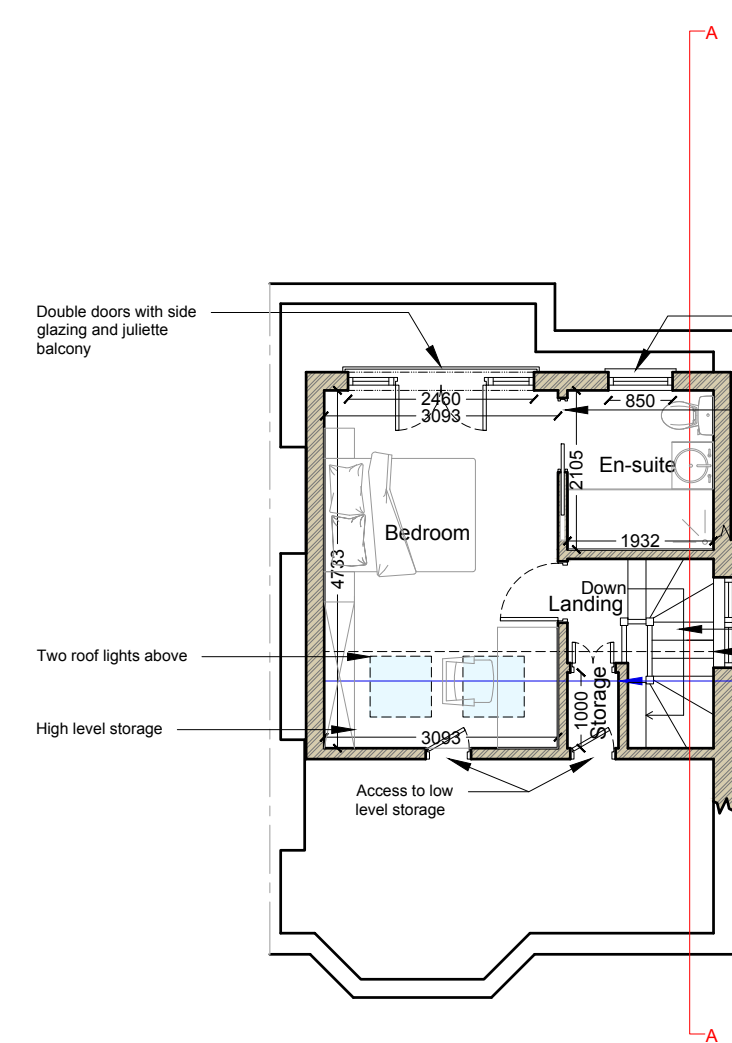
DETAILED PLANNING

GREENSIDE HOUSE  
 50 STATION ROAD  
 LONDON, N22 7DD  
 T 0208 1500 494  
 E INFO@DETAILED-PLANNING.CO.UK  
 WWW.DETAILED-PLANNING.CO.UK

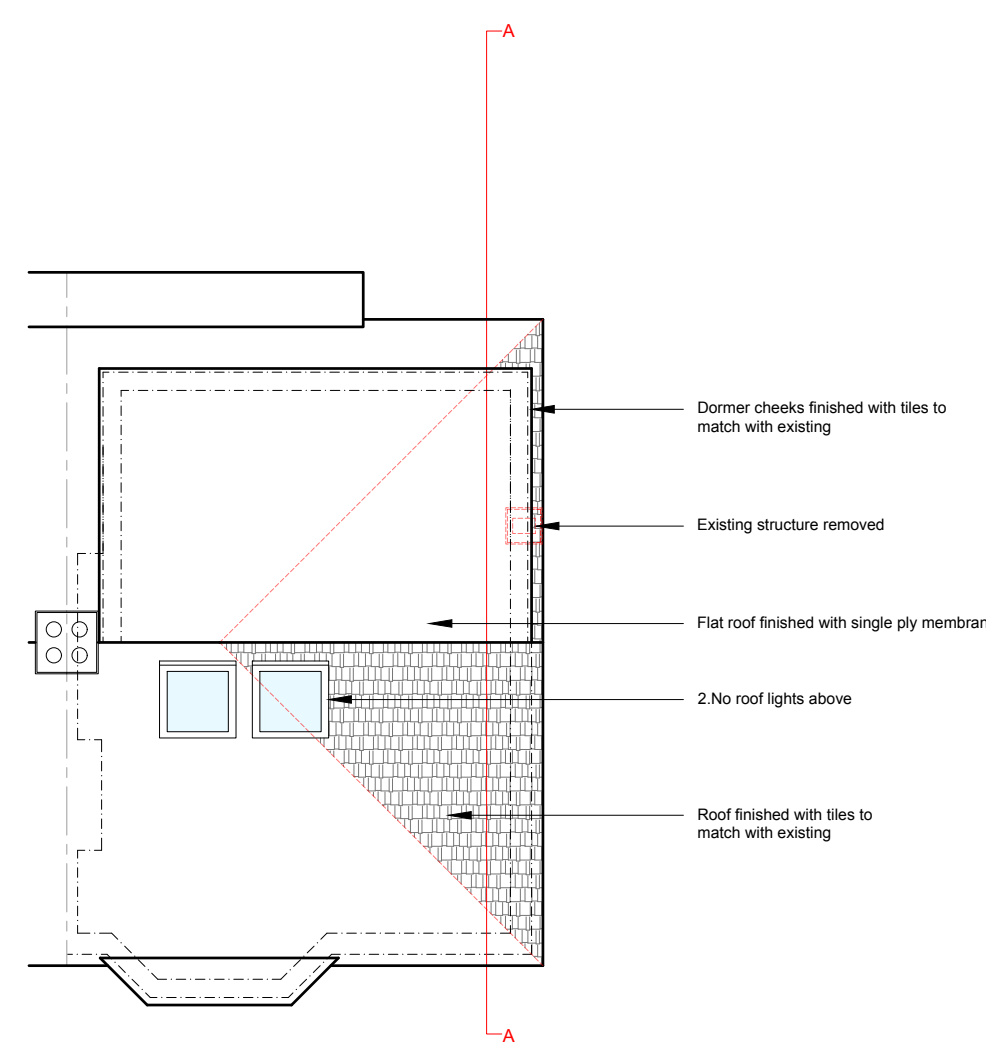
SITE			
102 Woodville Road, ENS SNJ, London			
DRAWING TITLE			
Location Plan, Block Plan, Existing Drawings			
DRAWINGS STATUS			
Planning			
SCALE	DATE	DRAWN	CHECKED
As Noted @ A1	Jan-2024	LM/D.C	P.C./E.E
DRAWING NO:		REVISION	
2387KS_LDC_SHT		0	



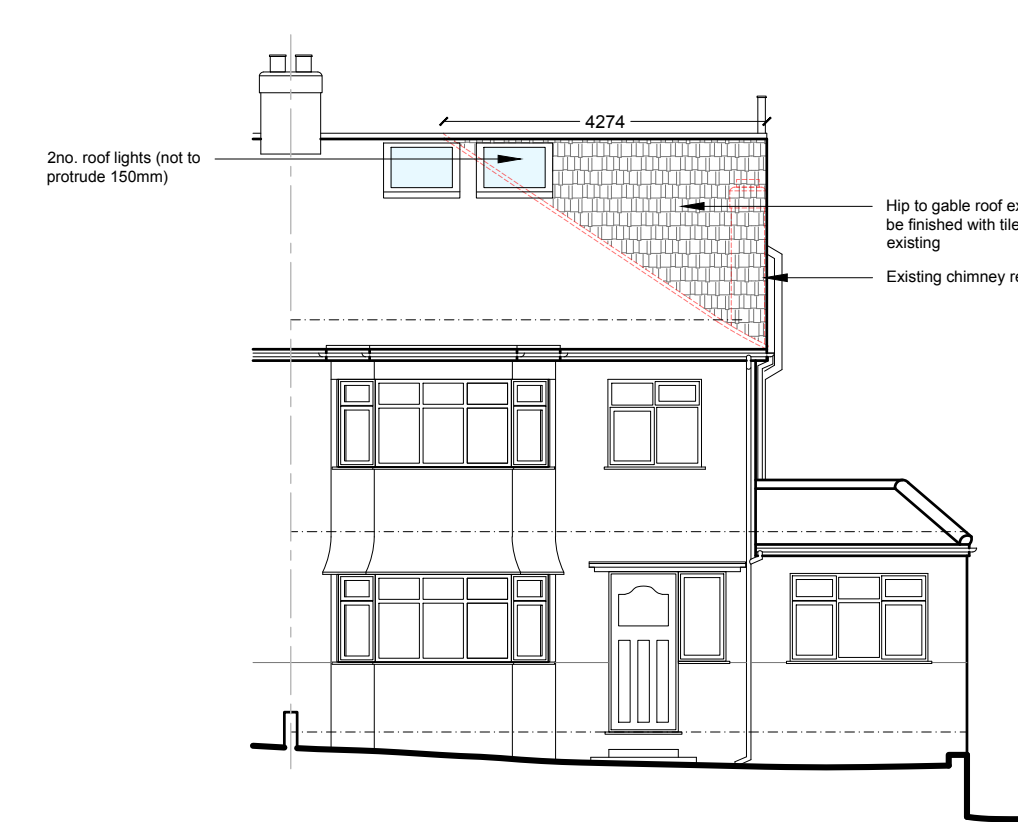
First Floor Plan As Proposed 1:100



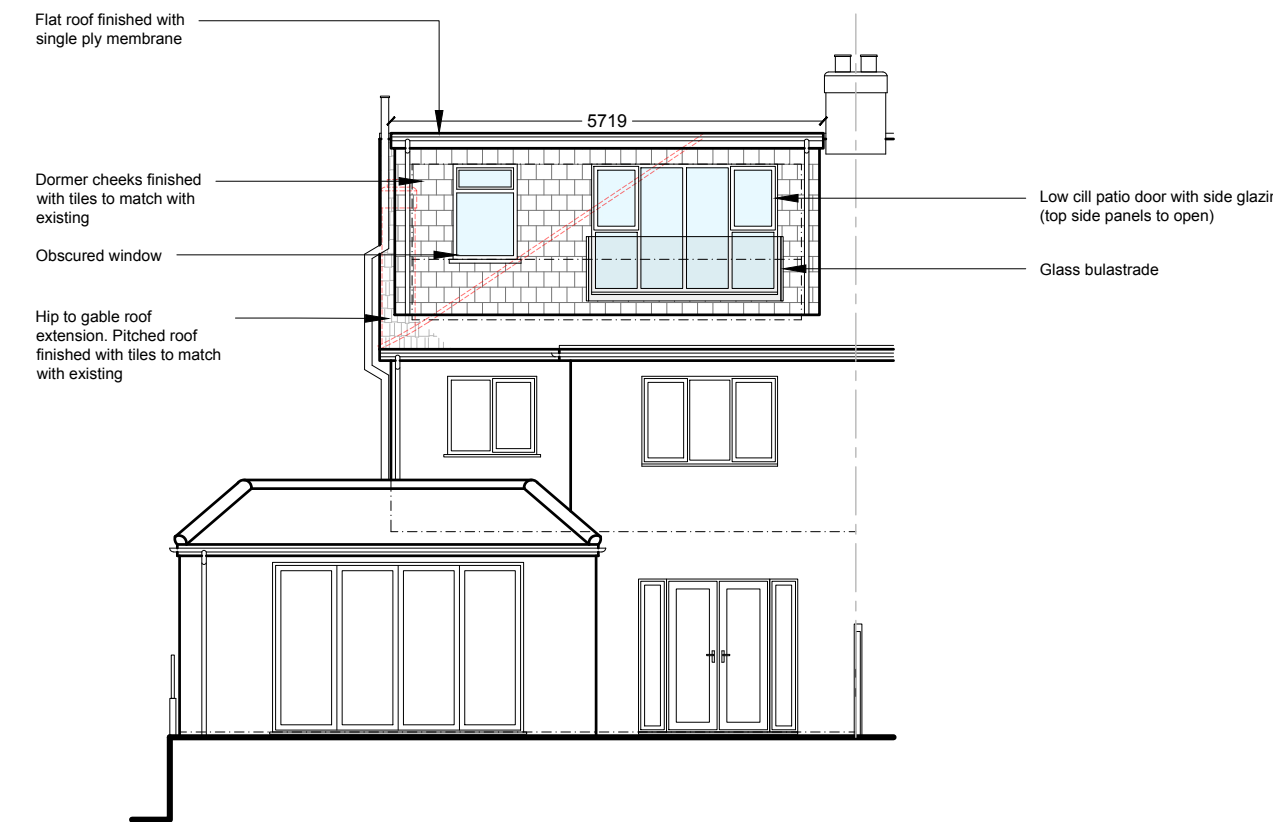
Loft Plan As Proposed 1:100



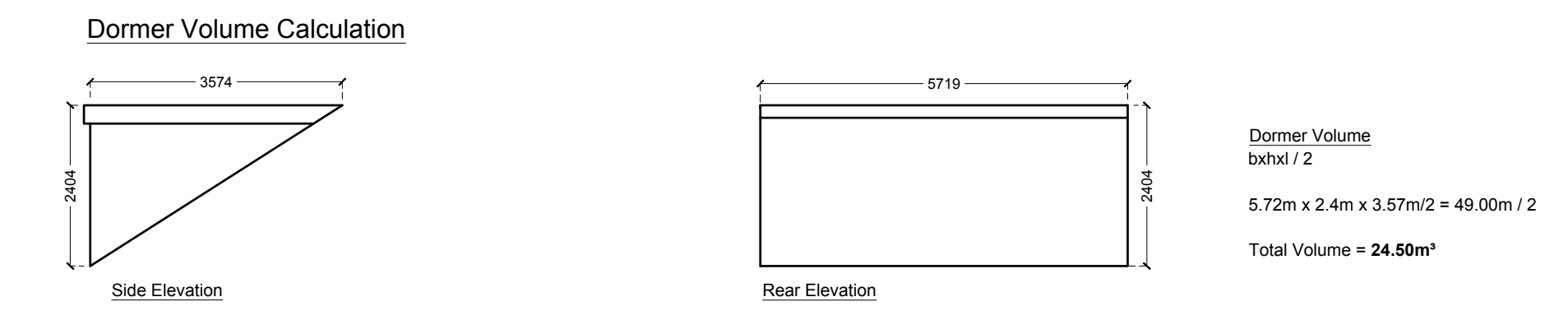
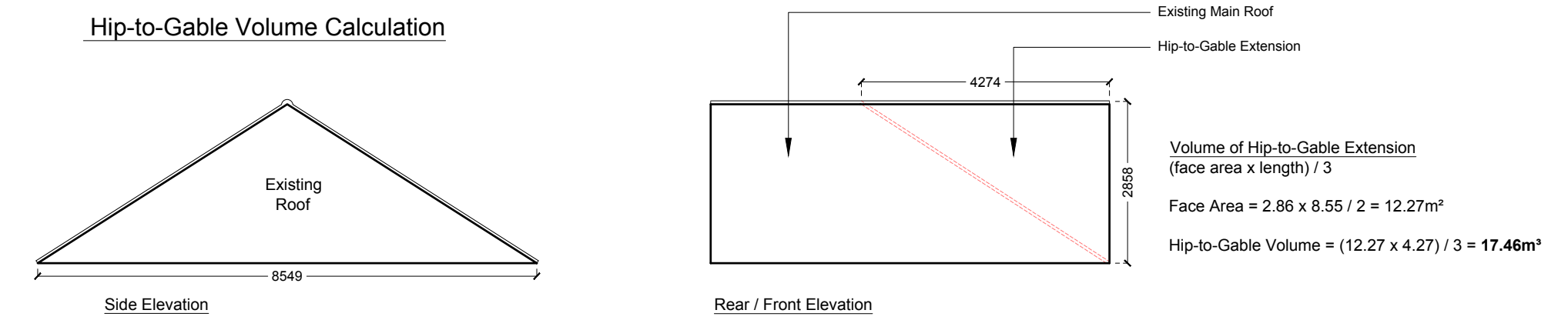
Roof Plan As Proposed 1:100



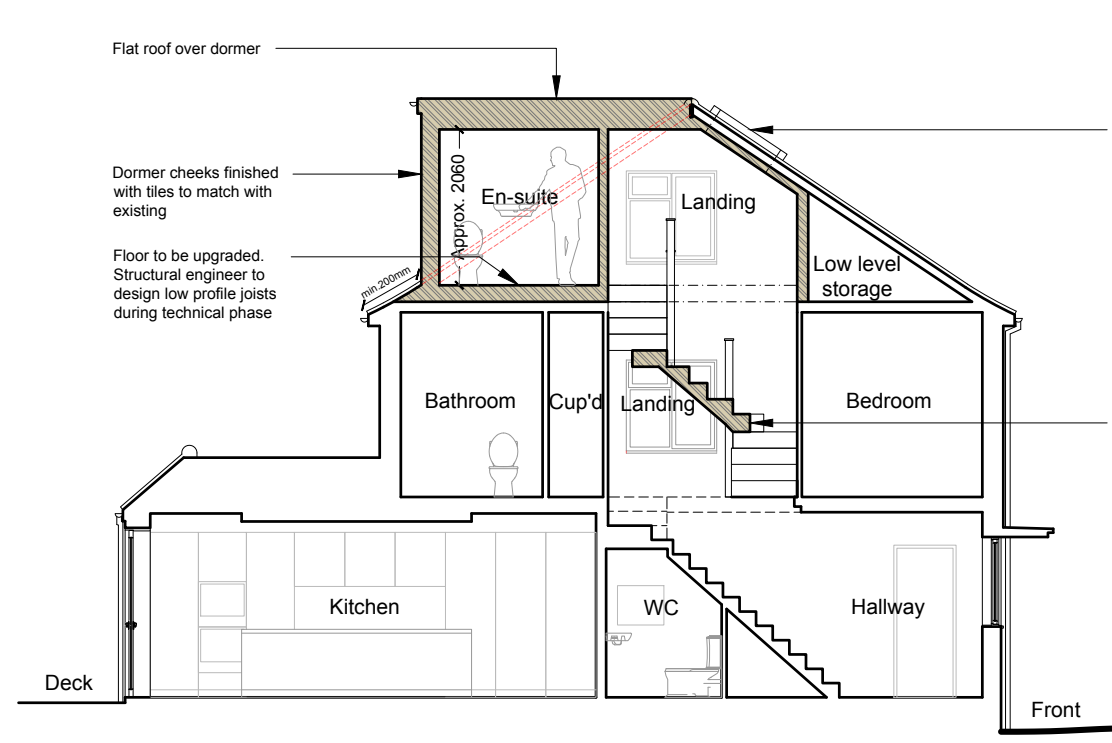
Front Elevation As Proposed 1:100



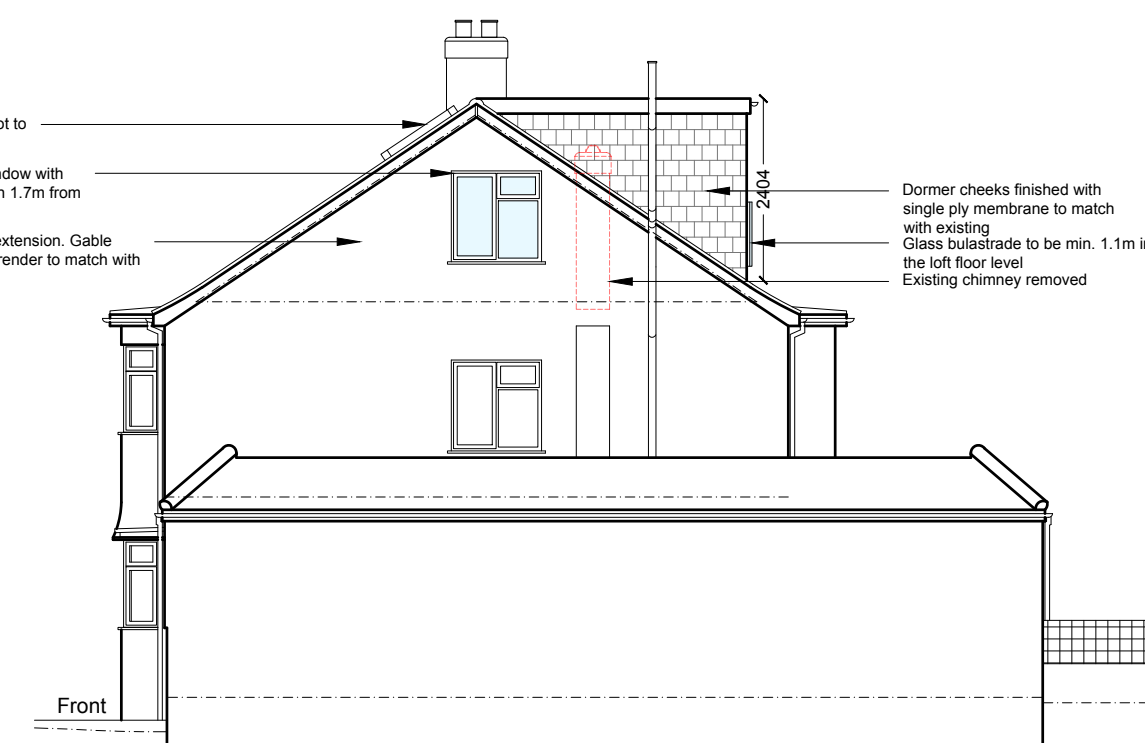
Rear Elevation As Proposed 1:100



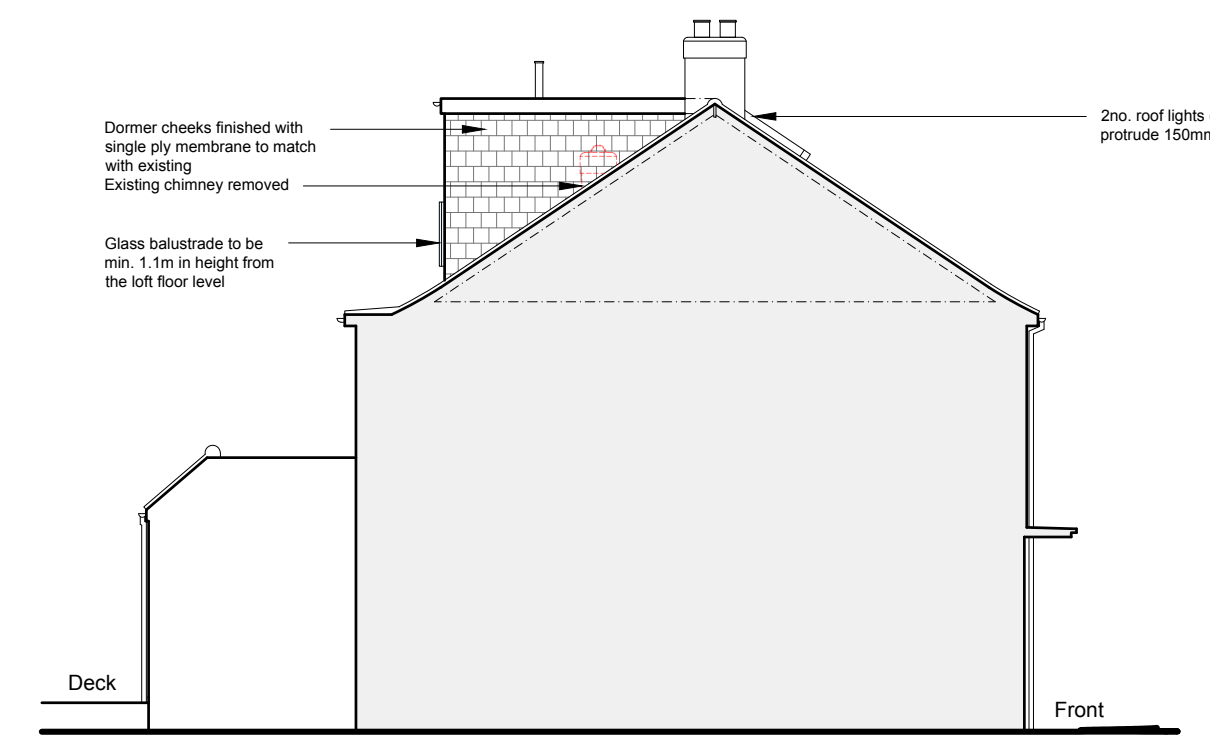
**Total Volume: Hip-to-Gable Volume + Dormer Volume**  
 $17.46 + 24.50 = 41.96 < 50\text{m}^3$  Permitted Development allowance



Section A-A As Proposed 1:100



Side Elevation As Proposed 1:100



Side Elevation As Existing 1:100

