

General

This drawing is to be read in conjunction with Sedgwick standard contract documentation and all other documents, unless otherwise arrangements have been agreed with the Contract Administrator.

Do not scale this drawing, except for plotting purposes. The Contractor shall check all dimensions and levels on site prior to construction of the existing structure. Any discrepancies shall be reported to the Contract Administrator **222** to Design Engineer. All dimensions shown include finishes.

Layout of the works is to remain unaltered unless otherwise agreed with the Contract Administrator **222** the Design Engineer.

Contractor shall include all services (including overhead) prior to commencement of any works on site and liaise with the Contract Administrator.

All temporary works are to be designed and detailed by the Contractor, including the provision for pumping, shoring & propping. Design to be undertaken by a suitably qualified professional.

All excavations and exposed foundations are to be adequately supported and protected by the Contractor at all times in accordance with Health & Safety requirements.

All materials to be fit for purpose and all works, whether specified or implied, to be in accordance with current Building Regulations, British Standards, Codes of Practice and accepted good building practice.

All proprietary products are to be installed strictly in accordance with the manufacturers recommendations.

On completion of the works the Contractor shall be responsible for reinstating the surrounding ground to its original state.

The structural design has been prepared in accordance with the CDM Regulations. In addition to the usual risks associated with building works and materials the Contractor should also ensure:

that demolition, excavation, drilling, cutting etc into existing structures or materials be carried out carefully in case there are any hidden services

that all items to be demolished or removed, eg walls, beams, slabs etc, are assessed for any loadbearing or stability function and temporary propping provided as necessary

that any existing structure or materials to be drilled, cut or otherwise disturbed be checked for asbestos content and appropriate action taken

Walls

External leaf: 100mm N/level concrete blocks laid in MK (ii) mortar, rendered externally and painted to match that of the main house. (Right hand wall not to be rendered) - further detail only.

Internal leaf: 100mm (lightweight) Thermally Shield blocks to BS 6703 (or similar approved) laid in MK (ii) mortar.

In areas of the country in driving rain of very severe exposure, as shown in Building Regulations Part C and Part C Schedule 6.1, full air cavity insulation is not permitted.

Wall ties in new wall construction are to be stainless steel and of length to comply with the Building Regulations Part A, Table 5, with a minimum embedment of 50mm into each leaf. They shall be installed at maximum 900mm out horizontally and at 450mm vertically. They shall be installed at maximum 900mm out horizontally and at 450mm vertically. They shall be installed at maximum 900mm out horizontally and at 450mm vertically. They shall be installed at maximum 900mm out horizontally and at 450mm vertically.

Walls shall be level or sloping towards the outside, with any dips pointing downwards.

During construction the difference in height between two leaves of a cavity wall shall never exceed 150mm. On steel masonry beam slabs shall be built up together to avoid missing the barge.

All masonry below ground level to be suitable for purpose, as designated by a tickback dip level where there are subsides in the ground, unless stability is confirmed by the block manufacturer. Where surplus levels are class 3 or higher Slope Reinforcing Portland Cement (SRPC) to be used for the mortar.

Blockwork bond/thickness shown on details are for illustration purposes only.

Roof

Trusses/rafter roof structure to be designed and supplied by TPA approved specialist manufacturer.

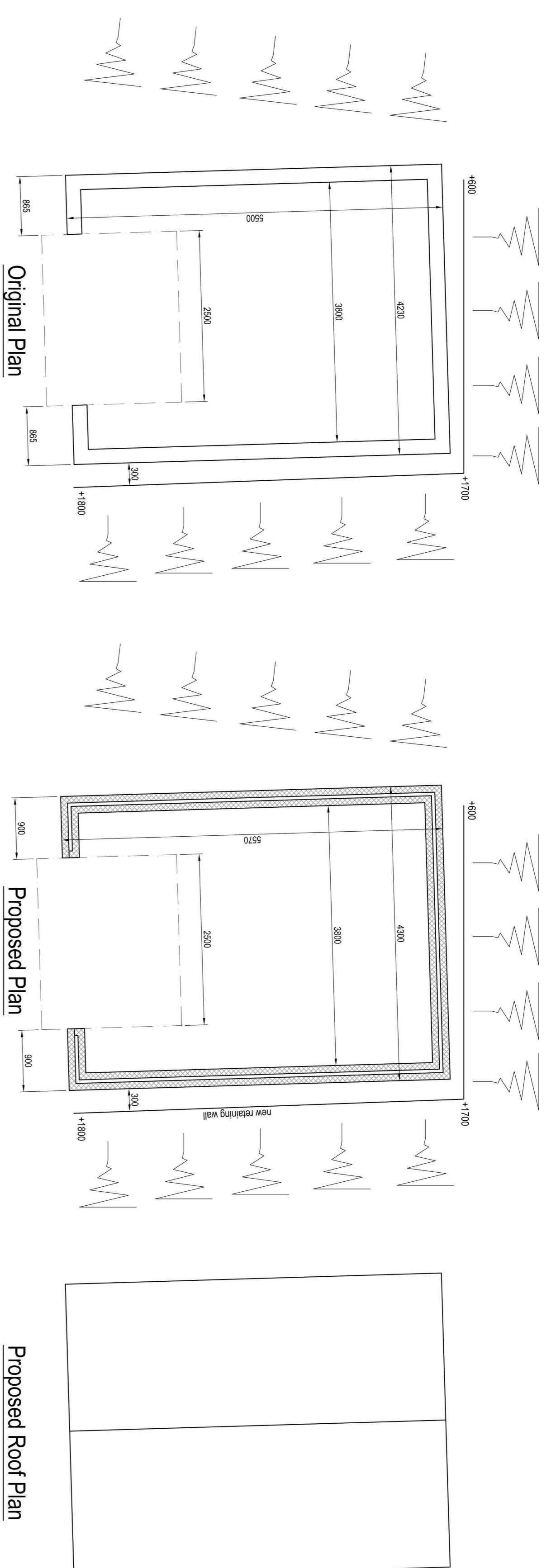
All calculations and construction details for trusses are to be submitted to Sedgwick for approval a minimum of 21 days prior to commencement of manufacture. A set of calculations and construction details shall be forwarded to the Design Engineer for their records.

100% longitudinal, diagonal and chevron bracing shall be laid throughout the roof in accordance with BS 5268 Part 3.

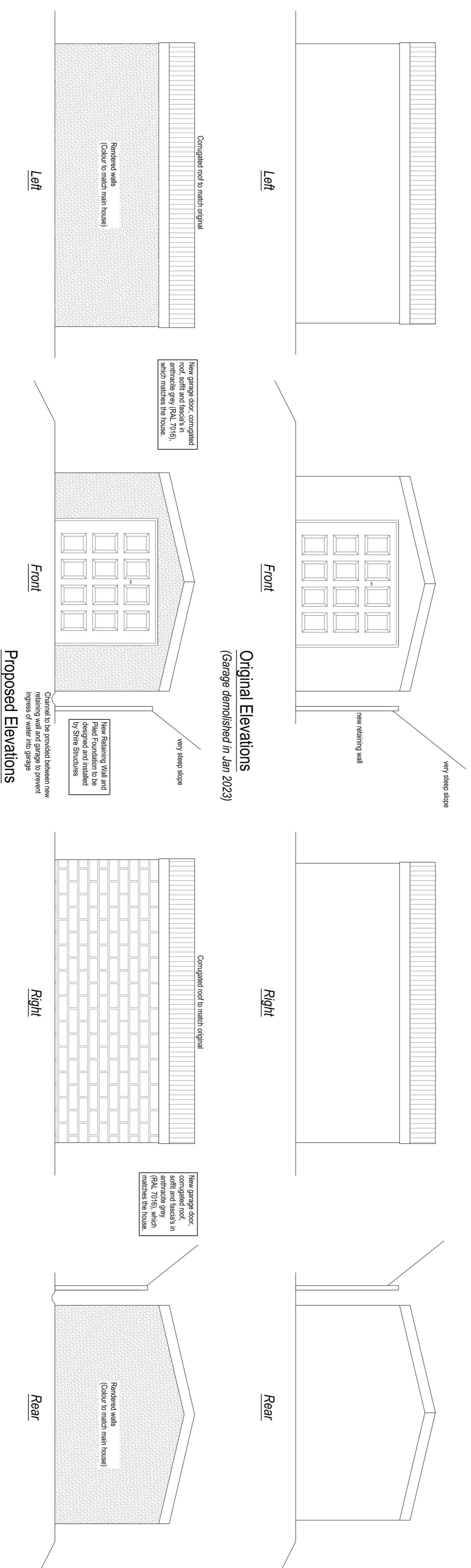
Contractor to carry out a detailed survey of the existing structure to check and confirm all dimensions, sizes and pitch for reworking on to the new manufacturer.

Roof covering to match the existing and to be approved by the Contract Administrator prior to installation.

Ridge or high level ventilation equivalent to a continuous opening of 8mm required (in accordance with BS 5250).



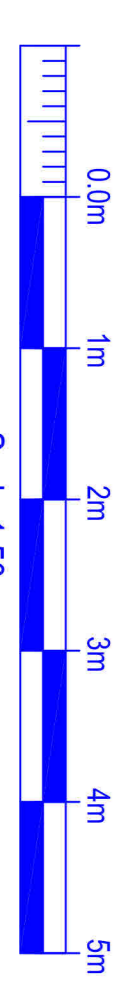
Original Elevations (Garage demolished in Jan 2023)



Proposed Elevations

SUBJECT TO LOCAL PLANNING AUTHORITY APPROVAL NOT FOR CONSTRUCTION

PLEASE NOTE LOCAL BUILDING CONTROL APPROVAL IS NOT REQUIRED



JOB ID	Compton		
SITE ADDRESS	"lands" Giddynap Lane Amberley, STROUD GL5 5BA		
PROJECT	Reconstruction of Detached Garage following Severe Damage Deemed by Subsidence		
DRAWING TITLE	Original and Proposed Elevations and Plans		
INITIAL DWG DATE	DRAWN BY	MS	
August 2023			
SCALE	DWG SIZE	A1	
1:50			
REFERENCE	DWG No.	110	Rev. B
9401290			