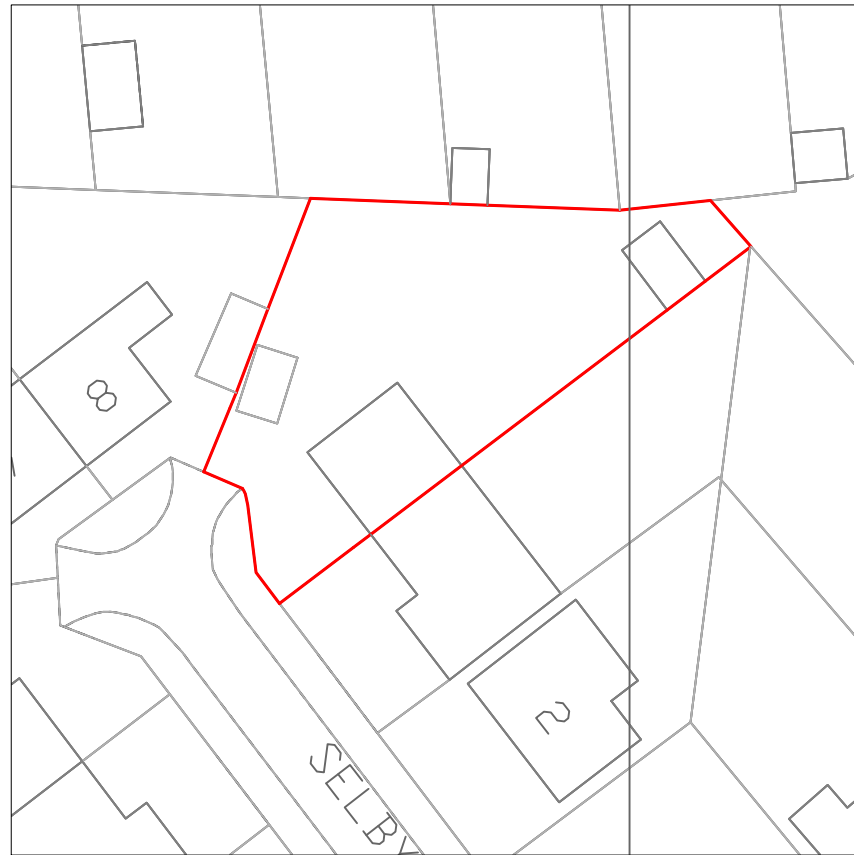
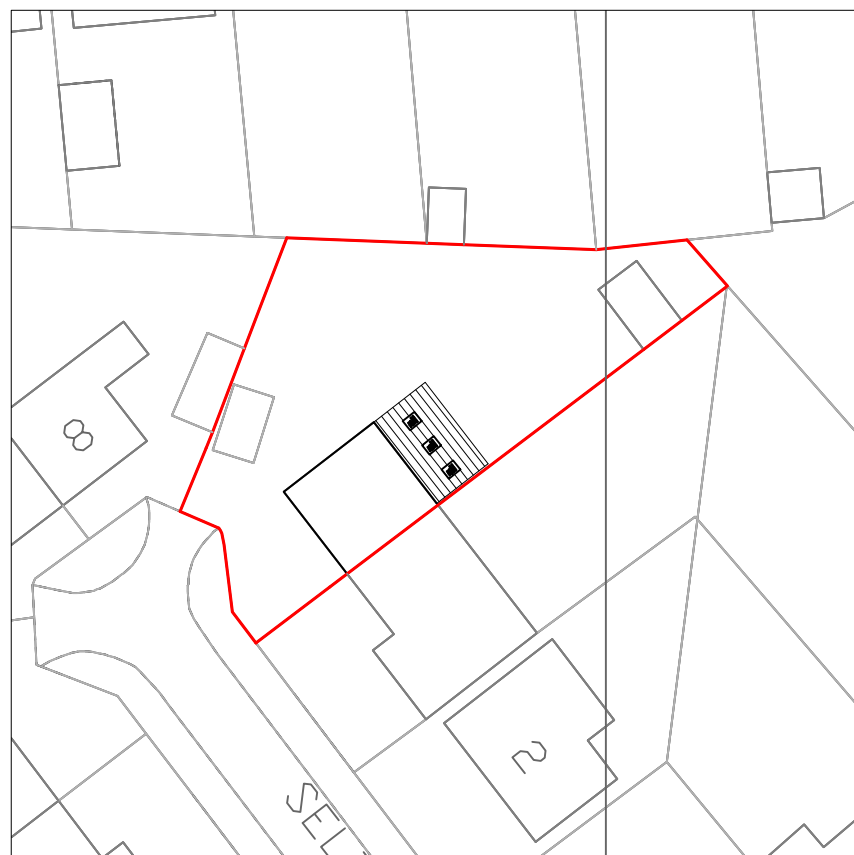




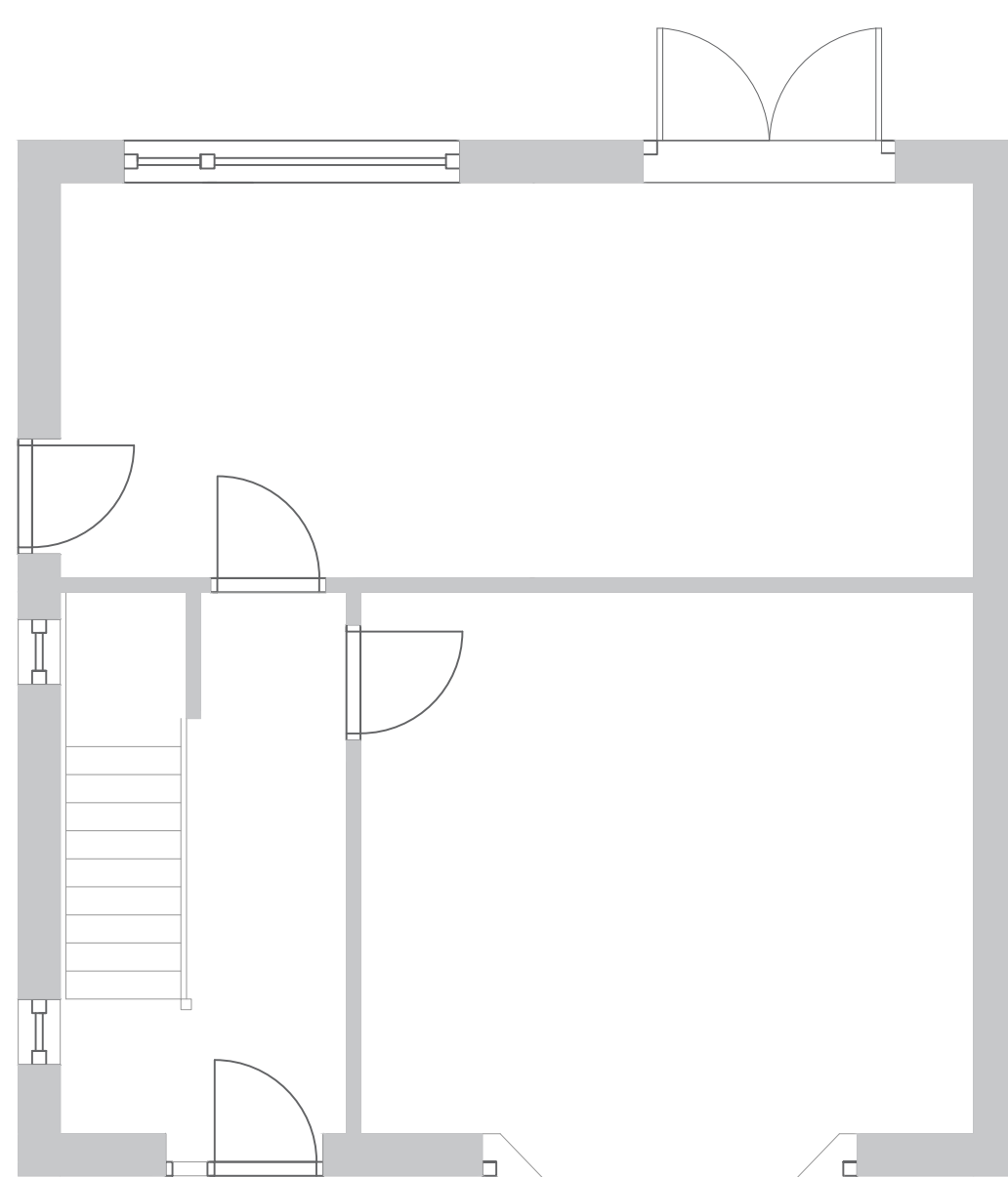
Location plan 1:1250



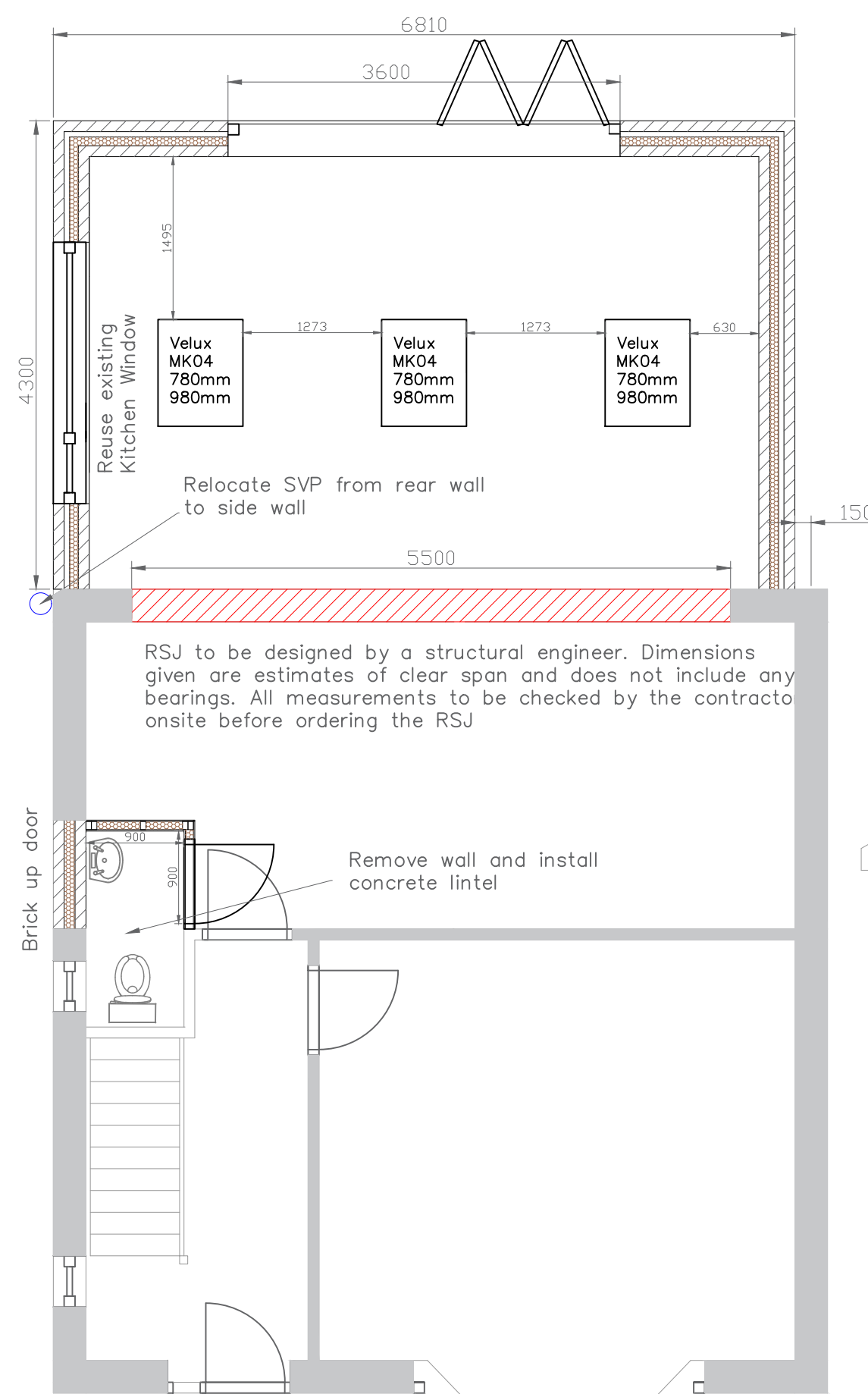
Existing Site Plan 1:500



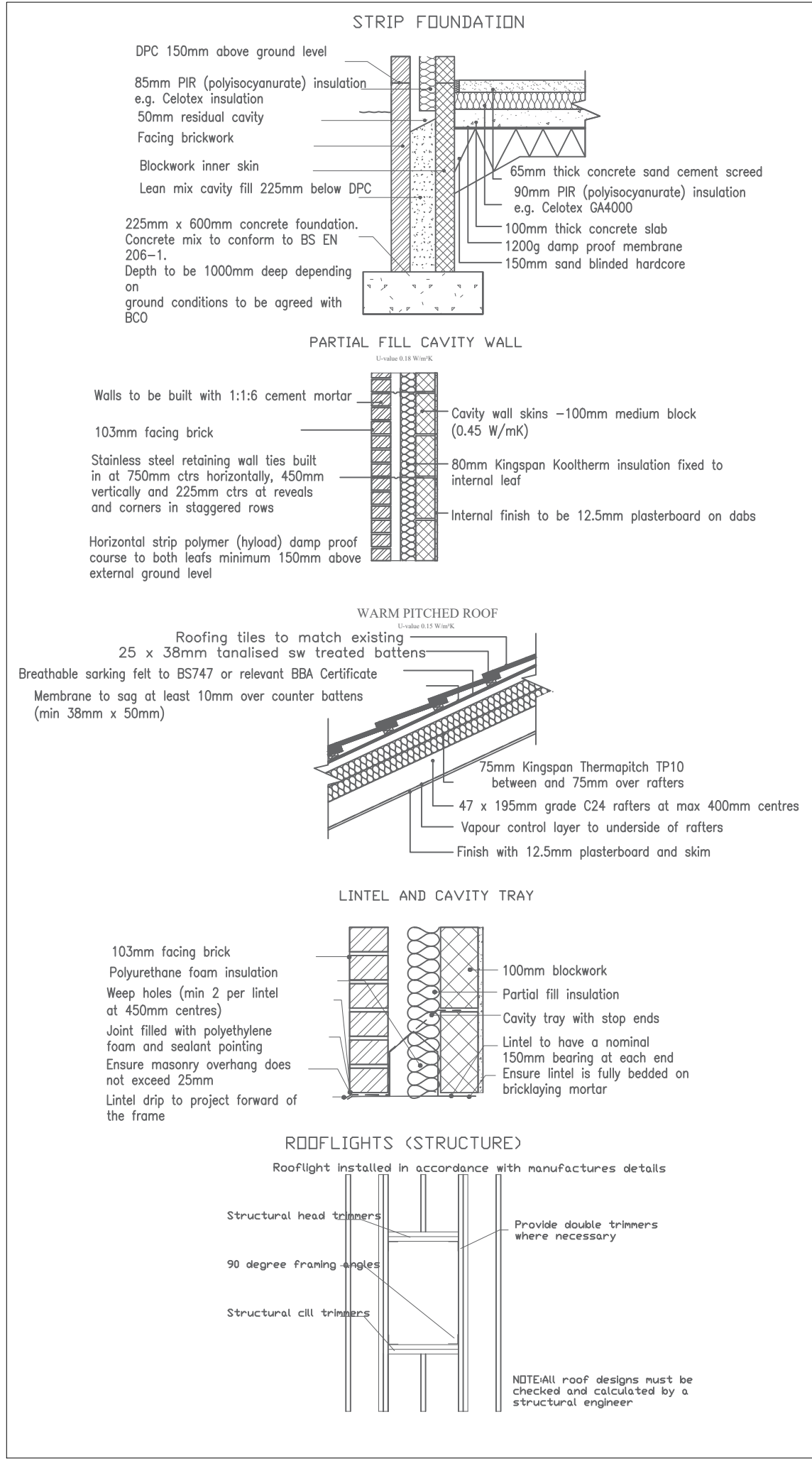
Proposed Site Plan 1:500



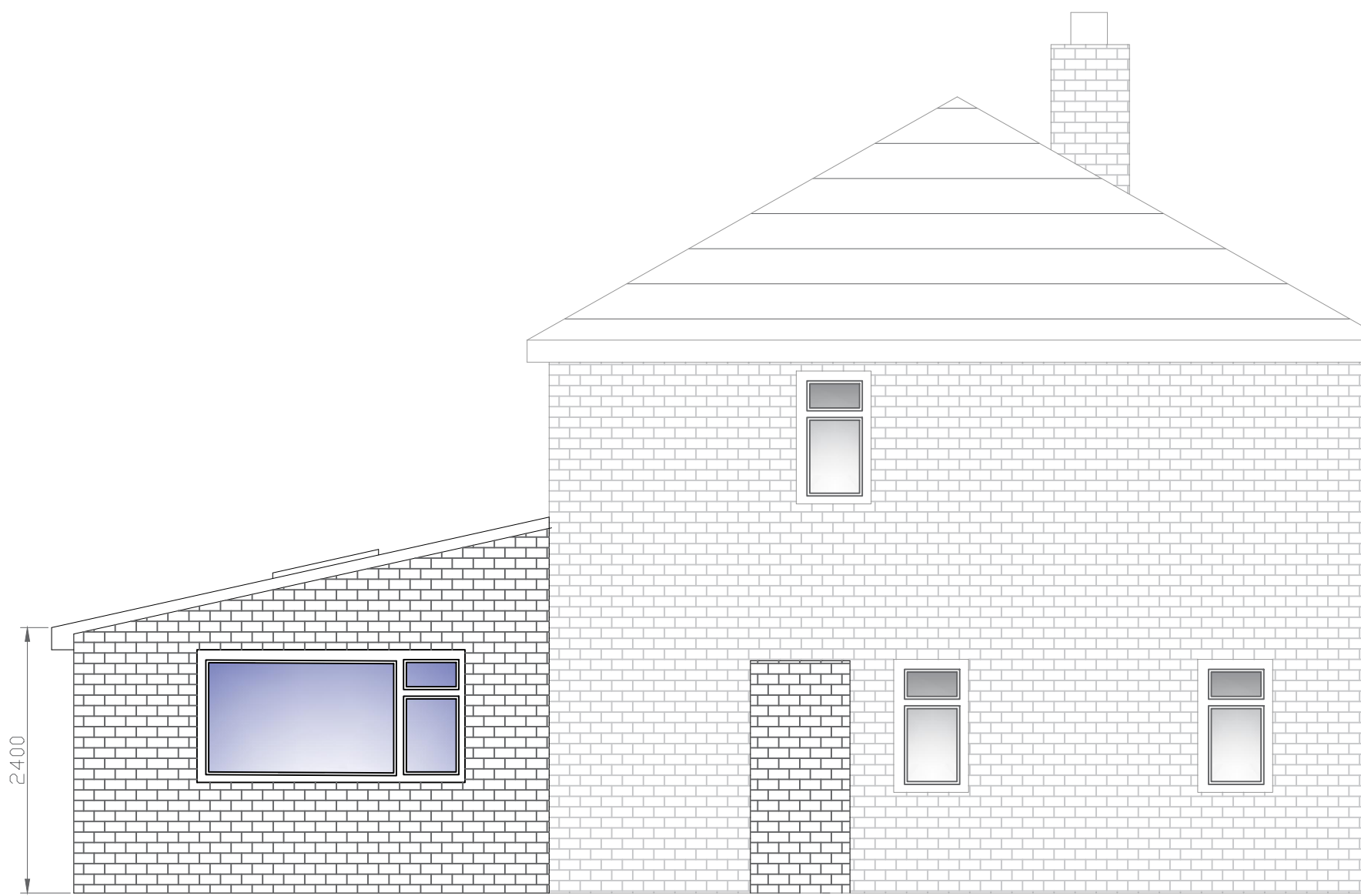
EXISTING GROUND FLOOR



PROPOSED GROUND FLOOR



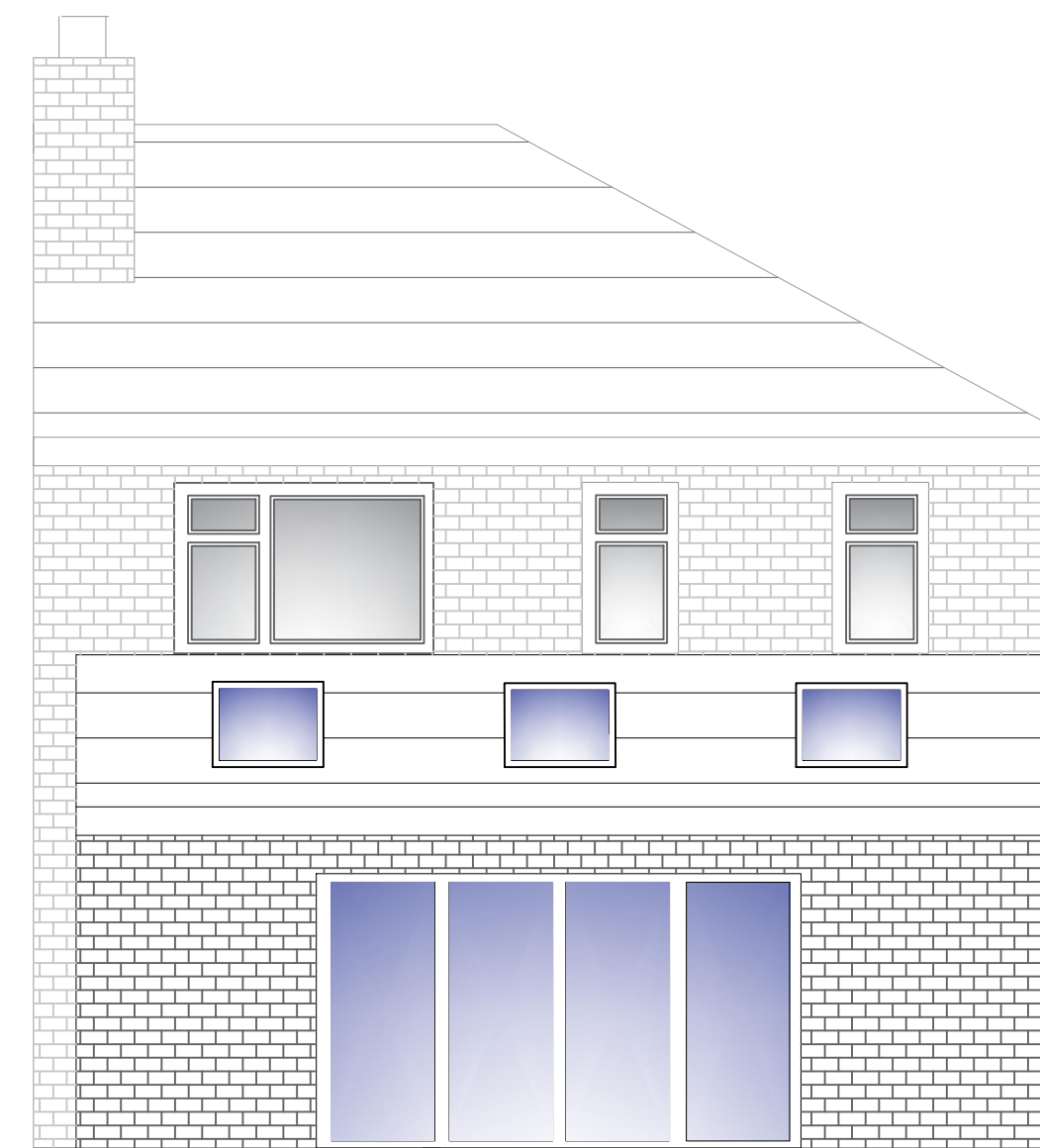
Standard Details Not to Scale



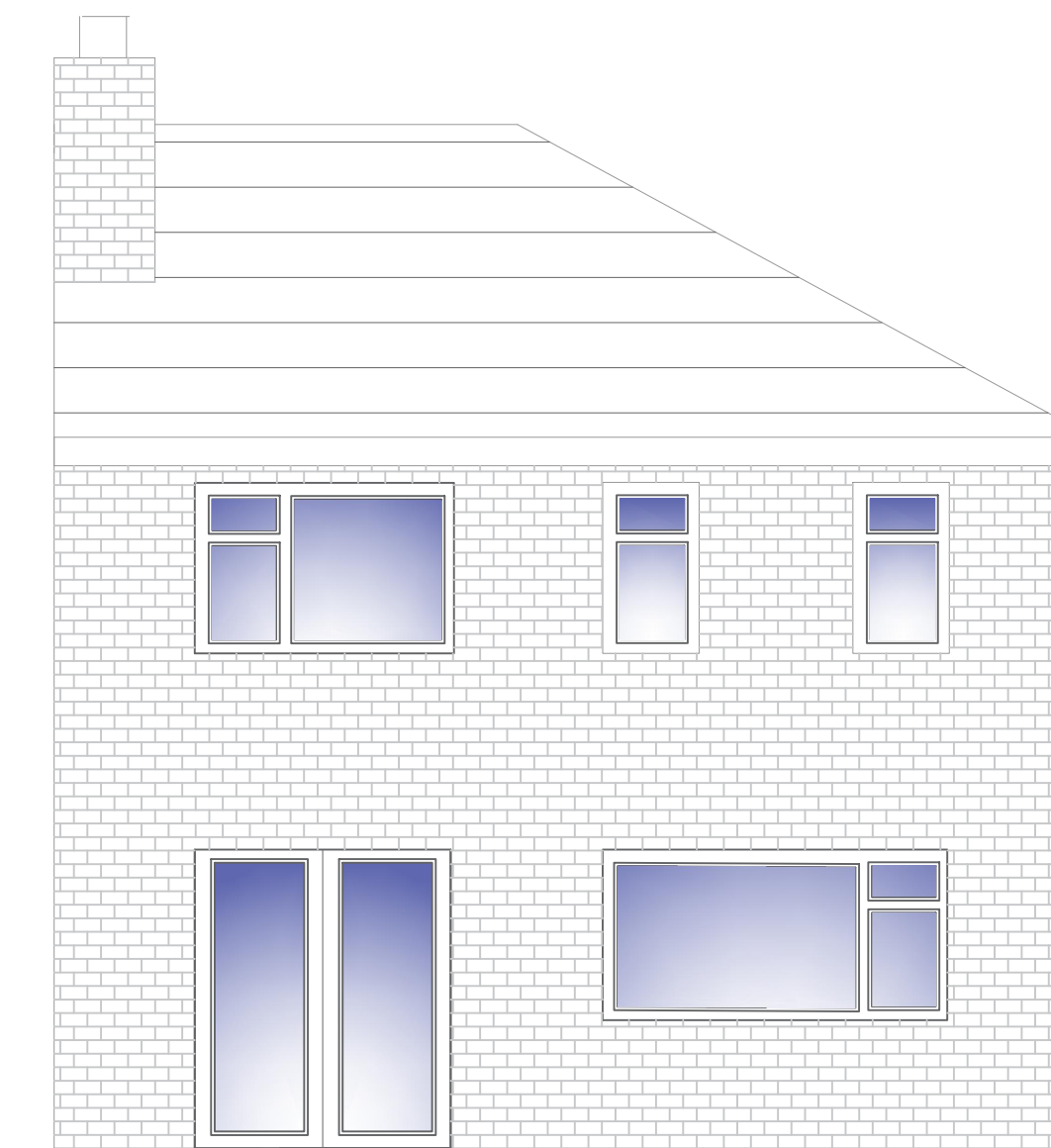
PROPOSED NORTHERN ELEVATION



EXISTING NORTHERN ELEVATION



PROPOSED REAR ELEVATION



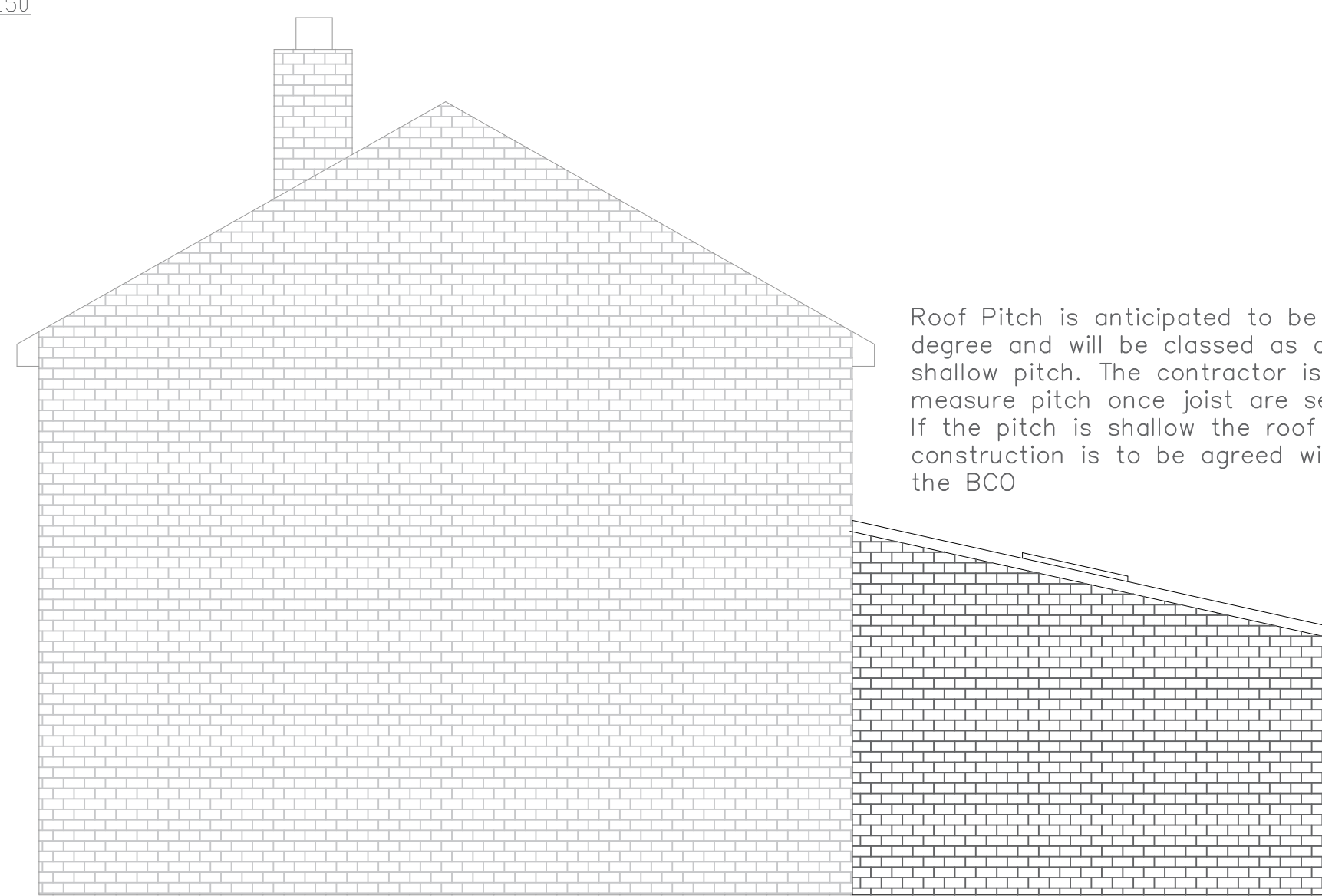
EXISTING REAR ELEVATION

The Roof is to be finished with concrete roof tile similar in appearance to the main dwelling

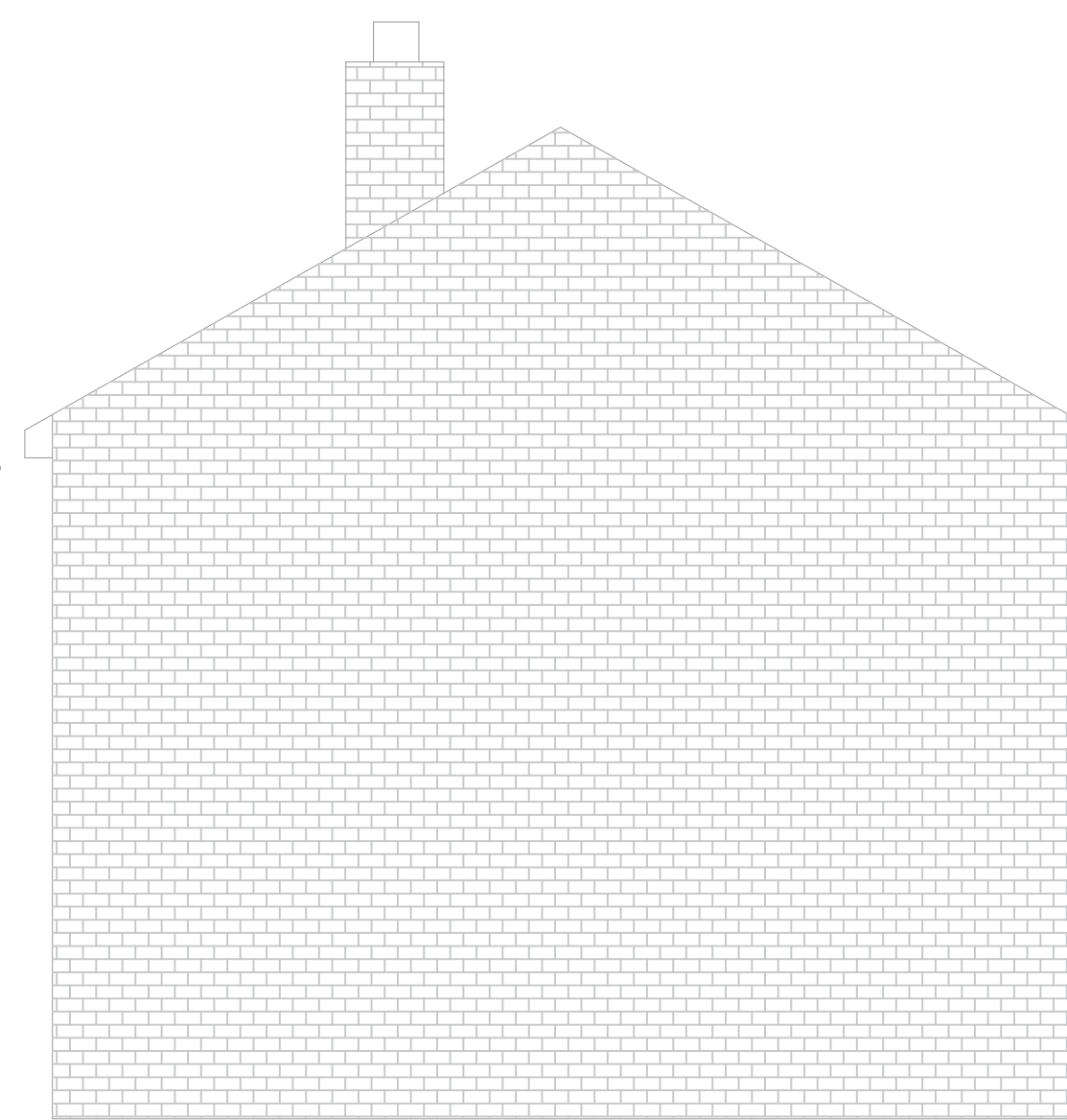
The walls are to be built from a facing brick similar in appearance to the existing dwelling

The new doors are to be Grey in colour

Rainwater good will match the existing in colour and profile



PROPOSED SOUTHERN ELEVATION



EXISTING SOUTHERN ELEVATION

Roof Pitch is anticipated to be 13 degree and will be classed as a shallow pitch. The contractor is to measure pitch once joist are set. If the pitch is shallow the roof construction is to be agreed with the BCO

General Notes

Do not scale from this drawing, any dimensions shown are indicative only and are subject to verification onsite. The contractor is to set out, check and co-ordinate all dimensions on site during the course of the works. This drawing is to be read in conjunction with all other plans, structural calculations and specifications

These plans have been produced for planning permission approval and are prepared to comply with the requirements of the planning authority. Building Regulation compliance is to be sought by the client and/or contractor. Brayford Designs holds no liability past the planning decision notice.

All construction details shown are indicative and do not represent the approved construction details but give a standard detail that may not be suitable for all applications. Construction details are subject to approval by the Building Control Officer. All construction methodology is to be proposed by the contractor and agreed by the Building Control Officer.

All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulation

Prior to commencement of the building works the contractor should

1. Ensure that all drawings are approved for use by the planning department and (if applicable) by building control
2. Inform the building control department that works have commenced onsite
3. Verify the boundary lines and ground conditions, including checking of all the services (gas, water, electric, telecom and sewers) prior to any excavation work
4. Request a copy of the party wall award where works affect a party wall or involve excavations within 3m of adjoining buildings
5. Where the works include demolition to ensure that all elements of the building and adjoin structures are accounted for and that all necessary propping and temporary works are in place
6. Works carried out under a building notice or prior to the approval of the drawings all works are at the contractors own risk
7. Any discrepancies either between the written dimension and the site dimensions or between the drawing and other consultants' suppliers drawings should be brought to the attention of the client

No.	Revision/Issue	Date

Firm Name and Address

376 Newark Road
Lincoln
LN6 8RX

Project Name and Address
Rear Extension
6 Selby Close
Lincoln
LN6 8JE

Project	Sby Clo	Sheet	1 of 1
Date	02.02.24	Scale	1:50