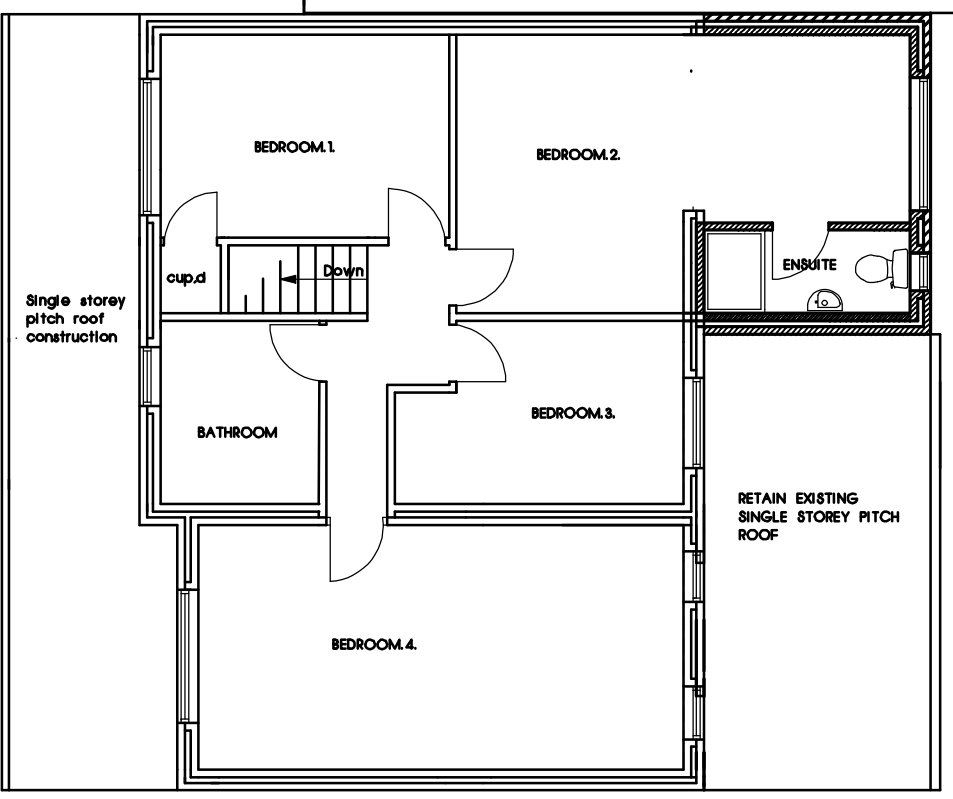


1) ALTERNATIVE TO ABOVE PURGE VENTILATION SHOULD BE PROVIDED TO THE LOUNGE EQUAL TO 1/20th. OF FLOOR AREA I.E. BAY WINDOW OPENING TO EQUATE 1/20th. OF THE FLOOR AREA OR ALTERNATIVELY BY MECHANICAL MEANS E.G. EXPELAIR FAN EQUAL TO 4 ACH.

2) WINDOWS AND ROOF LIGHTS SHOULD ACHIEVE A WINDOW ENERGY RATING (WER) BAND C. OR BETTER OR A U. VALUE OF 1.6W/m K. OR BETTER. CONFIRMATION WILL BE REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE APPROVED DOCUMENT L1B 2010 I.E. THIS MAY BE IN FORM OF WINDOW ENERGY RATING (WER) DECLARATION FROM CERTIFICATION SCHEME THAT PROVIDES A QUALITY - ASSURED PROCESS AND SUPPORTING ADULT TRAIL FROM CALCULATING PERFORMANCE OF WINDOW THROUGH TO THE INSTALLATION AS EVIDENCE OF COMPLIANCE.

SPECIFICATION :-
PITCH ROOF. Roof tiles Redland regent colour to match main existing roof on 38 x 25 tantalised battens on a layer of breather type felt on timber Rafter and ceiling joists 175 x 60 at 450 centres maximum 100 x 50 timber wall plates 30 x 2.5 x 1000 galvanised mild steel straps at 1200 centres plug/screw to walls on all four sides. Roof void to be adequately cross ventilated. All flashings to be in code 4 lead. 300mm fibre glass roof insulation 150 laid between joists and 150mm over joists roof insulation to be lapped with wall insulation and provide upvc eaves vents at 450 centres. 12.5mm plasterboard +skim to ceiling. All timbers to be pressure impregnated and tantalise treated all fascia boards to be in PVC.
WALLS ABOVE DPC. 302 mm traditional cavity wall construction 102mm thick facing bricks 100 mm cavity insulated with 100mm mineral fibrebats 100mm turbo blocks inner leaf wall stainless steel ties to B.S. 1243 and placed at 450 centres vertically and 750centres horizontally and 300 centres around all openings insulated type vertical dpc at all openings 13mm (two coats) gypsum plaster plus skim finish to all walls top of cavity and all reveals return to be closed use proprietary insulated type cavity closer cavity to extend not less than 225mm below dpc. wall below dpc two skins of class.B semi-engineering bricks built off foundations fill cavity with lean mix concrete to a minimum 225 below DPC.Brickwork to be bonded into existing Brwk. by 50% or use furlex wall plate DPC to be at least 150mm above finish GL. Foundations generally 600 wide x 300 deep C30(1.2.4mix) under new cavity wall minimum depth 1000mm or taken down to invert level of existing drains Exact depth to be agreed with L.A. Building control officer
 lintels 150mm end bearings use CATNIC CN7/8 2/3 Cdeep insulated type lintels.
GROUND FLOOR Altro floor covering laid on 50mm sand/cement screed on 100mm grade.C30 concrete slab laid on 125 mm expanded polystyrene floor insulation on 1200 gauge polythene dpm on 100mm clean well consolidated hardcore
 DPM and insulation to turned up wall face and dpm lapped under DPC.
DRAINAGE
 All drainage position to be agreed on site with L.A. Building Inspector
 All new underground pipes to be 100 dia. in PVC to BS.4660 1989 or Saltglazed stoneware with Hepaleve couplings laid to give 1:40 fall toward existing system with slow bends any drain pipe passing under building to be surrounded in 150 pea gravel and 150 deep precast lintel over where passing through wall.
WASTE PIPES Kitchen sink ,bathshower, and WHB use 40 PVC pipe discharge fitted with 75mm deep reseable traps and discharge into BIG below grating level
 Rainwater googs 100mm pvc half round gutter 65 mm rainwater down pipe to discharge into storm or combined trapped gullies.
WINDOWS All new windows and doors to be UPVC double glazed with 16mm gap between argon gas filled glazing type.k.
 all windows to achieve a U. values of 1.8w/m k. and doors 2.2 w/m k. opening light 1/20 total floor area of room .any glazing within 800mm of the floor level and glass in door or side panel to horizontal distance of 300mm from the door to a minimum height of 1500mm above floor to be laminated glass.
VENTILATION All habitable rooms (including kitchen) to be provided with back ground ventilation of 8000sq.mm use STADIUM Louvered air ventilator 2No 225 x 150 or provide trickle vents in windows . kitchen to be mechanically vented provide moisture extraction at 60 litres per second, and in bathroom/shower15L/s.
HEATING AND LIGHTING all extension to be central heated with thermostatic control with balance flue boiler positioned on external wall

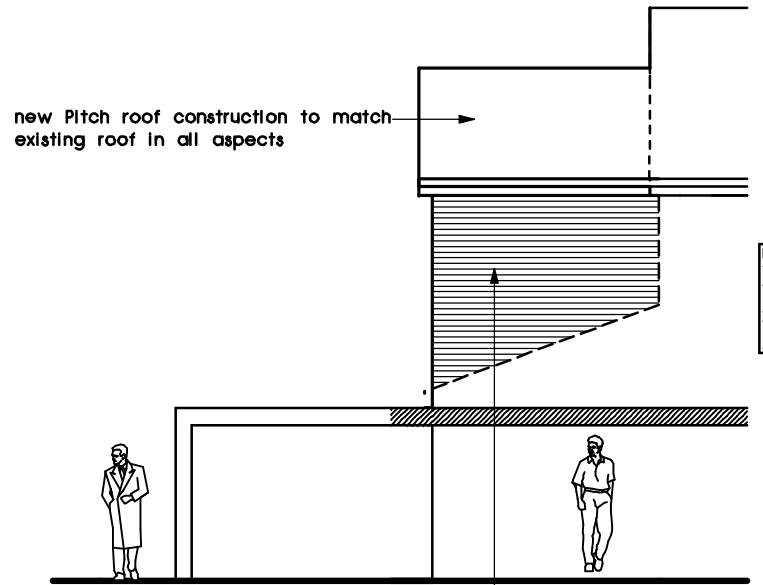


PROPOSED FIRST FLOOR PLAN

NOTES:-
 1) ALL NEW WINDOWS AND DOORS TO BE DOUBLE GLAZED UPVC FRAMES TO ACHIEVE A U. VALUES OF 1.6w/m k and 1.8 w/m k. RESPECTIVELY PROVIDE MANUFACTURERS DETAILS TO DEMONSTRATE COMPLIANCE WITH ADL1B.
 2) ENERGY EFFICIENT LIGHTING TO BE PROVIDED 1 PER ROOM OR 75% FLOOR AREA IN ACCORDANCE WITH APPROVED DOCUMENT L1B.

HEATING CONTRACTOR TO ENSURE EXISTING BOILER HAS ADEQUATE CAPACITY FOR ADDITIONAL RADIATOR IN LIVINGROOM EXTENSION. EXISTING BOILER MINSDBUK OF 96% FOR MAINS NATURAL GAS BOILER.

new Pitch roof construction to match existing roof in all aspects



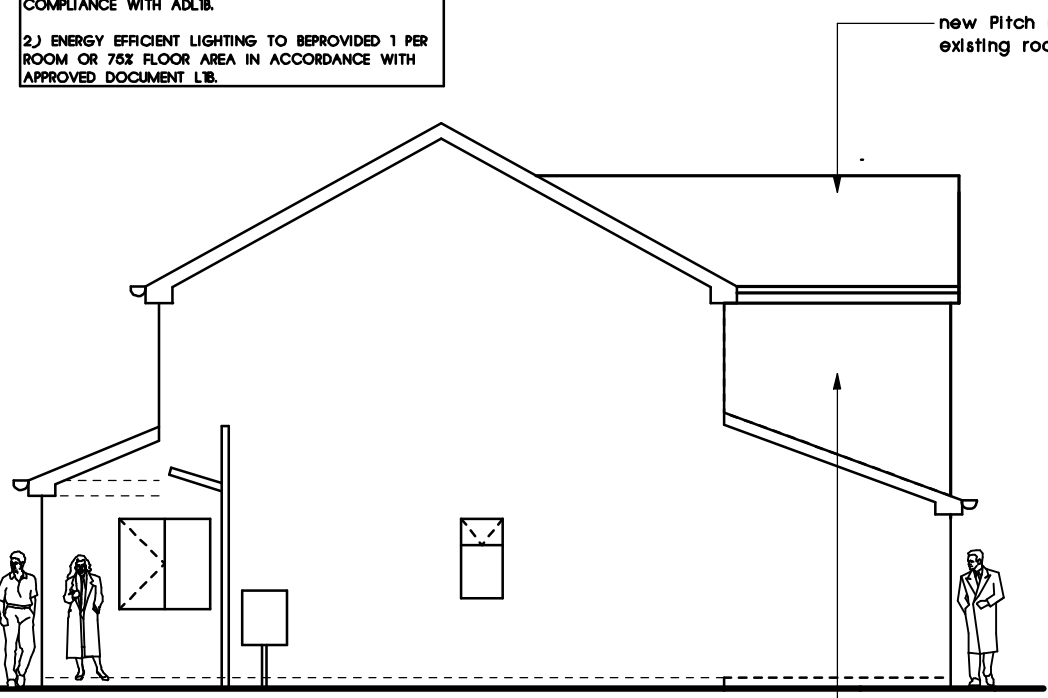
NOTE:-
 THE ELECTRICAL INSTALLATION WILL BE IN ACCORDANCE WITH PART.P. OF BUILDING REGULATIONS AND BS 7671:2001 AND UNDERTAKEN BY A COMPETENT PERSON REGISTERED WITH AN ELECTRICAL SELF - CERTIFICATION SCHEME AUTHORISED BY THE SECRETARY OF STATE.

all new brickwork to match existing in all aspects. new will securely tied into existing by using catnic stronghold wall connectors

PROPOSED SIDE ELEVATION

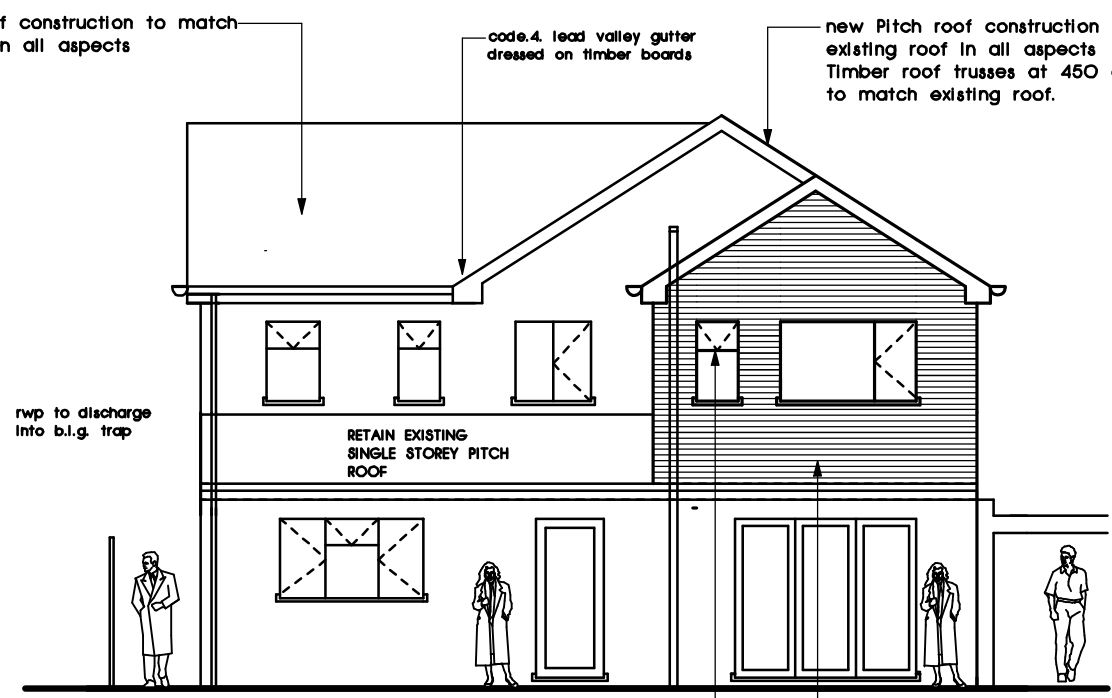
(elevation adj. house no.5.)

- LEGENDS :-**
- DENOTES ON PLAN EXISTING WALLS CONSTRUCTION.
 - DENOTES ON PLAN NEW WALLS CONSTRUCTION TO PROPOSED EXTENSION
 - PROVIDE MECHANICAL VENT EXPELAIR FANS TO KITCHEN 60L/S AND SHOWER AND W.C. 15L/S DUCTED TO OUTSIDE WALL INTO OPEN AIR.
 - DENOTES ON PLAN NEW SMOKE DETECTION ALARM CONFORM TO BS 5446 PART.1. THE ALARM SHOULD BE GRADED. STANDARD INTERCONNECTED(MAINS OPERATED WITH BATTERY BACK UP.) BS 5839:PART6 :2004.
 - DENOTES ON PLAN NEW SMOKE DETECTION ALARM CONFORM TO BS 5446 PART.1. THE ALARM SHOULD BE GRADED. STANDARD INTERCONNECTED(MAINS OPERATED WITH BATTERY BACK UP.) BS 5839:PART6 :2004.
- SCALE BAR 1 : 100
-



PROPOSED SIDE ELEVATION
(roadside along broadstone close elevation.)

all new brickwork to match existing in all aspects. new will securely tied into existing by using catnic stronghold wall connectors



PROPOSED REAR ELEVATION

all new windows and doors to be double glazed upvc frame with obscure glazed to shower room window

all new brickwork to match existing in all aspects. new will securely tied into existing by using catnic stronghold wall connectors

REVISION A. REVISED TO SUIT PLANNING REQUIREMENTS 11 - 9 - 2023

PROPOSED FIRST FLOOR STOREY EXTENSION AND ALTERATIONS AT 7 PENCOMBE DRIVE GOLDTHORN PARK WOLVERHAMPTON WV4 5EW

FOR MR. GURMAIL SINGH

SCALE 1 : 100, 1 : 50.

DRAWING NUMBER GS223 - 02A