



Birdworld and Haskins Forest Lodge

Holt Pound, Farnham GU10 4LD

Design & Access Statement



Client: Birdworld Ltd and Haskins Garden Centres Ltd

Author: DJ

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01 Introduction

1.1 Purpose

This Design and Access Statement has been prepared in support of the planning application to deliver the redevelopment proposals of Birdworld and Haskins Garden Centres. The statement describes the proposed site, assesses the context and immediate setting and subsequently explains the design in response to these contextual issues. The design layout, massing and material approach has also been set out in this document.

All drawings in this report are for illustrative purposes only. The drawings which constitute the application have been submitted separately and should be referred to in all matters of record.

1.2 Scheme Background

In February 2020 Haskins took over Forest Lodge Garden Centre & Birdworld.

Birdworld is one of the largest independent tourist attractions in the south east and has been a popular local destination for the past 50 years.

Birdworld is a unique experience - it is the largest bird park in the U.K. It currently attracts over 100,000 visitors a year and has an extensive conservation and breeding program.

Haskins is a family-run Garden Centre Business founded in 1882 by Harry Haskins on the south coast. Today, Harry Haskins' great grandson Warren Haskins is the Chairman and is very much involved in developing the business.

The company is well respected nationally and internationally for its innovative and inventive approach to garden retailing.

1.3 The Project Summary & Description

The past few years have allowed Haskins to review the re-development proposals put in place by the previous owners and, from this hands on operation of Birdworld and Forest Lodge Garden Centre, to assess how best to improve both facilities so that they can deliver the very best customer and visitor experience.

Birdworld

The key goals and aspirations for the project is to build on the brand DNA to create a profitable, sustainable, future proof and credible zoological destination that has unique and repeatable all year round offers and experiences for all ages.

Forest Lodge, Garden Centre

The key aim of the proposed Forest Lodge Garden Centre is to build upon the successes of previous projects using a tested format to produce a high quality project that significantly enhances the existing site conditions, to provide a fit for purpose and desirable location for the public to visit and enjoy.

Planning Application Description:

'Improvements to, and new facilities at, Birdworld to include a new Entrance Building, Play Barn, Conservation and Breeding facility and an external Adventure Play Area. The re-development of Forest Lodge Garden Centre to include the demolition of the existing garden centre and the adjoining Garden Style structures to create a new garden centre (with covered and open sales areas, restaurant, plant, and warehouse). New service areas and car parking for both operations accessed from a new roundabout on the A235. The closure and removal of the existing Forest Lodge access. Enhanced landscaping throughout.'

1.4 The Project Team

The key members of the Project Team were as follows:



Birdworld

Client



Haskins

Client



RPS Consulting

*Project Management &
Quantity Surveyor*



MDA Associates

Planning Consultant



Roberts Limbrick

Architect



ION Consulting

M&E Engineer



Scott White & Hookins

*Structural, Civil Engineer
& CDM Consultants*



The Richards Partnership

Landscape Architect



Ecology Solutions

Ecology Consultant



Impact Acoustics

Acoustic Consultant



Part B Group Ltd

Fire Consultant



iTransport

Highways Consultant

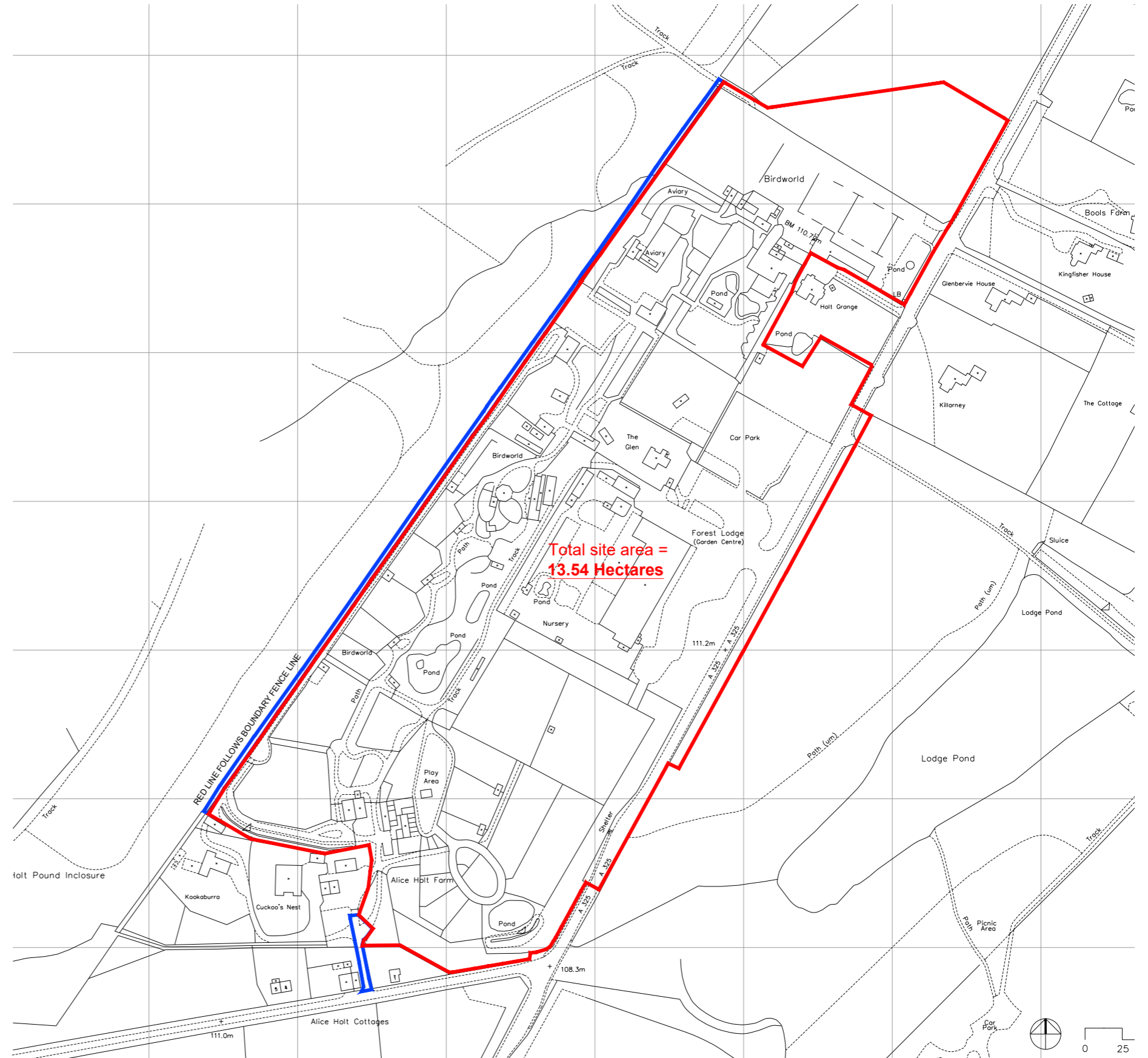


Simon Jones Associates

*Arboricultural Planning
Consultants*

1.5 Site Location

The site, shown right, is located approximately 1.5km south of the A31 and 4.7km south west of the centre of Farnham, as the crow flies. The site sits west of the A325, with Gravel Hill Road running to the south of the site, connecting neighbouring properties.



02 Site Analysis

2.1 Site Context & Constraints

Birdworld is the United Kingdom’s largest bird park, covering 23 acres. It is located in the East Hampshire district, close to the village of Bucks Horn Oak and the surrounding Alice Holt Forest. It is part of the parent company Haskins Garden Centre Ltd., which also owns the nearby Forest Lodge garden centre.

Birdworld is one of the largest independent tourist attractions in the south east and has been a popular local destination for the past 50 years. Spread over 23 acres with its own catering and retail facilities, it attracts over 100,000 visitors a year to the bird park, gardens and has an extensive conservation and breeding program. There are more than 180 different species of bird within the collection, 40 of which are listed as vulnerable, threatened or endangered on the IUCN Red List. These include the Bali starling, Montserrat oriole, northern bald ibis and the Kea.

The Built Environment

In most instances the maximum building height is two stories made up of predominantly residential properties (use class D3 Dwellinghouse), located to the north east and south west of the site. Most of these properties are detached and are positioned in isolation to one another resulting in a low density building context. There is also an industrial use class B2/B8 to the west of the boundary.

Local Plan / Masterplanning

Review of the Borough Council’s Interactive plan does not indicate a master plan for this area.

Access to the Site

There are multiple bus stops along the A325 for bus services 17, 18 & 418. The nearest train station is Bentley at approximately 1.85km and Farnham at 4.8km away. Cycle routes are limited in this area and access would likely be achieved via other modes. Existing site access is directly off the A325 via T-junction.

Listed Buildings & Conservation

The site is not located within a conservation area nor are there any listed buildings within close proximity to the development site.

National Parks & Dark Skies

The site is located in close proximity to the SDNP/IDSR where obtrusive light into the night sky should be limited.

Flood Map

The site is located within flood zone 1 and therefore there is a low probability of flooding from rivers and the sea.

Public Utilities

South East Water’s utilities plan indicates that there is a water main running along the A325. Open Reach plan indicates their infrastructure enters the site north of the existing entrance. SGN’s utilities plan indicates a low pressure gas main running along the A325. Scottish & Southern’s Utility Plan shows a high voltage power line to the western boundary of the site which enters the site behind the existing garden centre. Similarly, SSU’s utility plan shows low voltage power lines within the site boundary.

Key Views

Given that the immediate context consists of mature woodland trees, there are no key views that should be specifically maintained, however given the site context adjacent to the national park it is paramount that the development is considerate to this context.

Alice Holt & Ancient Woodland

Alice Holt and the ancient woodland borders the western boundary of the site. The eastern side of the site over the A325 is also populated with ancient woodland, encapsulating the Birdworld and Haskins Garden Centre Sites.



Site Aerial (Ref: Google Earth)

2.2 Site Photographs - Birdworld



Penguin Beach external view



Birdworld Gift Shop and Entrance



Play Area External View



Underwater World - Now closed

2.3 Site Photographs - Haskins



Garden Centre Covered Sales External View



Forest Lodge Garden Centre Entrance



Garden Centre Internal View



Outdoor Plant Sales View

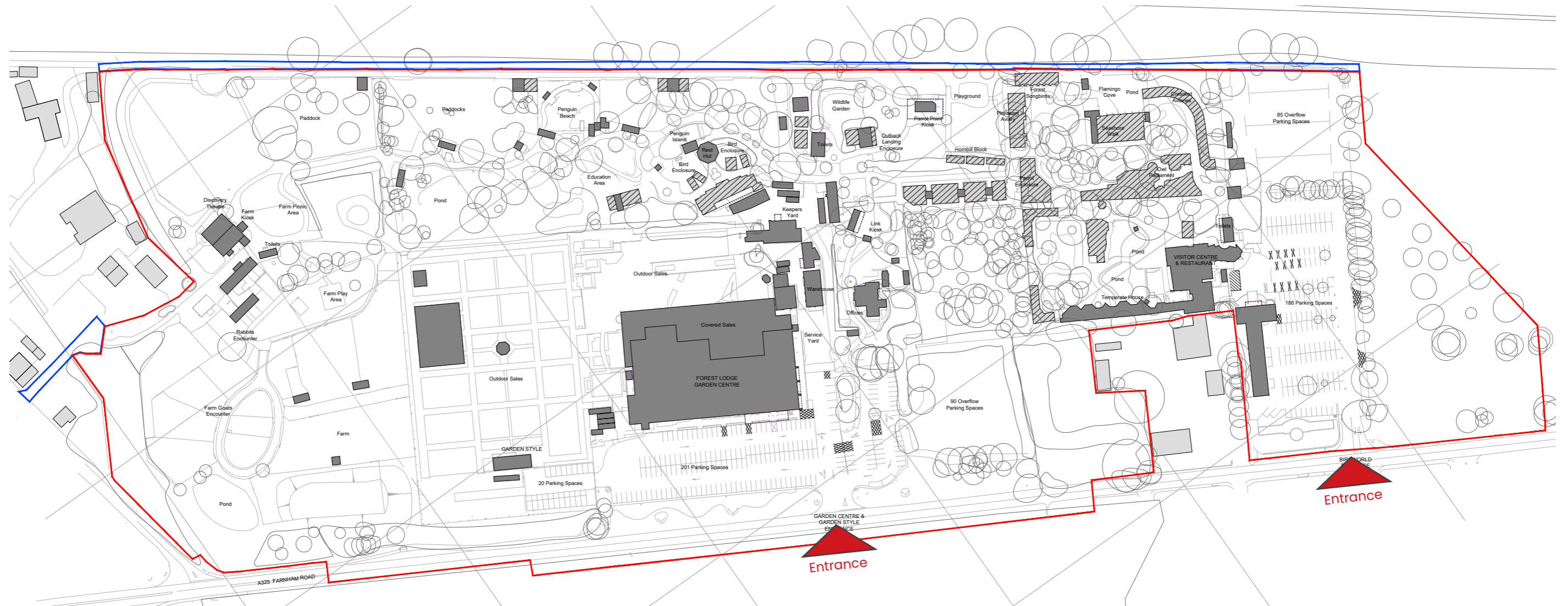
2.4 Existing Site

The plan overleaf illustrates the site as existing. The following identifies some of the key constraints within the site:

- There are two junctions into the site, one for Birdworld and one for Haskins Gardens Centres. Neither of these junctions have dedicated right turn entry.
- The entrance for Haskins Garden Centres is confused and clashes with the adjoining car parking.
- The existing garden centre's delivery access into the service yard via the main car park creates conflict with pedestrians and customer vehicles.
- The car parking features long banks of spaces which encourages increased speed and impacts on customer safety.
- The arrangement, layout and overall building conditions of the combined sites of Birdworld and Haskins, are poor. Existing buildings are outdated and do not meet current building standards in terms of thermal/energy performance and sustainability.
- Finally, the existing narrow shape of Birdworld results in an 'out and back' path structure resulting in a poor customer experience.



Aerial View of Site



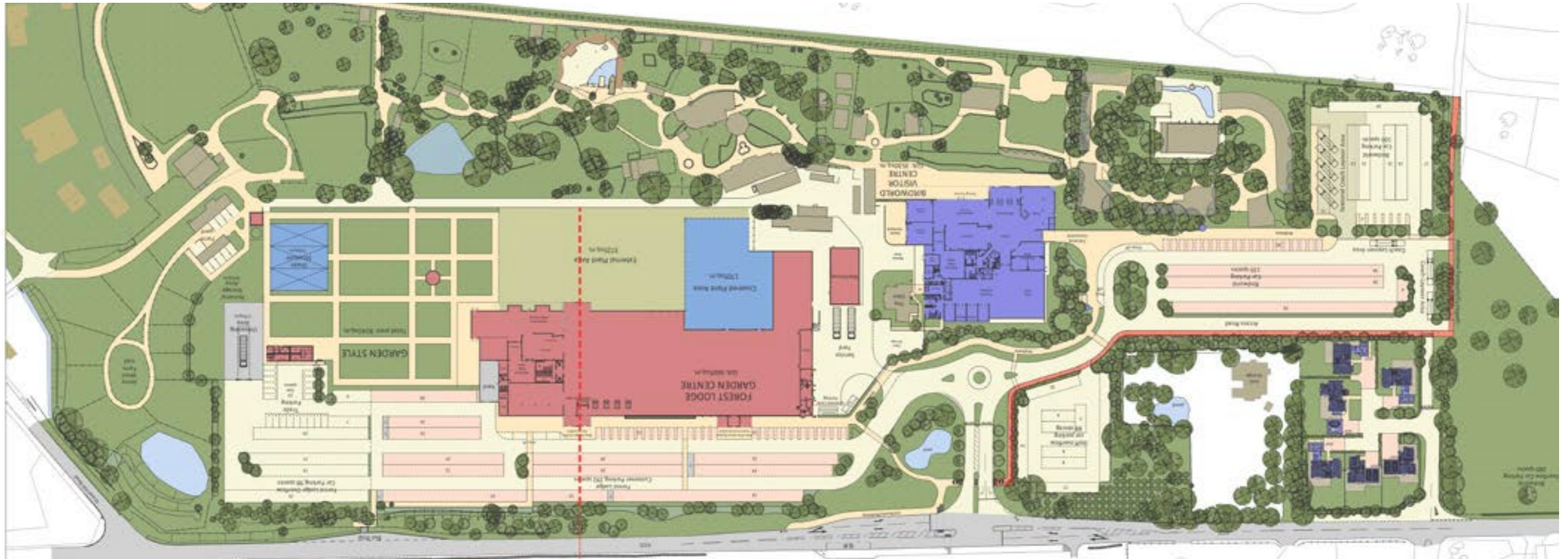
Existing Site Plan

2.5 Previous Application

At the start of the design process a full review of the previous planning application approval was carried out which highlighted the following constraints:

- Proposed entrance to the site has a short 'run off' which could result in tailbacks at peak times.
- The prominent location of the proposed service area is inappropriately located on arrival to site.
- The retention and extension of the existing Garden Centre creates constraints and issues particularly with the layout and configuration of the adjoining car parking.
- The location of the Garden Centre and New Visitors Centre exaggerate the long, thin nature of the Birdworld site creating issues with the customer journey and creating a disjointed and elongated site.
- Garden Centre shape and form creates numerous operational issues.
- HGV access to Garden Style passes through the Garden Centre car park creating safety issues.
- Housing Development poses constraints on the development.

See next page for previously approved site plan.



Site Master Plan - Previously Approved

03 The Design Process

3.1 Detailed Design Process

Having established the brief and undertaken an assessment of the existing site and its surroundings, we were able to start considering the best solution or solutions for the project.

Design Approach.

The detailed design process recognises the importance of Birdworld and Forest Lodge to the Local Area. The Client and project team worked closely to develop a vision and project brief for the redevelopment of the site which considered, in a coordinated and considered way, the redevelopment featuring the following key elements:

Site Access and Layout.

It was established early in the design process that the access to the site would need fundamentally reviewing as the existing provision and that of the previous planning approval were both unsuitable. In addition to this the existing operation of both Birdworld and the garden centre is hindered by a poor internal layout. A series of options were reviewed for the new access to the site and a new roundabout was considered to be the most appropriate, as it would improve access to the site whilst also reducing speeds and increasing the safety of the traffic on the A325. This has allowed the existing

entrances to be combined to one single entrance from the A325. Via the new site access road there is a new roundabout serving two distinct areas of parking for both of the site uses.

The proposed Car Park layouts are carefully designed to give excellent circulation and give clear and legible pedestrian access to the entrances of both Birdworld and the Garden Centre.

The service yards and Coach Parking is carefully located to ensure that larger vehicles can access the site without travelling through the Public Car Parking Areas. Please refer to the Highway Consultants report for more detail of the site access and highways designs.

Existing and New Buildings

The majority of the existing buildings on the site are of poor condition and are approaching the end of their effective lifespan. Options were reviewed to retain the existing garden centre, but this would have been compromised due to its outdated construction and its existing poor condition. It was decided that the most appropriate solution was to demolish the existing Garden Centre and rebuild it to meet modern building standards of building efficiency and levels of insulation.

In Birdworld the existing entrance building is of poor condition and would become obsolete, as the main entrance, once the new combined site entrance is introduced therefore a new Entrance Building was proposed which would include ticket sales, staff and office accommodation and shop.

The existing Birdworld Back of House/Bird Care facilities are of extremely poor condition and as such will be replaced with the new Living Collections Building and further buildings within the service yard for the storage of waste, buggy parking, storage, and workshop.

The Play Barn offers a new experience to visitors to the site. The building is simple in form and will offer indoor play, café, party rooms and all associated supporting facilities.

Existing Site Context.

The context of the site and its relationship to the South Downs National Park and the adjoining ancient woodland of Alice Holt was recognised as being vitally important in retaining the character and enhancing the setting of the proposed development. Careful consideration has been given to the setting and a well thought out and considered landscaping scheme has

been proposed that respects the sites location and the ancient woodland at the rear of the site by creating a 15m wide 'No New Construction' Buffer Zone. More detail of the landscape proposals can be seen in the Landscape Architects Report.

Building Massing and Scale.

In order to reduce the visual impact of the proposal the massing and scale of all the proposed new buildings is kept low. All new buildings (with the exception of plant mezzanines) are single storey; heights vary but as an indication see below:

- Garden Centre - 4.000m eaves height & 6.800m ridge height
- Birdworld Entrance Building - 2.400m > 5.100 eaves height & 4.500m > 8.000m ridge height
- Birdworld Play Barn - 3.500 > 4.000m eaves height & 8.000m ridge height.



Birdworld Penguin Enclosure

3.2 Summary of the Project Brief

Site Entrance.

- Improve the safety and arrival of the entrance to the site from the A325.
- Create separation of Delivery Vehicles from Public Car Parking Areas
- Provide safe and clearly legible circulation and pedestrian routes through the car parks to the Birdworld and Garden Centre Entrances.
- Provide appropriately located accessible parking, cycling and EV Charging provision.
- Provide Coach parking with a safe and legible pedestrian route to the Birdworld and Garden Centre Entrances.

Birdworld.

- Clear and well-defined customer approach to the Entrance of Birdworld
- Create a new Entrance Experience for Customers with a new Entrance building incorporating Ticket Sales, Entrance Control, Visitor Shop, Customer Toilets and Staff/Office Facilities.
- Create a further enhancement to the customer experience with a new play barn to provide indoor play, café, party rooms and all supporting facilities.
- Living Collections which will provide supporting and

husbandry facilities for the care and support of the Birds ensuring that Birdworld maintains its position as number one Bird Park in the UK and to maintain it's conservation work.

- Supporting 'Grounds' Buildings provided within the Birdworld Service Yard.
- Birdworld will also feature an area dedicated to outdoor Adventure Play. This is intended to be a woodland theme play area which reflects the context of the site, to be developed with specialist input.

Haskins Forest Lodge Garden Centre.

- Garden Centre Design to be based on the tried and tested model as recently delivered at Haskins Garden Centre, Snowhill.
- Clear and well-defined customer approach to the Garden Centre Entrance.
- Indoor retail
- Covered External Plant Sales area
- External Plant Sales Area
- Restaurant and external Dining Terrace
- Kitchen, Office and B.O.H. Areas
- Warehouse and adjoining screened service and delivery area

Landscaped Setting.

The site currently has it's own unique landscaped character and Birdworld in particular is set in an existing landscape with many mature trees. It is important that this character is retained and enhanced with any proposals. This is particularly important with the site's proximity to Alice Holt and the ancient woodland which runs along the rear boundary, the sites location in respect of the South Downs National Park and the associated Dark Skies requirements.

Landscaping and Lighting proposals will also need careful consideration to respect this unique setting.

04 Design Proposal

4.1 Overview of Proposal and Project Phasing

The Birdworld and Haskins Garden Centre Master Plan consists of five new key buildings, within a three phase development. These include:

- The Play Barn – Phase 1
- Living Collection – Phase 2
- Haskins Garden Centre – Phase 2
- Grounds Building – Phase 2
- Birdworld Entrance Building – Phase 3

Some of the key elements of the proposal include:

- The development within its setting is sensitively located and designed to avoid having an adverse effect on the designated areas as outlined in section 2.
- Due consideration has been made on how the proposal can contribute to the setting of the SDNP. This is supported by thorough landscaping and ecological assessments that highlight any potential adverse effects and the mitigation required to preserve and enhance this site context.
- The garden centre position ensures that a sufficient 15m landscaping buffer is observed behind the outdoors sales/service yard areas to the west of the development to respect ancient woodland setting.
- Sustainable Urban Drainage features across the site

will benefit wildlife, attenuate flood waters, clean and improve water quality and in general provide positive amenity benefits.

- Section 2 highlights that the site is located in close proximity to the SDNP and IDSR boundaries and particular relation to dark skies, the proposal seeks to demonstrate a sensitive approach to external lighting and internal lighting which may have an adverse affect on light spill/upward light. Therefore, it is proposed that all external lighting will be assessed against the latest ILP guidance with associated lighting impact assessment to ensure that lighting does not affect ecology.
- Scale and Massing is single storey:
 - Birdworld Entrance building max. ridge height is 8m.
 - The max. ridge on the Birdworld Play Barn is 8m.
 - Living Collection Units are 2.6m in height.
 - Haskins Garden Centre eaves are 4m, with an overall ridge height at 6.8m.



Existing Birdworld Grounds



Owl Parliament external view

4.2 Use

- Birdworld Entrance Building
Use: To facilitate visitor entry into Birdworld
- The Play Barn
Use: Parent/child area
- Living Collection
Use: To facilitate conservation and education
- Haskins Garden Centre
Use: Garden Centre
- Grounds Shelter
Use: Accommodation for grounds staff

The following schedule outlines the amount of development for each of the key buildings on site. It provides comparison between, the existing, previously approved and current proposal.

4.3 Amount

	Existing	Approved	Proposed
BIRDWORLD			
Entrance Building	-	3530	755
Play Barn	-	-	1577
Living Collection and Aviaries	-	-	302
Conservation and Breeding Aviaries	-	-	242
Service Yard Shelter	-	-	210
Existing Buildings Retained	3585	1829	2080
Existing Aviaries and Enclosures Retained	3216	2427	2287
	6801	7786	7453
Total demolition		2545	2434
GARDEN CENTRE			
Internal Sales	1604	4930	2810
Covered Plant Sales	1489	1799	3630
Covered Plant Goods In	-	-	120
Front of House	257	455	483
Restaurant	609	762	1036
Warehouse	341	304	614
BoH	215	458	602
	4515	8708	9295
Total excluding covered plant sales/ goods in	3026	6909	5545
Total external plant sales	3905	3725	2267
Total demolition		343	4515
GARDEN STYLE			
Office and Staff Facilities	123		
Retail Sales Information Chalet	28		
Tractor/Fork Lift Shed & Storage	25		
Polytunnel Structure	717	-	-
	893	893	
Total external plant sales	6886	6052	-
Total demolition			893
RESIDENTIAL DEVELOPMENT			
Buildings	-	864	-
		864	
TOTAL AREA (sq.m)	12209	18251	16748
Total excluding covered plant sales	10720	16452	12998
Total external plant sales	10791	9777	2267



Proposed Site Plan

4.4 Site Layout - Overview

The proposed site layout is split into two primary zones; Birdworld and Haskins Garden Centre. These two entities will be developed over three phases. (Identified later). In order to complete the development there will also be a phased approach to demolition. Overall, the buildings to be demolished across the site are identified in purple (See next page).

The site is accessed off a proposed roundabout on the A325.

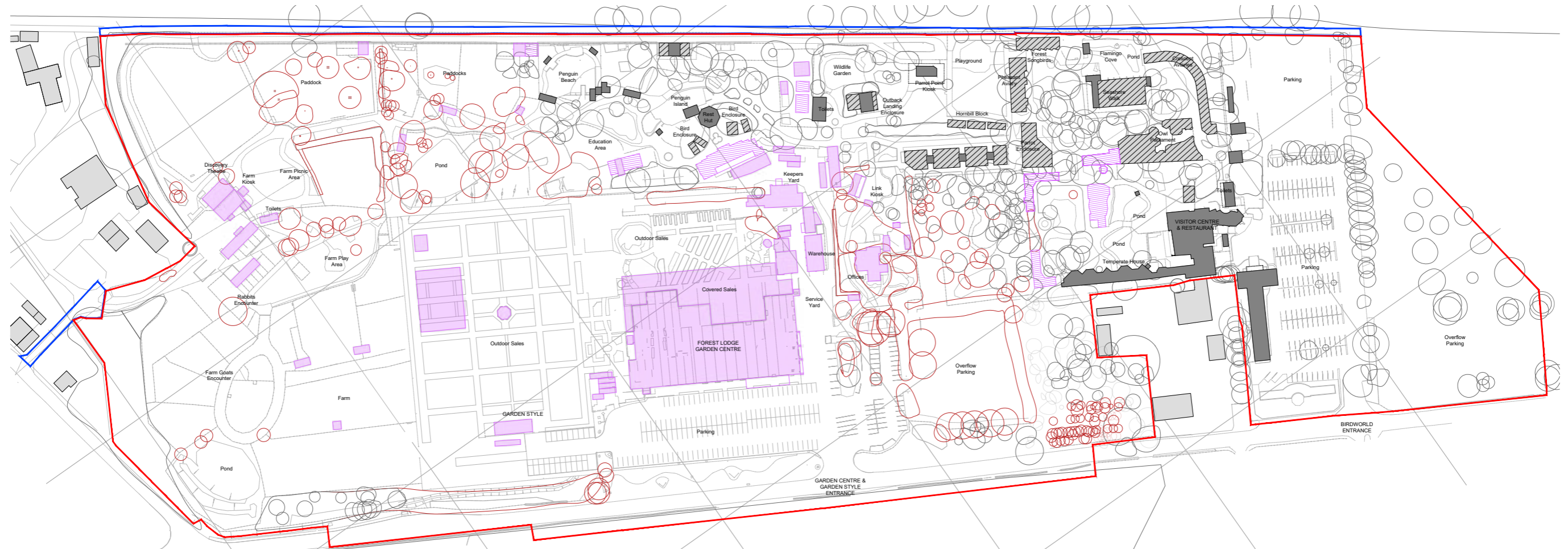
Birdworld is located to the north of the site and Haskins Garden Centre to the south. The play barn and entrance building to Birdworld are located centrally, just north of the access road. All car parking is adjacent to the A325 in front of the respective buildings. The western boundary maintains a 15m landscaping buffer to enhance biodiversity and provide a sufficient threshold between the site redevelopment and the ancient woodland.

The total site area as defined by the red line boundary is 13.54 Ha. The proposed Birdworld site makes up 64% of this total with the remaining 36% dedicated to Haskins

Garden Centres.

Key Design Features of the Master Plan:

- Roundabout - good access and slow traffic along A325.
- Landscaping.
- Lighting.
- Ecology.



Proposed Demolition Site Plan

4.5 Site Layout - Demolition

To complete the development there will also be a phased approach to demolition. Overall, the buildings to be demolished across the site are identified in purple. This will be phased in-line with the anticipated phased approach for the proposed development.

This will remove the old, outdated and unsustainable buildings and will facilitate the way forward for the development.

4.6 Proposed Development Strategy - Phase 1

Phase 1 of the master plan sees the development of the Birdworld Play Barn, which is located north of the existing Haskins Garden Centre.

Visitor access to the Play Barn will be via the existing Birdworld entrance. There will be alteration to the existing Garden Centre overflow car park to facilitate the proposed phased construction of the new Birdworld Entrance.



Proposed Site Plan - Phase 1

4.7 Proposed Development Strategy - Phase 2

Phase 2 of the master plan sees the development of Haskins Garden Centre, which is located to the south of the site. Phase 2 sees the introduction of a roundabout on the A325 as means of providing key access into the Haskins plot. The below outlines key deliverables:

- New single, all movements, point of entry from the A325. Long & clear entrance road up to the site roundabout allows for sufficient queuing at peak times.
- Pedestrian link from existing bus stop to encourage sustainable transport.
- Excellent landscaping at the entrance to the site and along the main entrance road is appropriate for this important local destination.
- The site roundabout allows for clear access and circulation around the site.
- The proposed service areas for the Garden Centre and Birdworld are centrally situated but carefully considered and screened to reduce the overall visual impact. Direct HGV access is achieved without conflict to the customer parking areas.
- The introduction of the Living Collections Building within Birdworld to provide fit for purpose accommodation for the conservation and education of rare bird species.
- Car parking associated with phase 2 equals 422 bays.



Proposed Site Plan - Phase 2

4.8 Proposed Development Strategy - Phase 3

Phase three of the master plan development will see the construction of the new Birdworld entrance building and associated car parking. In precommencement to this phase, the existing Haskins Garden Centre will be demolished. Access to this area of the site will be made off of the already completed road from the new roundabout on the A325. The below outlines key deliverables:

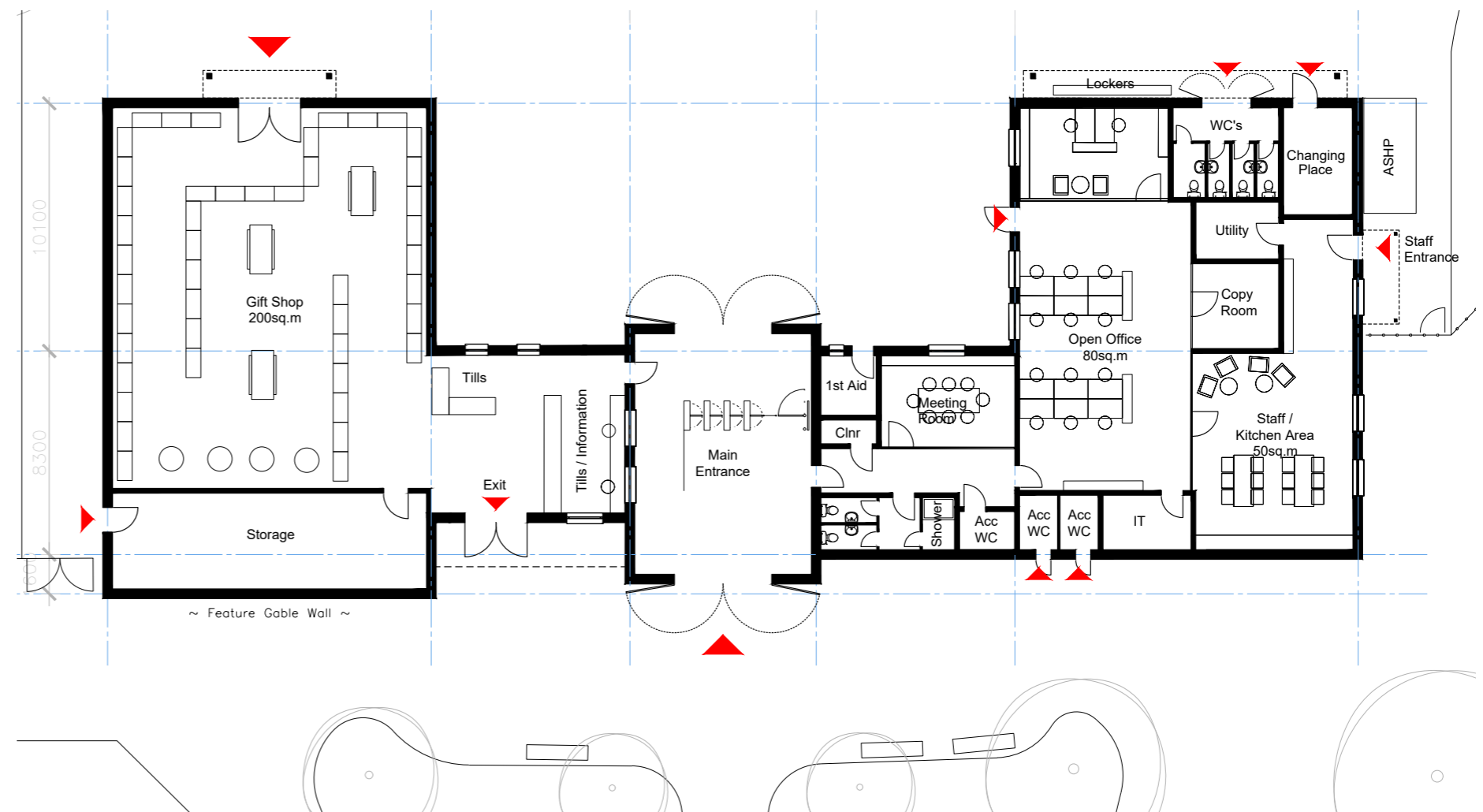
- Dedicated pedestrian route from coach drop off.
- The Entrance Plaza becomes a vibrant space with concessions, displays & exhibitions on arrival at Birdworld.
- The reorganization of the site creates a much more appropriate shape for the Birdworld site allowing spaces for excellent customer circulation.
- Clear & well designed entrance at Birdworld. Spaces created for new features including adventure play and improved visitor facilities.
- Existing soft landscaping & mature trees as retained & enhanced.
- Car parking associated with phase 1 and 3 (Birdworld development) equals 418 bays.



Proposed Site Plan - Phase 3

4.9 Birdworld Entrance Building

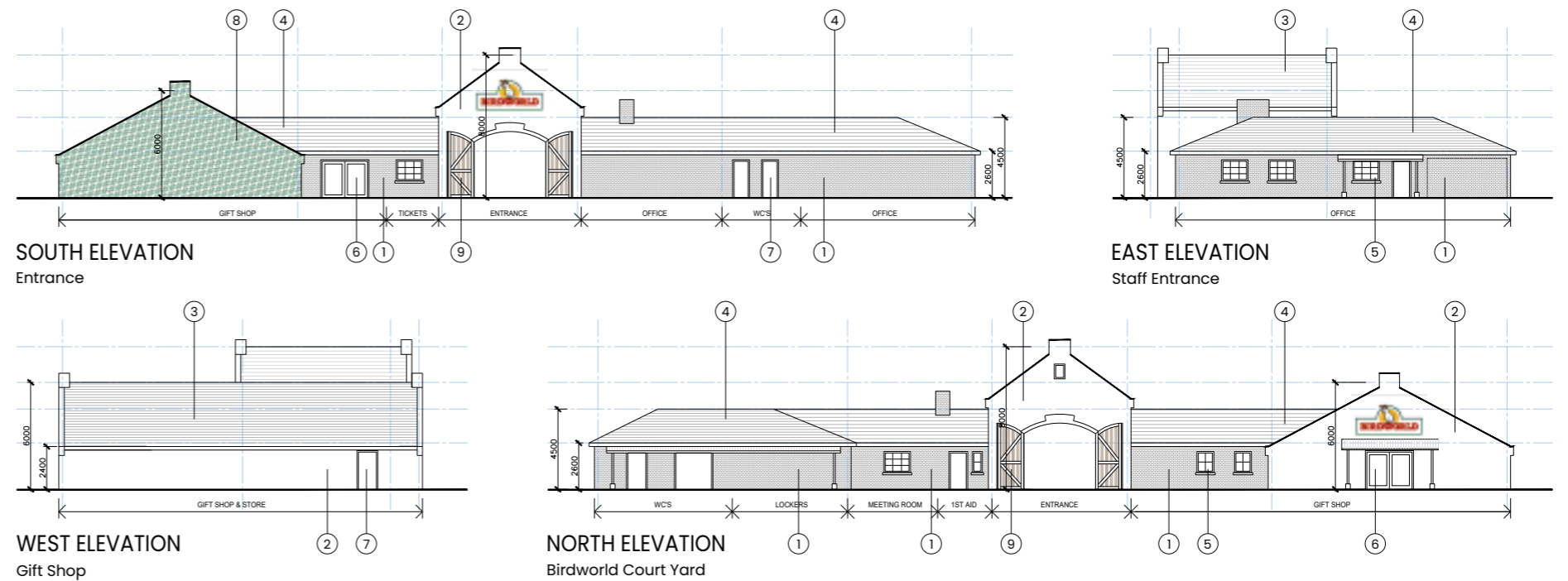
The proposed Birdworld Entrance Building will be accessed via a central entrance with controlled access. The right hand wing of the building provides accommodation for Birdworld staff, with separate access. There are customer toilets located to the rear of the right wing, which are centrally located to Birdworld. The left hand side of the layout provides a generous space for the Birdworld gift shop and exit. There is also a storage area accessed externally and accessible customer toilets fronting the Birdworld car park, which can be used upon arrival.



Birdworld Entrance Building Layout

4.10 Appearance - Birdworld Entrance Building

The proposed entrance building into Birdworld will feature stonework, brickwork and render, with slate roof and aluminium gutters and downpipes. The elevations to the right indicate the building's appearance.

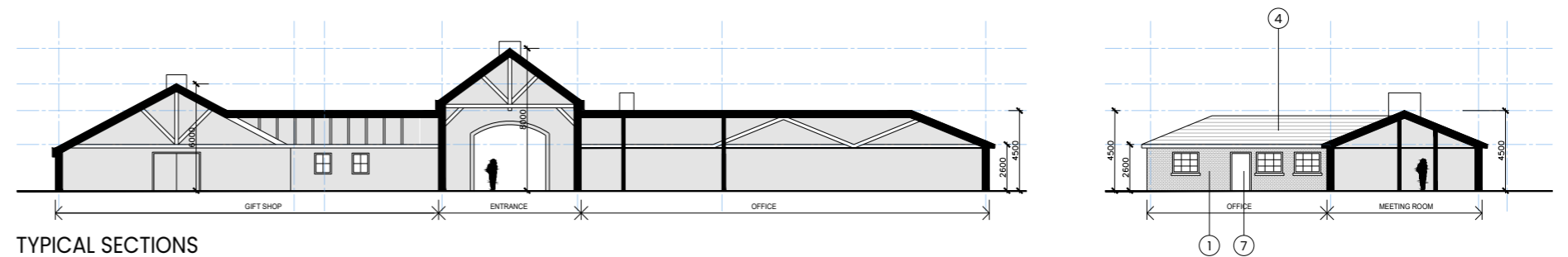


4.11 Scale & Massing - Birdworld Entrance Building

The proposed Birdworld Entrance Building will be single storey with varying eaves and ridge heights:

- Eaves Height: 2.400m > 5.100
- Ridge Height: 4.500m > 8.000m

The overall massing of the building is deemed to be considerate to the setting and proportional to the other buildings proposed within the context of the site.



PROPOSED ELEVATION KEY

- | | |
|--|---|
| 1. Brick | 6. Double glazed colour coat doors and frames |
| 2. Render with stone detailing | 7. Aluminium colour coated door Dark Grey |
| 3. Slate roof tile | 8. Living green wall |
| 4. Concrete roof tile | 9. Feature timber doors |
| 5. Glazing with colourcoated cappings to frames Dark Grey. | |

Birdworld Entrance Building Elevations

4.12 Materials – Birdworld Entrance Building

See adjacent, the key materials identified:

Please refer to architectural building elevation sheets for detailed material specifications.



Material: Stone
Colour: Limestone
Location: Birdworld Entrance Building – Wall Detailing



Material: Render
Colour: Off-white
Location: Birdworld Entrance Building – Walls



Material: Brick
Colour: Red Antique
Location: Birdworld Entrance Building – Walls



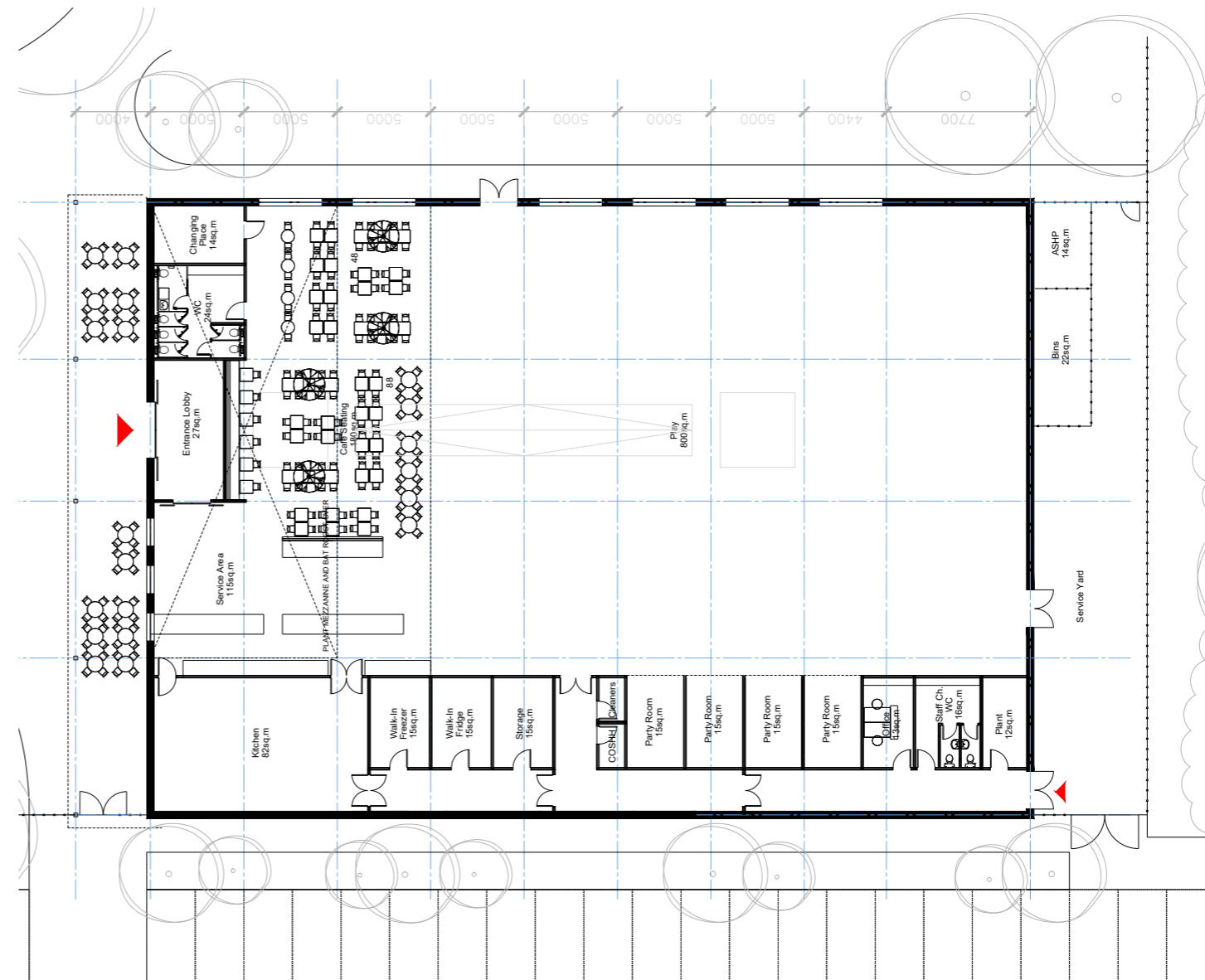
Material: Slate/Plain Roof Tile
Colour: Grey/Red
Location: Birdworld Entrance Building – Roof



Material: Green Wall
Colour: Green
Location: Birdworld Entrance Building – Feature Wall

4.13 Birdworld Play Barn

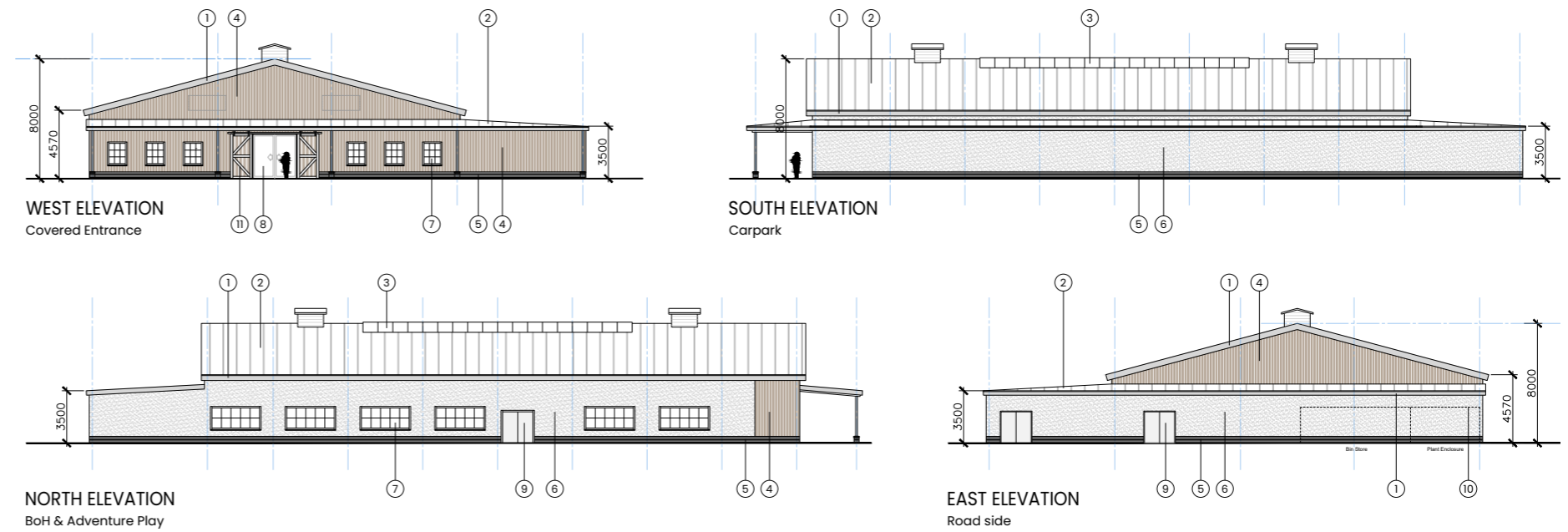
The Play Barn is accessed via an external terrace with monopitch canopy, which leads you into a cafe with service area, offering take-away and seating area. The bottom of the layout shows back of house areas and party rooms facing the main play area, which is located centrally.



Birdworld Play Barn Layout

4.14 Appearance – Birdworld Play Barn

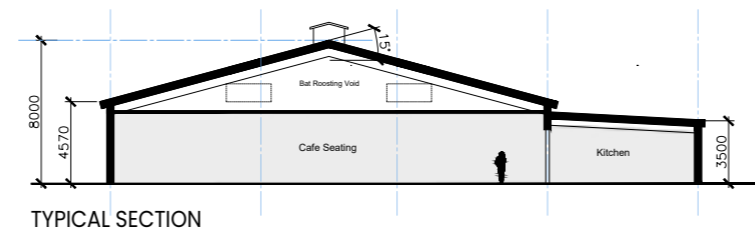
The Play Barn is designed to reflect the form and materials associated with a barn, using timber and brickwork with render to the single storey rear element and side elevation, see right.



4.15 Scale & Massing – Birdworld Play Barn

The massing of the building is considerate to the context with a ridge height of 8m. This ridge is equal to the proposed ridge height of the entrance building of phase 3.

Birdworld Play Barn – 3.500 > 4.000m eaves height & 8.000m ridge height.



PROPOSED ELEVATION KEY

- | | |
|---|--|
| <ol style="list-style-type: none"> 1. Fascia, verge and soffits colour coated profiles in Mid Grey. 2. Composite standing seam profile roof cladding colour to be grey. 3. Polycarbonate roof lights 4. Vertical timber wall cladding. 5. Brickwork 6. Render | <ol style="list-style-type: none"> 7. Glazing with colourcoated cappings to frames Dark Grey. Timber surrounds. 8. Automatic double glazed colour coat doors and frames 9. Aluminium colour coated door Dark Grey 10. Tanalised timber boarded enclosure 11. Feature timber doors |
|---|--|

Birdworld Play Barn Elevations

4.16 Materials – Birdworld Play Barn

The key component materials that will be used on the building have been identified, right.

Please refer to architectural building elevation sheets for detailed material specifications.



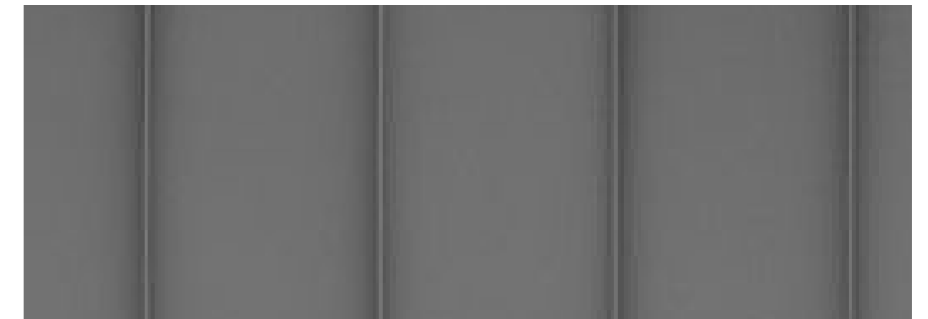
Material: Brick
Colour: Buff
Location: Birdworld Play Barn – Walls



Material: Timber Cladding
Colour: Cedar
Location: Birdworld Play Barn – Walls



Material: Render
Colour: Off-white
Location: Birdworld Play Barn – Walls



Material: Aluminium Standing Seam
Colour: Mid-grey
Location: Birdworld Play Barn – Roof

4.17 Haskins Garden Centre

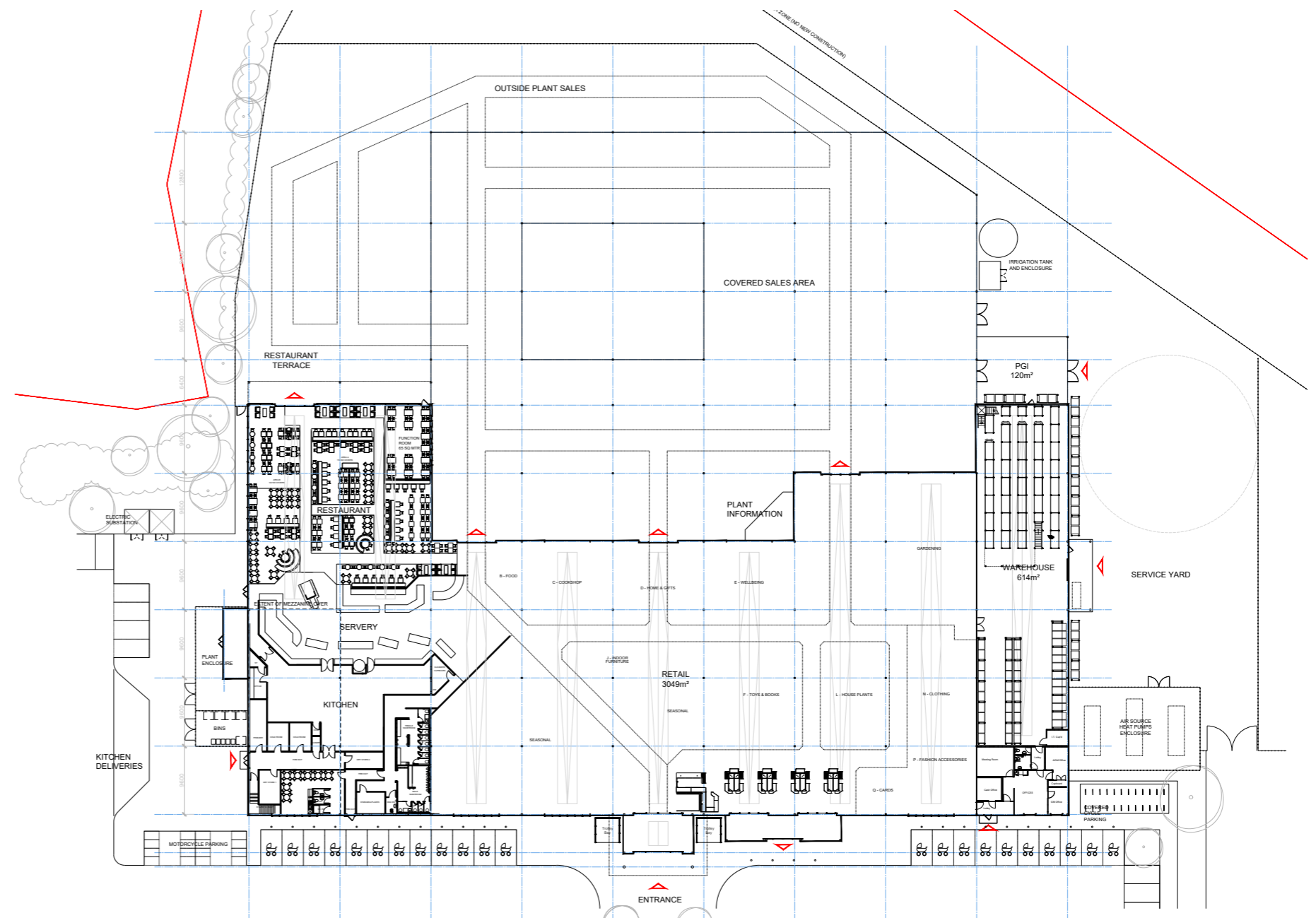
The proposed garden centre building is based on a previous project at Haskins Snowhill, that has been very successful, both commercially and contextually.

The layout of the floor plan shows a central entrance, leading into the main retail area. To the left of the retail area there is a kitchen and restaurant. The tills and exit lobby are located to the right of the main entrance. External sales including a covered sales area is located to the rear of the building. The warehouse is located to the far right hand side of the layout, with access to the service yard.

The main entrance is accessed from a central walkway through the middle of the Haskins car park. Plant is located in external enclosures either side of the building.

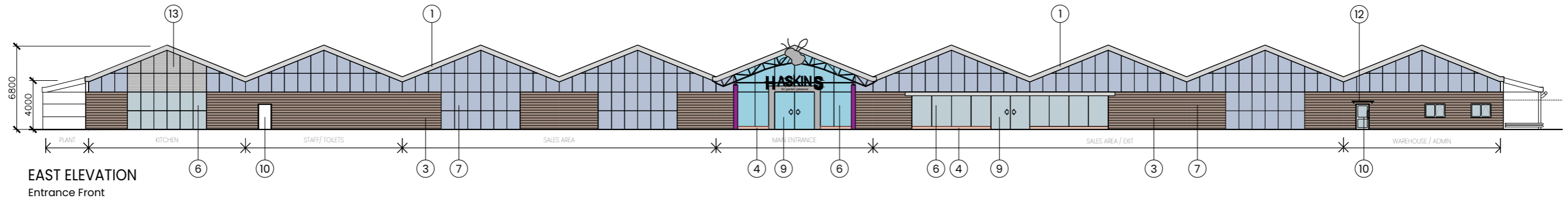
4.18 Appearance - Haskins Garden Centre

The appearance of the garden centre reflects that of Haskins Snowhill; which is a successful model. It demonstrates the use of a high quality material palette. (See elevations over page and refer to planning drawings for detailed materials schedule).

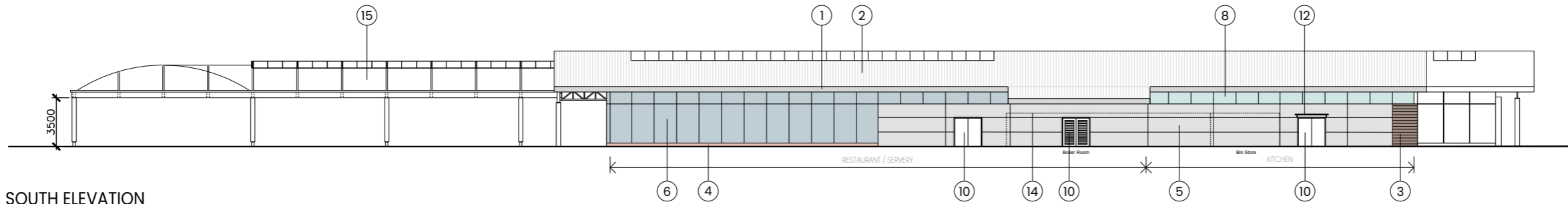


Haskins Garden Centre Layout

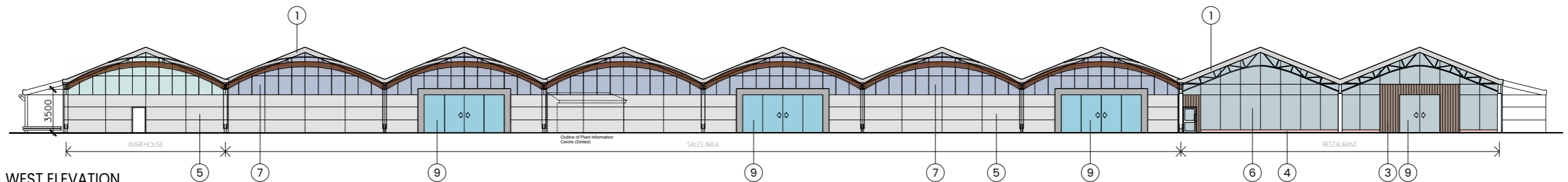
04 Design Proposal



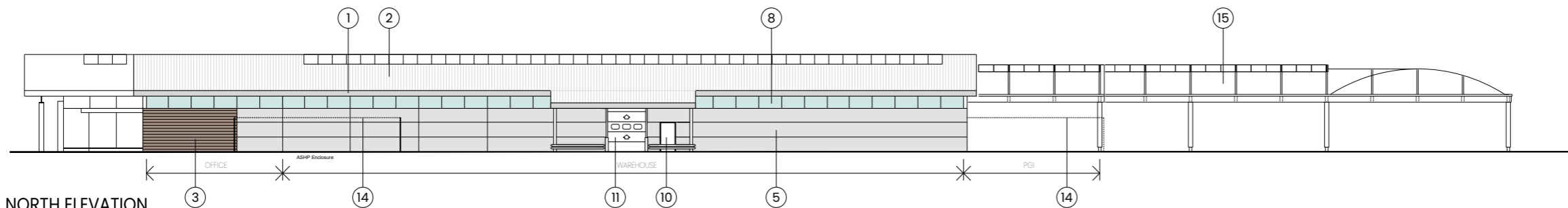
EAST ELEVATION
Entrance Front



SOUTH ELEVATION
Covered Sales, Restaurant & Kitchen



WEST ELEVATION
Warehouse & Covered Sales



NORTH ELEVATION
Warehouse & Covered Sales

PROPOSED ELEVATION KEY

- | | | |
|---|---|---|
| <ul style="list-style-type: none"> 1. Fascia, verge and soffits colour coated profiles in Mid Grey. 2. Composite colour coated roof cladding colour to be White 3. Marley Cedar timber effect wall cladding. 4. Smooth red engineering brick plinth 5. Composite cladding. Prefinished insulated panel colour Light Grey | <ul style="list-style-type: none"> 6. Tinted glazing with colourcoated cappings to frames Dark Grey. Clear glazing to entrance lobby. 7. Obscure glazing with colourcoated cappings to frames Dark Grey. 8. Multiwall Polycarbonate with dark grey cappings 9. Automatic double glazed colour coat doors and frames | <ul style="list-style-type: none"> 10. Aluminium colour coated door Dark Grey 11. Insulated prefinished sectional overhead door Dark Grey 12. Canopy to staff and delivery entrances 13. Plant mezzanine louvres colour coated Dark Grey 14. Tanalised timber boarded enclosure 15. Polytunnels |
|---|---|---|

4.19 Scale & Massing - Haskins Garden Centre

The massing of the proposed garden centre reflects that of Haskins Snowhill, which is a successful model that is also located in a sensitive location. The proposed garden centre will be a single storey development to reduce the impact of the massing on the site.

The proposed eaves height is 4m and the ridge is 6.4m. The ridge of the garden centre sits below that of the Birdworld Entrance Building and Play Barn.

See right, images to indicate the massing and appearance of the proposal.



Haskins Snowhill Entrance



Haskins Snowhill Covered Sales



Haskins Snowhill Restaurant External Seating



Haskins Snowhill External Plant Sales



Haskins Snowhill Front Elevation

4.20 Materials - Haskins Garden Centres

The key component materials that will be used on the building have been identified, right.

Please refer to architectural building elevation sheets for detailed material specifications.



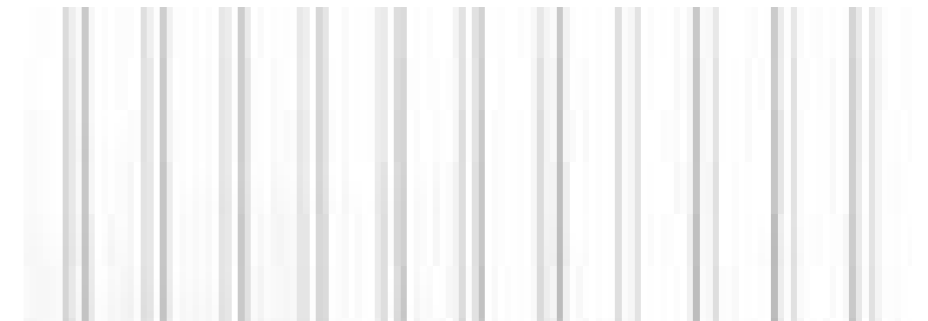
Material: Brick
Colour: Red Brick
Location: Haskins Garden Centre - Wall Plinth



Material: Marley Cedral Timber Effect Cladding
Colour: Timber
Location: Haskins Garden Centre - Walls



Material: Composite Cladding
Colour: Grey
Location: Haskins Garden Centre - Walls



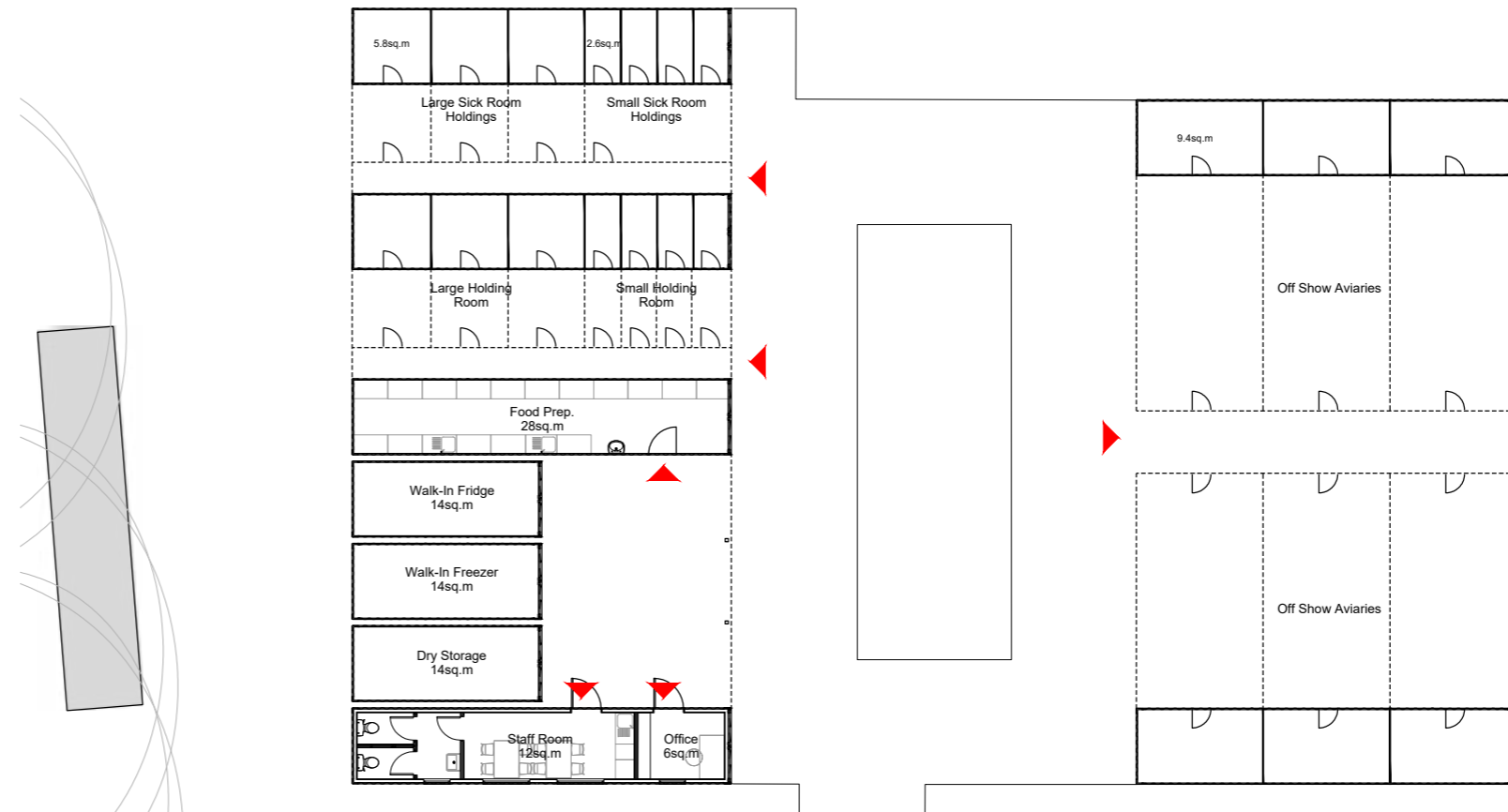
Material: Composite Roof Panels
Colour: White
Location: Haskins Garden Centre - Roof

4.21 Birdworld Living Collection Building

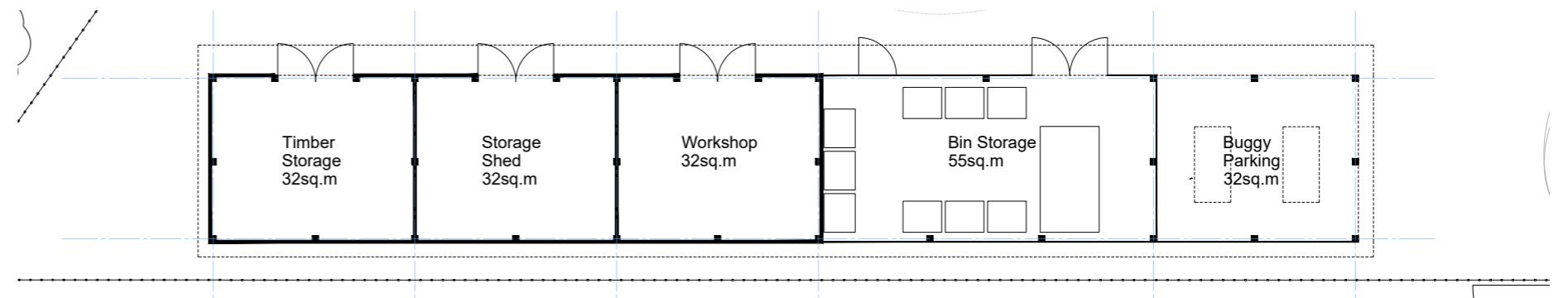
The living collection is a series of converted containers providing specialist accommodation for rare species. This area is intended to provide an area for conservation as well as provide Birdworld with the opportunity to educate the general public on the care of these bird species. It serves as an important part of the Birdworld redevelopment.

4.22 Grounds Building

The grounds building is located to the rear of Haskins Garden Centre's service yard. This structure is intended for storage and a dedicated workshop space for staff. The building is lightweight timber construction.



BirdworldLiving Collections Building

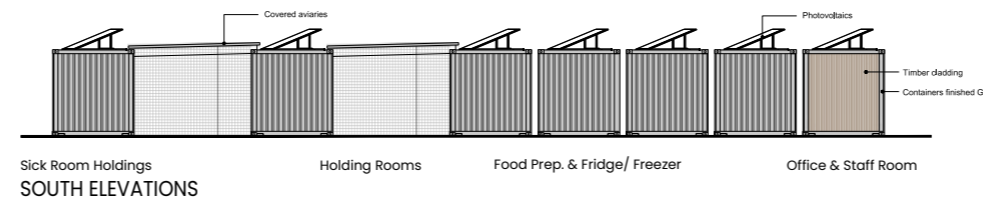
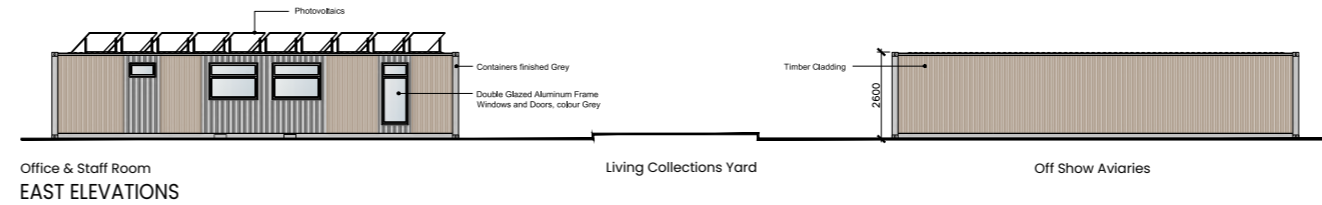
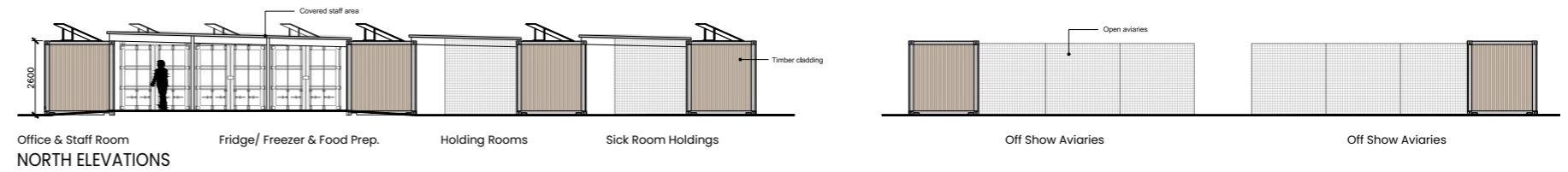


Birdworld Service Yard Grounds Building

4.23 Scale & Massing - Living Collections Building

The living collections building consists of repurposed shipping containers, that have been specially adapted to suit the proposed use.

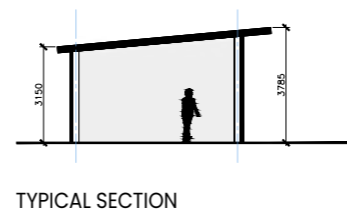
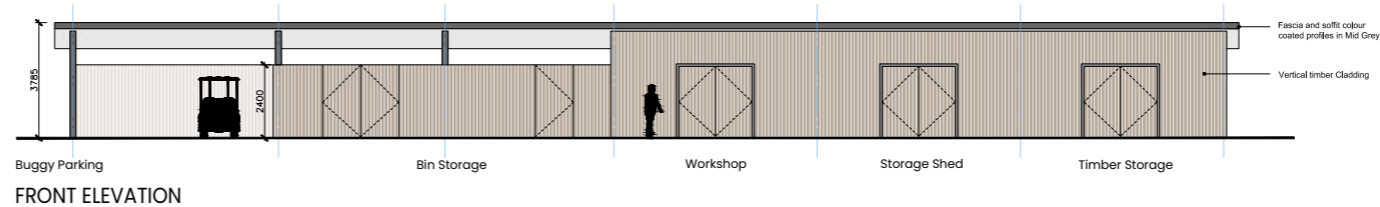
Given the nature of this building, the massing is relatively small and overall building height less than 3m.



4.24 Scale & Massing - Service Grounds Building

The proposed grounds building will be single storey unit as indicated right.

Birdworld Living Collections Building



Grounds Building

4.25 Materials – Birdworld Living Collections Building

The living collections building will be a series of steel shipping containers clad in timber.

Please refer to architectural building elevation sheets for detailed material specifications.



Material: Timber Cladding
Colour: Cedar
Location: Birdworld Living Collections & Grounds – Walls



Material: Single Ply
Colour: Dark Grey
Location: Birdworld Grounds – Roof

4.26 Materials – Birdworld Grounds Building

Timber cladding to the exterior with single ply roofing.

Please refer to architectural building elevation sheets for detailed material specifications.



The Richards Partnership – Proposed Landscaping Plan

4.27 Landscaping

The existing Birdworld and garden centre site is visually well contained by surrounding ancient woodland. Public views to the site are only available locally, primarily from the A325, which adjoins the site's eastern boundary.

Several residential dwellings adjoin the southern boundary and are accessed off Gravel Hill Road. There is also an existing residential dwelling to the south of the existing Birdworld Visitor centre building.

The site falls gently from the south-western corner to the north-west corner by circa 6m. There is a more pronounced fall in level of circa 4m, down to the south-east corner, where the site adjoins the A325.

The site is currently accessed via two separate junctions off the A325. A new roundabout would provide access to both the proposed new Birdworld visitor centre and the proposed new garden centre, both of which would have a dedicated car park.

Birdworld Car Park

Planting design approaches would vary to provide different identities and characters for the Birdworld and Garden Centre sites. The Birdworld car park would take on an informal, naturalistic approach, with mounded landforms and quarried boulders to provide low level screening and containment of the parking bays. Proposed plant species have been selected to simulate a lowland heath habitat, comprising native grasses,

heathers and dwarf gorse. Native species hedging and shrubs such as dogwood and spindle would also be utilised in conjunction with native tree planting to provide additional structure.

Garden Centre Car Park and Approach Road

The garden centre car park and approach road would have a more manicured and formal character, with formal clipped hedges, ornamental shrubs, herbaceous plants and grasses, set within close mown grass verges interplanted with spring bulbs.

Tree Planting

The car park layouts have been developed to enable extensive tree planting which would contribute to ensuring the site achieves an overall gain in biodiversity and provide a treed character, consistent with the site’s surroundings.

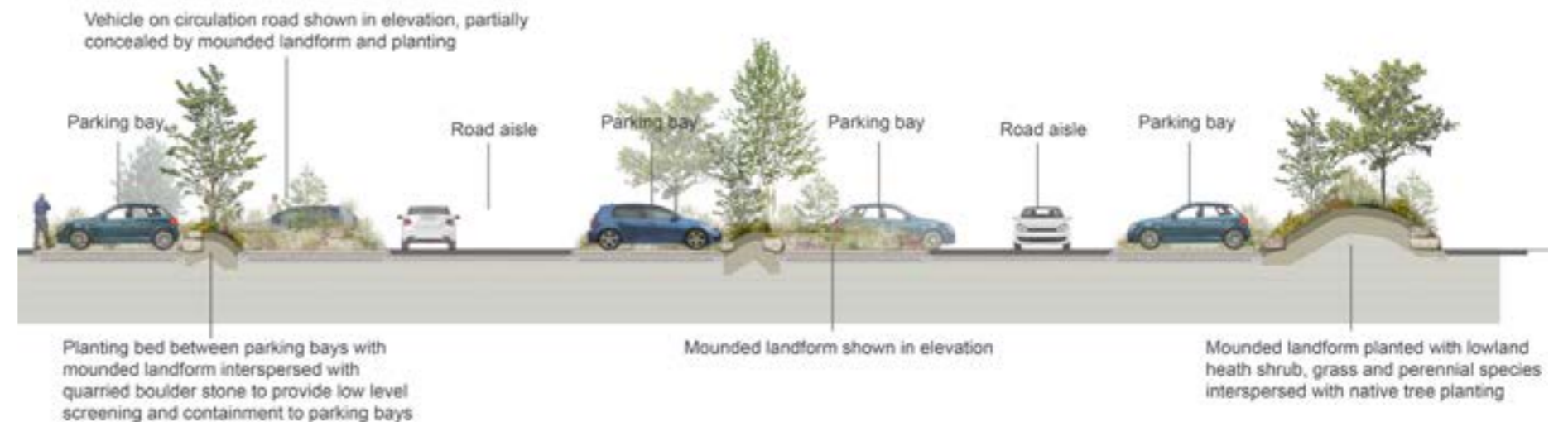
Buffer planting would be introduced along the site’s southern boundary to reinforce existing boundary planting which would provide additional screening of the site from adjoining residential properties.

Retaining Walls

In response to the falling ground levels, a retaining wall approximately 2m high along the southern extents of the car park and approximately 0.8m high along south-eastern extents of the car park would be required, to ensure car park levels are within acceptable gradients for trolley use. The walls facing the A325 would be clad with pre-grown ivy panels to provide an instant soft, greened frontage to the site.

SuDS

Permeable paving would be utilised within the parking bays to intercept surface water at source. A surface water attenuation basin would be formed in the location of an existing, poor quality, waterfowl pond in the lower south-eastern corner of the site. This would act to attenuate and cleanse surface water from the site before being released in a controlled manner. The basin would be seeded with a native meadow seed mix and managed to provide a species rich grassland. A proposed swale extending through the centre of the Birdworld car park



Typical Cross-section Birdworld Car Park

would intercept surface water from the road aisles. The swale would be seeded with a native seed mix for wetlands and marginal planting within localised boggy areas would provide additional species diversity.

A rain garden is proposed to intercept surface water from the hard standing at the Birdworld arrival area. This would be planted with a selection of ornamental plants and grasses. Quarried stone boulders and logs would be added to create opportunities for natural play and a board walk link would provide direct access to the adjoining amenity lawn.

Adventure Playground & Woodland Enhancement

The proposals also entail the introduction of a Play Barn building and adventure playground, associated with Birdworld. The building would be located adjacent to an existing small woodland and the adventure playground would be introduced within the woodland. The woodland comprises dense belts of coniferous trees around the southern and eastern edges, with predominately mixed deciduous trees in the centre.

The layout of the adventure playground will be developed in conjunction with the project arboriculturist’s and ecologist’s recommendations, to ensure that the

proposals are integrated within and around existing trees of value, whilst also taking the opportunity to implement a management and re-planting regime to arrive at an overall improvement to the existing woodland. Existing close grown groups of cypress trees would be removed and replanted with mixed native deciduous trees to enhance the current condition of the woodland.

Species Rich Grassland

An existing area of grassland to the north of the site would be enhanced to create species rich grassland, through overseeding and a change to the management regime, further contributing to the overall improvement of biodiversity on the site.



Grasslands



Adventure Play



Adventure Play

4.28 Ecology

Introduction

The following is a summary of the ecological survey information, mitigation proposals and Biodiversity Net Gain position.

Biodiversity Net Gain

The Environment Act 2021 sets out a compulsory increase of 10% biodiversity net gain on all new developments and will become mandatory as of February 2024. The proposed development will deliver a net gain for habitats of 12.36%, as well as a net gain in hedgerows of 27.41% and 74.65% for watercourses.

Ecology Summary

The site has been subject to an ecological assessment including habitat and protected species surveys, the latter with a particular focus on bats. The site is directly adjacent to an area of ancient woodland, the majority of which is Plantation on an Ancient Woodland Site (PAWS), but that immediately adjacent is designated ancient and semi-natural. The woodland is also designated as a Site of Importance for Nature Conservation (SINC). A 15-metre buffer zone, including areas of semi-natural habitat, will be provided from areas of new built

development. The site lies within the Impact Risk Zone for Bentley Station Meadows Site of Special Scientific Interest (SSSI), but it is not one of the categories of development that requires consultation.

The site comprises buildings, woodland, trees, scrub, hedgerows, ponds, modified and neutral grassland, bare ground, ground level planters, introduced shrubs and hardstanding. Mature trees and habitats of relatively greater ecological interest with the site are retained, wherever feasible, as part of the proposed development. Significant new tree planting, along with the establishment of new and replacement habitats, is also proposed.

Survey work has identified the evidence of roosting bats in some of the buildings. These roosts are all of common species and, for the most part, small in nature. Habitats on site also offer suitability to foraging and commuting bats. The proposed demolition of some of these buildings ; which will affect only small roosts of common species, will require a Natural England licence in due course.

Replacement roosting opportunities are included within the proposed development, including a dedicated bat loft in the new play barn. Consideration will be had to lighting design, as well as the provision of bat boxes

onto retained trees or new buildings.

No Badger setts or activity were recorded during surveys, although the site does provide foraging, dispersal and sett building opportunities. Therefore, prior to commencement of groundworks, the site will be checked to ensure no new setts have been excavated. Standard measures will be implemented to during construction to guard against adverse effects on Badgers.

Pre-development habitats offer good opportunities for Hedgehogs. Woody / shrub habitats will be cleared outside the winter hibernation period. New planting will include a range of native species which contain features beneficial to hedgehogs. Installation of Hedgehog gateways and hibernation aids will provide further opportunities post-development.

The site offers suitable nesting and foraging opportunities for birds throughout, with the woodland and mature trees providing the greatest interest, these will be retained as part of the proposal. Suitable nesting habitats will be removed outside of the nesting period or checked by an ecologist prior to removal. Additional nesting opportunities will be provided through the installation of bird boxes. In addition, a planting regime of fruit-bearing species will be implemented to continue to provide foraging opportunities.

A good assemblage of common invertebrate species is expected. The retention of hedgerows and wooded belts, and the establishment of further hedgerows, trees, scrub, shrubs and meadow grassland will continue to provide opportunities for invertebrates.

Overall, the survey work completed has identified some habitats of ecological interest and use by protected species. The proposals incorporate the majority of habitats of value as part of the green infrastructure for the new development, while delivering new habitats of ecological interest that will deliver a significant Biodiversity Net Gain, as well as specific new features for wildlife.



Bat & Bird Boxes



Bat Box



Hedgehog Gateway

4.29 Highways

Access

Access is proposed via a new 3-arm roundabout from the A325, with dedicated access arms for Birdworld and Forest Lodge. It has been designed in line with the recorded speeds on the A325 and in accordance with the Design Manual for Roads and Bridges (DMRB) CD116. It has also been subject to an independent Road Safety Audit and been subject to consultation with Hampshire County Council. Capacity testing has been undertaken which demonstrates that it can accommodate the traffic demands of the proposals.

The existing Forest Lodge access will be removed and the existing Birdworld access will be closed to general traffic. Both existing junctions are sub-standard, and the proposed roundabout will provide a material highway safety benefit by:

- Providing a junction with adequate visibility;
- Being designed to standard;
- Reducing the number of operational junctions on the A325;
- Reducing vehicle speeds; and
- Providing improved pedestrian and cycle crossings on all arms

Whilst the proposed roundabout will reduce speeds on the A325, a financial contribution will be made to Hampshire County Council to fund a Traffic Regulation Order (TRO) to reduce the speed limit on the A325 from 50mph to 40mph.

Sustainable Transport Improvements

Footways and pedestrian/cycle crossings will be provided on all arms of the roundabout to enable direct pedestrian access to both Forest Lodge and Birdworld, as well as a new footway on the eastern side of the A325 to provide a direct connection to Footpath 50 and an onward walking connection to Alice Holt.

The new footways will provide a direct connection to Gravel Hill Road (signed as the local Forest Research Adaptation Trail walking route) which provides onward pedestrian/cycle connections to Bentley Railway Station.

Improvements will also be made to the Gravel Hill Road bus stops on the A325, including direct footway connections to Forest Lodge and Birdworld and new bus shelters. Real time travel information will be provided at the bus shelters to be secured via a financial contribution.

Traffic Impact

A comprehensive trip generation and traffic assessment has been undertaken using robust parameters agreed with Hampshire County Council. This has been based on empirical traffic data collected at Forest Lodge / Birdworld and has included testing numerous assessment scenarios to fully account for the seasonality of both businesses.

The traffic impact assessment demonstrates that the local highway network is expected to continue to operate well within capacity with the addition of the proposed development. Officers at Hampshire County Council have confirmed this position.

Site Layout, Car and Cycle Parking

The site layout has been designed to provide adequate access for all users, including direct and convenient walking and cycling routes to building entrances. All delivery, servicing and emergency vehicles can be accommodated with ease. A total of 840 car parking spaces are to be provided across the site as follows:

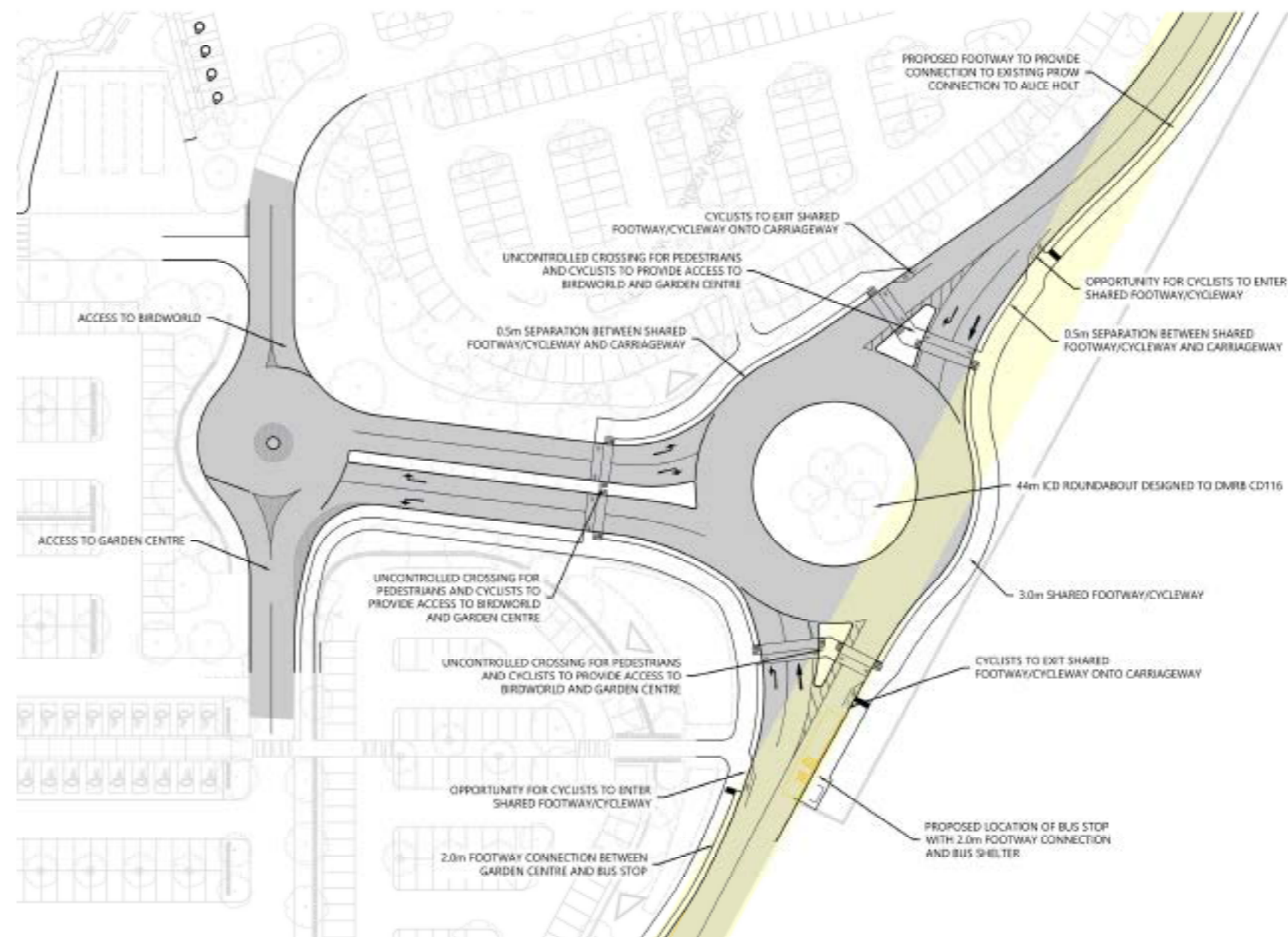
- 418 spaces for Birdworld; and
- 422 spaces for Forest Lodge.

A parking assessment based on empirical data has been undertaken which demonstrates that the proposed parking provision is sufficient to accommodate the parking demands of both Birdworld and Forest Lodge. Dedicated spaces for mobility impaired users, families and car sharers will also be provided, as well as electric vehicle charging points.

Covered and secure cycle parking will be provided in line with the local standards. Shower and changing facilities will be provided for staff within the buildings.

Travel Plans

Travel Plans for both Birdworld and Forest Lodge have been prepared and will be implemented at both sites. The Travel Plans will set out a range of measures to promote and facilitate the use of sustainable transport modes and to reduce reliance on the private car. The Travel Plans have been prepared in line with local/national guidance and will be monitored on a regular basis.



Proposed Three Arm Roundabout

4.30 Building Services Inc. BREEAM and Drainage

Ion have produced the following information in support of the planning application:

- Low/Zero Carbon Report
- Passive Design Report
- Thermal Comfort Report
- BREEAM Evidence Letter

The below energy statement sets out the principles of the M&E design:

The proposed development will achieve full compliance with Building Regulations, and achieve a BREEAM 'Excellent' Rating and an EPC Rating of A.

This will be achieved by adopting a fabric first approach, with the building fabric thermal properties, glazing properties and air permeability exceeding the requirements of the Building Regulations minimum standards by some margin.

The building will utilise high efficiency air source heat pump technology to provide internal comfort to the staff and public within the building.

Localised cooling will be provided to areas of the building subject to overheating using a high efficiency

air conditioning heating and cooling system to provide internal comfort to the occupants.

Hot water will be provided by means of an electric boiler and cylinder arrangement, utilising the energy generated by the roof mounted photovoltaic array providing a high efficiency means of hot water generation.

The building will capture rainwater from the site utilising a below ground rainwater harvesting tank, the captured rainwater will be used for irrigation purposes across the site to reduce strain on the local infrastructure.

High efficiency LED lighting will be provided throughout the development.

Intelligent controls will be utilised to ensure the building services only operate when necessary, including CO2 sensors, temperature sensors, presence and absence detection and daylight dimming etc.

All buildings will also be provided with a large roof mounted PV array which will offset the energy consumption of the building during daylight hours, with any surplus energy exported back to the electricity grid.

The car park areas for each site will be provided with

electric vehicle charging points as follows;

- Garden Centre - 8No Electric Vehicle Charging Points.
- Birdworld - 8No Electric Vehicle Charging Points.



Photovoltaic Array

Sustainable Drainage

Managing flood risk is an important part of achieving sustainable development. Sustainable Drainage Systems (SUDS) have a key role to play in flood management for new (and existing) developments. The site will benefit from an improved overall drainage system, designed to current standards and guidance.

Surface Water

- The existing surface water system currently discharges off the site with no flow control. New surface water systems will be provided in accordance with current Sustainable Drainage Guidance.
- The new System will attenuate (Store on site and release slowly) into the existing site discharge connections. The attenuation provided will significantly reduce the peak flows from the site and reduce flooding risk to the surrounding areas.
- It will incorporate biodiversity aspects in combination with the landscaping and ecology plans for the site.
- The new drainage system will have an agreed maintenance regime to ensure its ongoing reliability.

Foul Water

- Foul drainage will be renewed/replaced in accordance with the current Building Regulations.
- The foul system will continue to connect into the Thames Water network.



Sustainable Drainage



Sustainable Drainage

05 Public Consultation

5.1 Engagement

As part of the design process, Birdworld and Haskins engaged in a public consultation to offer interested parties the opportunity to review the proposals and offer their feedback.

This was an important exercise during the pre-planning design process to engage with local residents; allowing participation, which has been a positive contribution.



5.2 Public Consultation Boards

The following images show thumbnails of the consultation boards as presented:



Birdworld and Haskins, Forest Lodge

03333 405 500
mail@robertslimbrick.com
robertslimbrick.com



Pre-application Design
November 2023

Birdworld and Haskins, Forest Lodge



Introduction

In February 2020 Haskins took over Forest Lodge Garden Centre & Birdworld.

Birdworld is one of the largest independent tourist attractions in the south east and has been a popular local destination for the past 50 years.

Birdworld is a unique experience - it is the largest birdpark in the U.K. It currently attracts over 100,000 visitors a year and has an extensive conservation and breeding program.

Haskins is a family-run Garden Centre Business founded in 1882 by Harry Haskins on the south coast. Today Harry Haskins' great grandson Warren Haskins is the Chairman and is very much involved in developing the business.

The company is well respected nationally and internationally for its innovative and inventive approach to garden retailing.

Going Forward

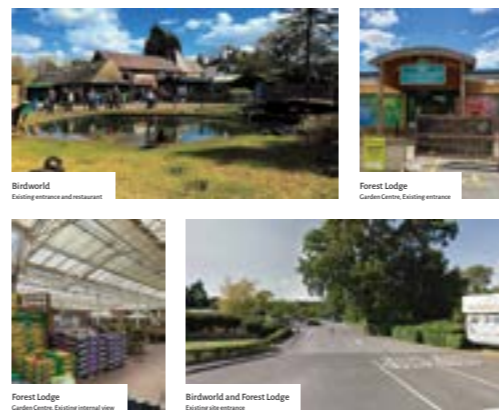
The past few years have allowed Haskins to review the re-development proposals put in place by the previous owners and, from this hands on operation of Birdworld and Forest Lodge Garden Centre, to assess how best to improve both facilities so that they can deliver the very best customer and visitor experience.

The purpose of this consultation is to introduce the re-development proposals and get your views. The intention is to work with the Council and the local community to create a viable and sustainable development for the future.

Drop-in session

We have prepared a series of display boards to tell you about our vision for Birdworld, so please help yourself to refreshments and take your time to look at the information on display.

Feel free to ask us any questions and please don't forget to fill out one of the feedback forms provided - we want to hear your views.



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Birdworld and Haskins, Forest Lodge



The need for change

There are a number of fundamental constraints and challenges for both parts of the business.

Site access

There are two entrances from the A25 for both businesses, neither with dedicated right turn entries.

Internal layout

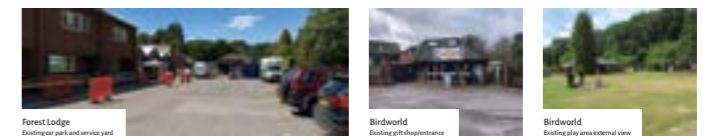
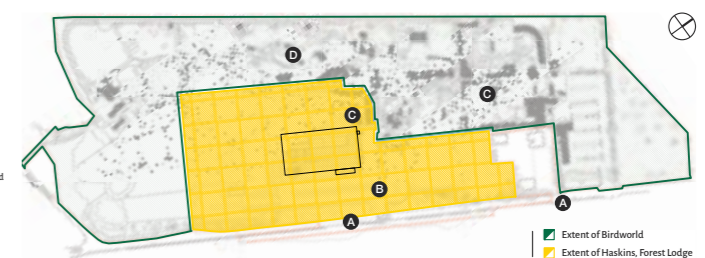
Garden Centre deliveries access the service yard through the main car park creating conflict with pedestrians and customer vehicles. Long banks of car parking encourage increased speed and impact on customer safety.

Building condition

Across both sites, the arrangement, layout and overall building conditions are poor. The existing buildings are outdated and don't meet today's modern standard of insulation, energy performance and sustainability.

Circulation

The existing shape and narrowness of the Birdworld site result in an 'out and back' path structure. This results in a poor customer journey and overall experience.



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2

Birdworld and Haskins, Forest Lodge



Site Plan - Birdworld

Businesses are faced with the challenge of providing an excellent visitor experience in the world of leisure and activity parks. There are a number of key challenges to be met for the success of the business.

The challenges we will address are:

- 1. Site access and parking
- 2. Internal layout
- 3. Building condition
- 4. Circulation

1. Site access and parking

Address the current parking and drop-off/pick-up area to create a more efficient and safer parking area.

2. Internal layout

Re-organise the site layout to improve the flow of traffic and create a more efficient and safer internal layout.

3. Building condition

Address the current building condition and create a more modern and sustainable building.

4. Circulation

Address the current circulation and create a more efficient and safer circulation route.



Pre-application Design | November 2023

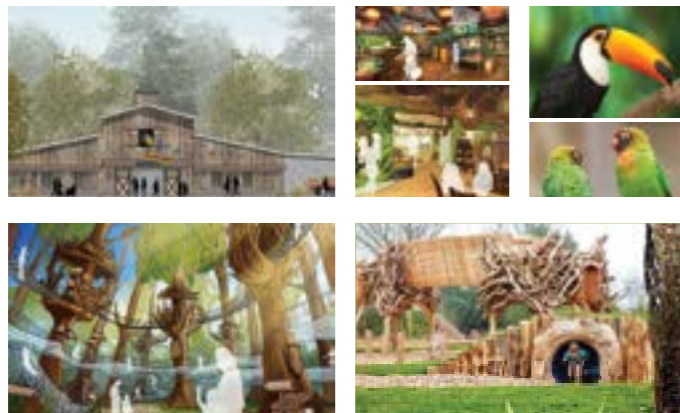
3

Birdworld and Haskins, Forest Lodge



Improvements to Birdworld

- The Play Barn**
This indoor play area will appeal to visitors throughout the year and offer more opportunities for the local community.
- Outdoor Adventure Play**
An exciting new attraction to help add another dimension to the park.
- The Conservation and Breeding programme**
A new 'back of house' facility for this important aspect of Birdworld.
- Safeguarding the future for the existing exhibits and displays**
New and different attractions will help generate more footfall and income for the Bird Park.



Pre-application Design | November 2023

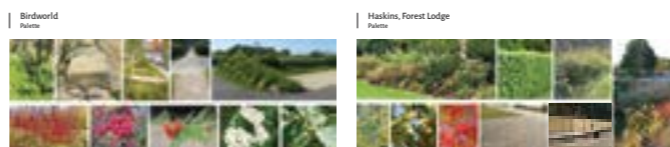
4

Birdworld and Haskins, Forest Lodge



Site Plan - Landscape & Ecology

- The existing Birdworld and garden centre site is visually well contained by surrounding ancient woodland and on-site landscaping. Public views of the site are only available locally, primarily from the A325, which defines the site's eastern boundary.
- The planting design approach varies to provide different identities for the Birdworld and Garden Centre sites.
- The Birdworld car park will have an informal, naturalistic approach, whereas the Garden Centre will be more manicured and formal in character. The car park layout has been developed to allow new tree planting which will contribute to the site's biodiversity gain.
- Where it has been necessary to remove trees, replacement trees and shrubs have been incorporated into the landscape scheme.
- Buffer planting will be introduced to reinforce existing boundary planting and provide screening from adjoining residential properties. This buffer will be further enhanced by the use of acoustic fencing.
- An adventure playground will be created within the woodland in line with the recommendations of the project arboriculturist and ecologist.



Pre-application Design | November 2023

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Birdworld and Haskins, Forest Lodge



Site plan - Overall masterplan

Thank you for visiting our drop in session. We would welcome any thoughts on our proposals using the feedback form provided. Please put your feedback on the comments form or post your feedback to us using one of the contact details provided.

Your feedback will allow us to refine and finalise our plans, before submitting a planning application to us.



Should you have any further queries or comments after the drop in session, please contact us by email : farnham.development@birdworld.co.uk

Pre-application Design | November 2023

9

Birdworld and Haskins, Forest Lodge



Site Plan - Forest Lodge

- New single, all season, paved parking spaces will be provided along with other measures to allow for sufficient parking of peak times.
- Recreation facilities including a play barn, outdoor adventure play, and a new 'back of house' facility for the conservation and breeding programme.
- The site is well contained within the woodland and on-site landscaping.
- The site is well contained within the woodland and on-site landscaping.
- The proposed car park will be located within the woodland and on-site landscaping.
- The site is well contained within the woodland and on-site landscaping.



Pre-application Design | November 2023

5

Birdworld and Haskins, Forest Lodge



Sustainability and Drainage

- The new buildings will achieve a BREEM 4+ rating.**
This will be achieved through passive design measures, including highly thermal efficient building fabric, natural shading where possible, and improved air tightness.
- The principle behind the design of the buildings follows the London Plan Energy Hierarchy:
- Be Lean - Use Less Energy** (passive and active measures)
- Be Clean - Supply Energy Efficiently** (select the most energy efficient systems)
- Be Green - Use Renewable Energy** (use renewable energy intelligently)

- Low Carbon Technologies**
The buildings will utilise the following low or zero carbon technologies to achieve BREEM Excellent Status:
- No natural gas supply will be provided to the new buildings in-line with the UK Governments phase out of natural gas boilers.
- Energy efficient heat pump technology with efficiencies in excess of 300%.
- Roof mounted solar photovoltaic (PV) panels to allow on-site energy generation with the ability to export electricity to the grid.
- Energy efficient LED light fittings.
- Smart heating, ventilation, air conditioning & lighting controls will be implemented throughout.
- Electric Vehicle charging points provided for both sites, in excess of the Building Regulation requirements.



- Sustainable Drainage**
Managing flood risk is an important part of achieving sustainable development.
- Surface Water**
The existing surface water system currently discharges off the site with no flow control. New surface water systems will be provided in accordance with current Sustainable Drainage Guidance.
- Foul Water**
The site will benefit from an improved overall drainage system, designed to current standards and guidance.
- Foul drainage will be renewed/replaced in accordance with the current Building Regulations.
- The foul system will continue to connect into the Thames Water network.

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