

**MANTELL
RITCHIE**

Chartered Architects

DESIGN STATEMENT

188 Seatown,
CULLEN.

BACKGROUND INFORMATION

Project: 188 Seatown,
CULLEN
Proposed Replacement House

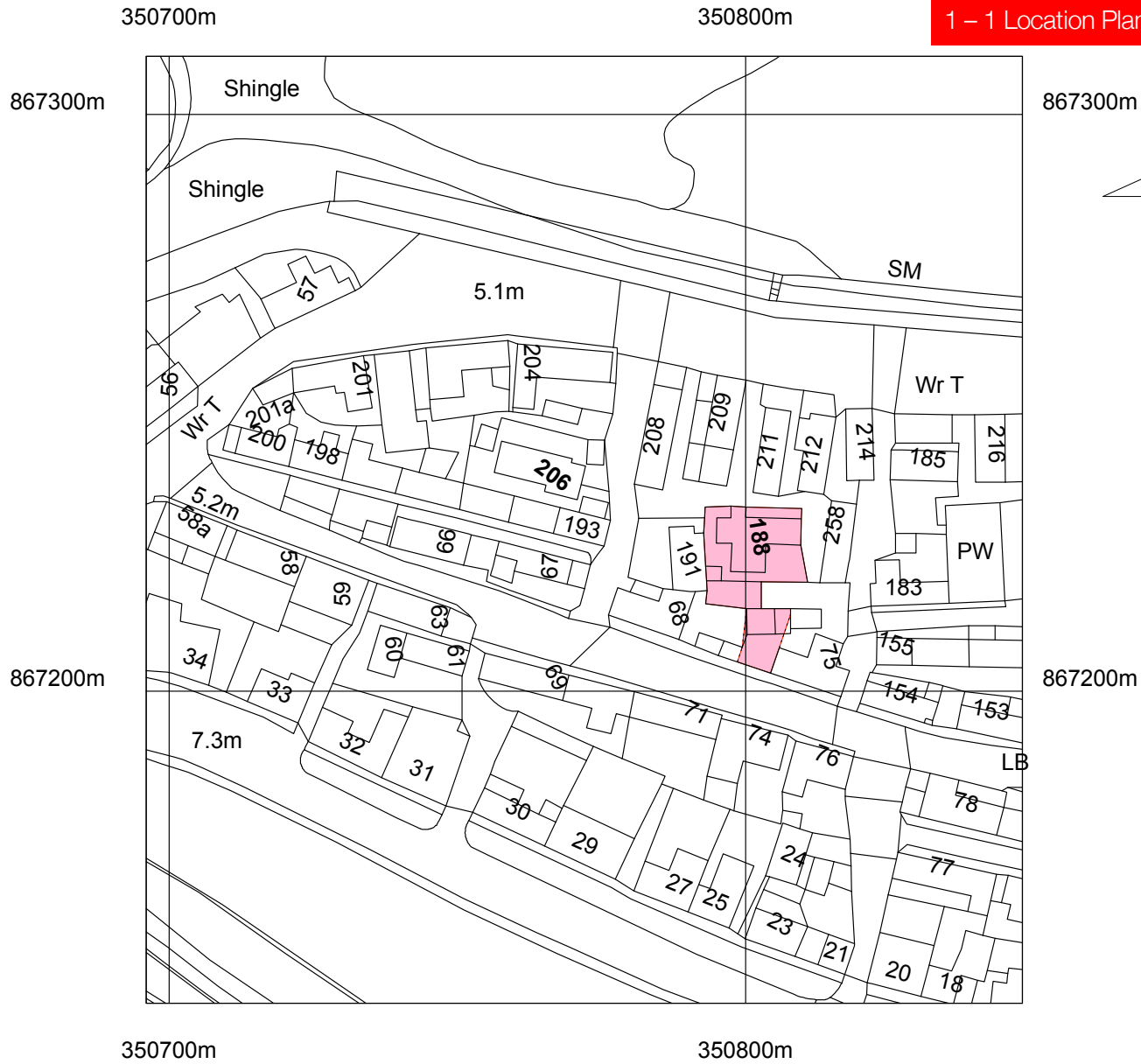
Applicant: Mr D Pritchard

Prepared By: Mantell Ritchie Chartered Architects

Date: 7th February, 2024

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- 1 – 1 Location Plan
- 1 – 2 Existing Photographs and Drawings
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Location Plan

Existing Photos



Image 1

1 – 2 Existing Photographs and Drawings



Image 2

Existing Photos

1 – 2 Existing Photographs and Drawings



Image 3

Image 4

Existing Photos



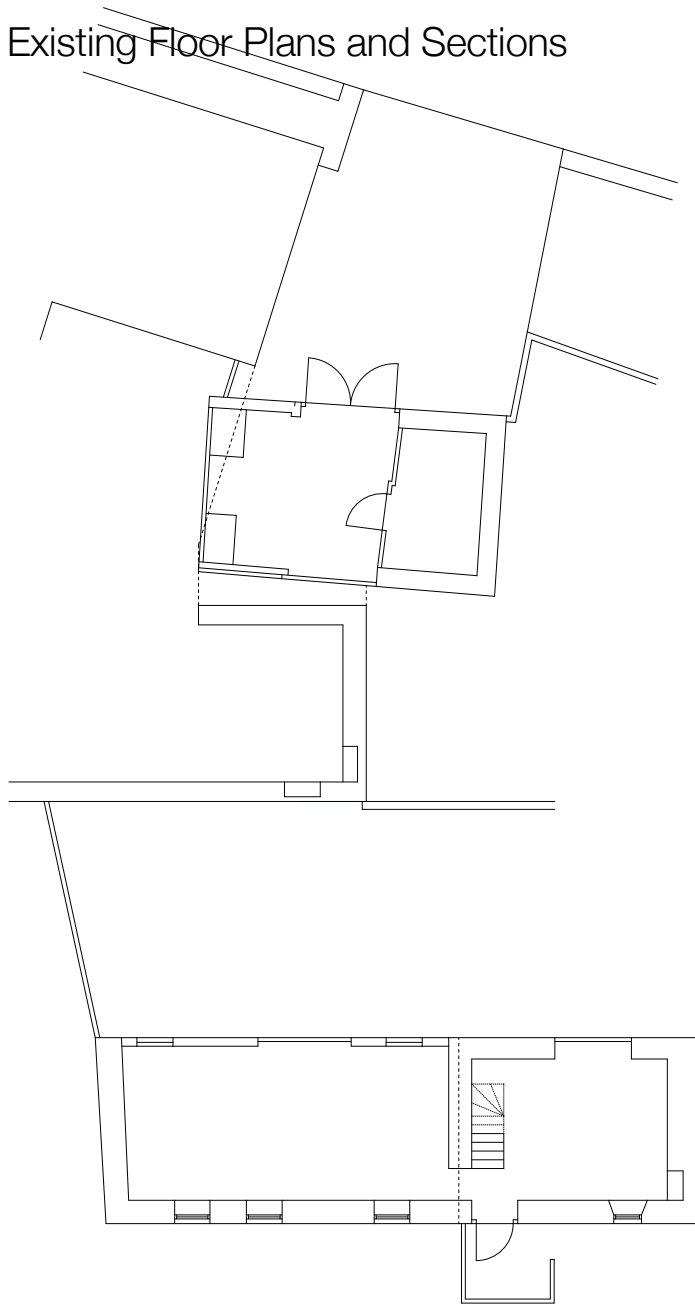
Image 5

1 – 2 Existing Photographs and Drawings



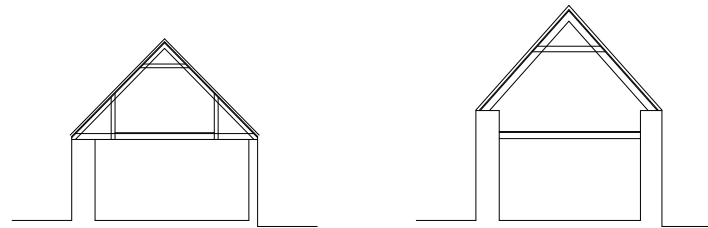
Image 6

Existing Floor Plans and Sections



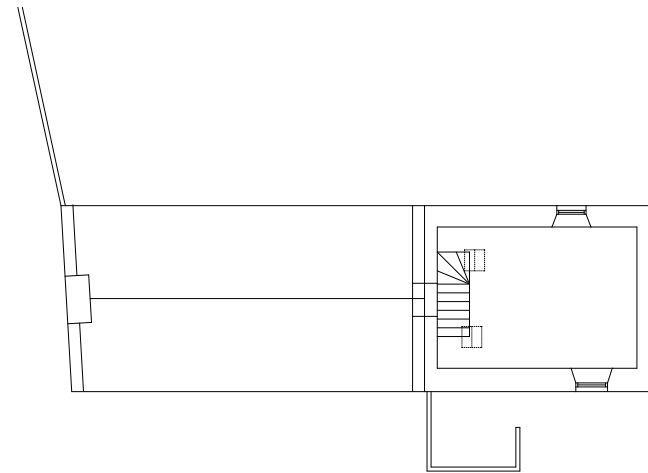
Ground Floor Plan

1 – 2 Existing Photographs and Drawings



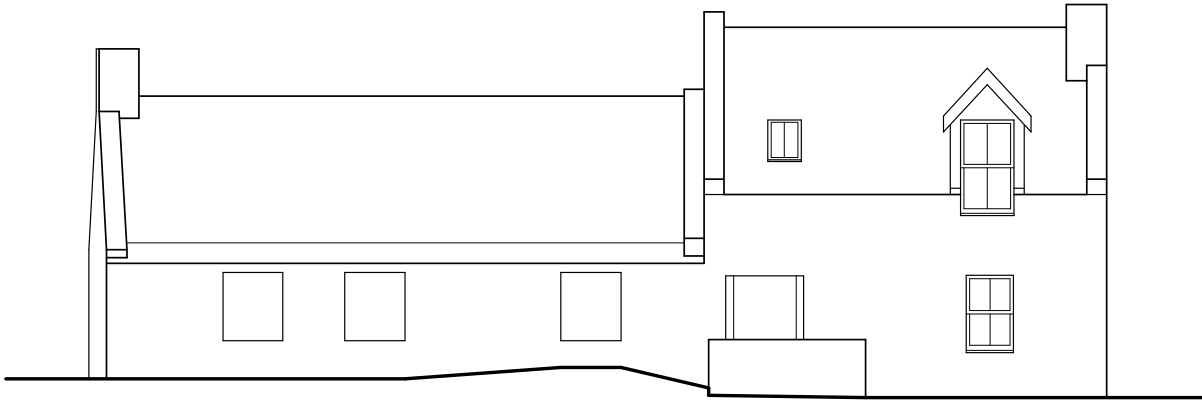
1-Storey Section

2-Storey Section

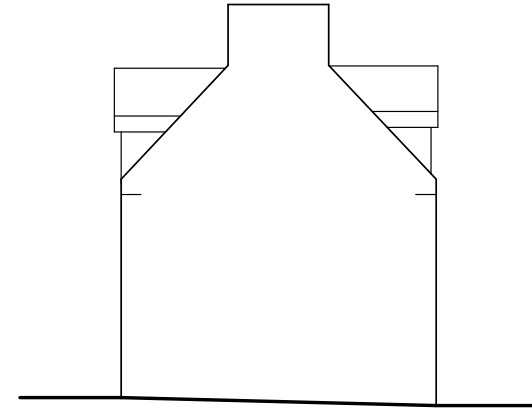


First Floor Plan.

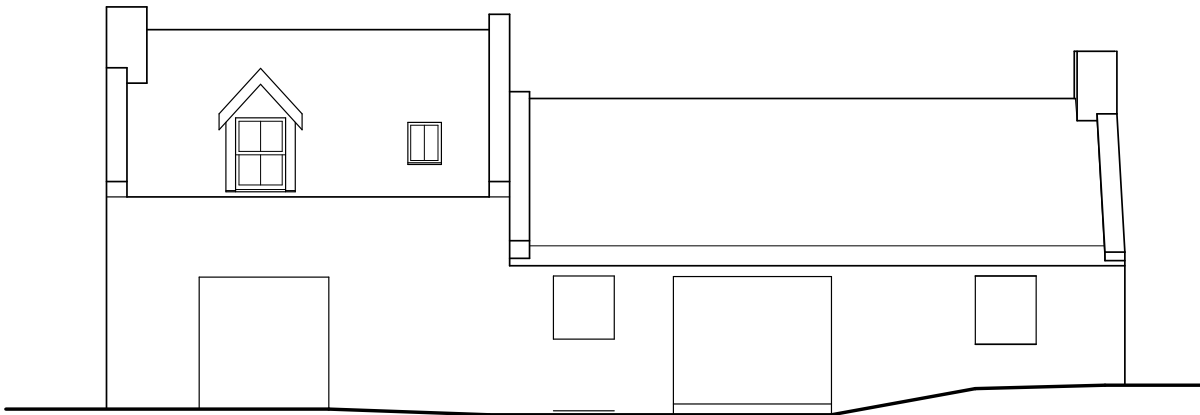
Existing Elevations



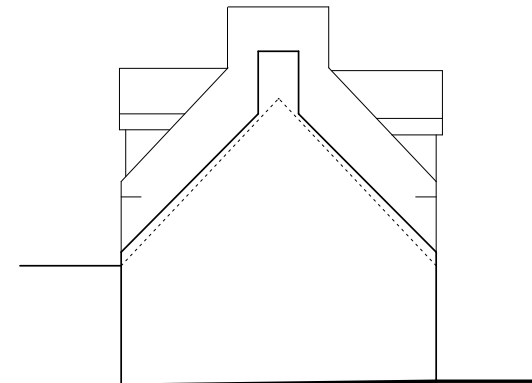
North Elevation.



West Elevation.



South Elevation.



East Elevation.

Proposed Development

188 Seatown, Cullen is an existing house that has been unoccupied for many years. The existing house consists of a storey-and-three quarter slated section on its West side and a single storey pantiled section on the East side.

The current owners originally proposed to refurbish and extend the house to provide additional accommodation and a planning application was submitted and approved for the development (Planning Ref No 22/00657/APP).

Since works have started on site it has become evident that the masonry walls to the storey-and-three quarter section are not in a good condition and their foundations are quite shallow. The proposals are therefore to completely demolish the existing building and rebuild the house as per the planning approved layout.

A planning application has therefore been submitted for a replacement house.

The proposals for drainage and water supply are as per the planning approved scheme with foul and surface water drains connected to public sewers. Before entering the public sewers the surface water drains will be attenuated via a rainwater harvesting system.

PROPOSED FINISHES

Roofs

The roofs to the house will be slated.
The roof to the garage will be profiled metal sheeting - grey

Walls

The walls to both the house and the garage will be finished in wet dash harl with vertically timber lined areas.

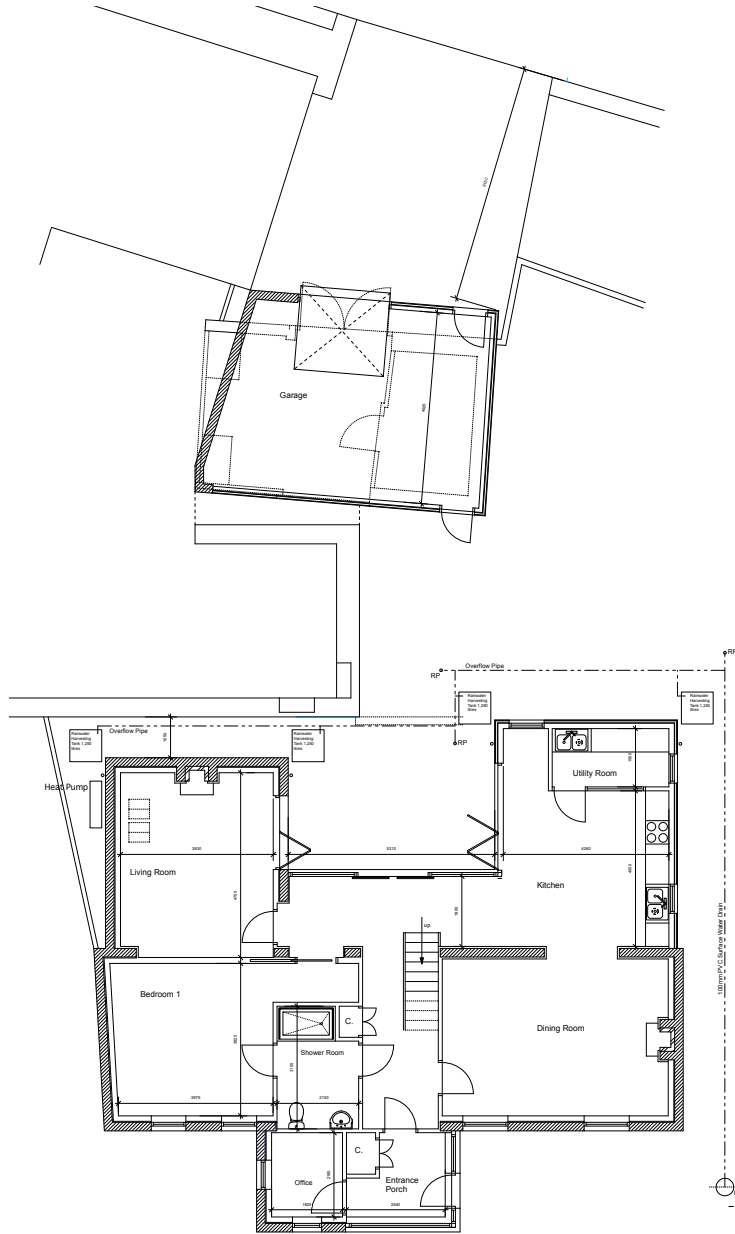
Windows and External Doors

Windows to be timber framed windows – painted white.
External doors to be timber-framed – painted white.
Garage door to be a metal up-and-over door - white

Rooflights

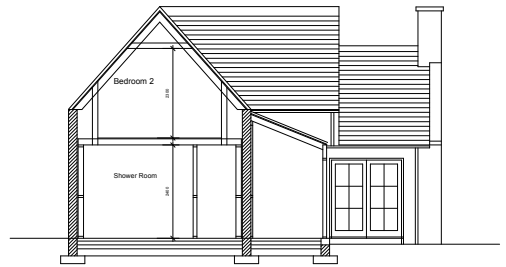
Rooflights to be conservation style velux rooflights.

Proposed Floor Plans and Section

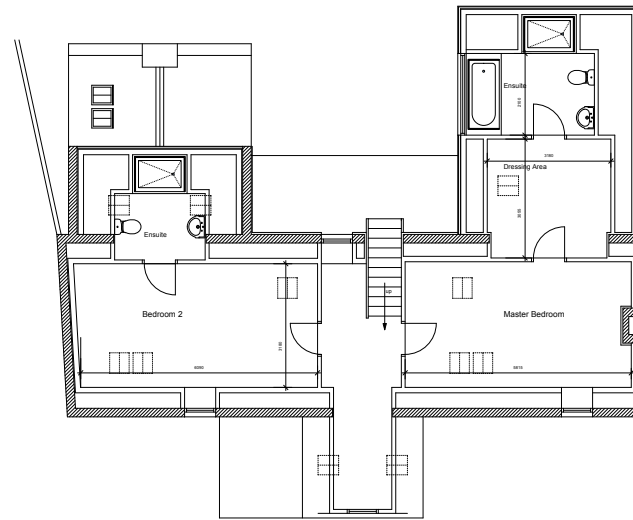


Ground Floor Plan.

1 – 3 Proposed Development



Sectional West Elevation. 1:50



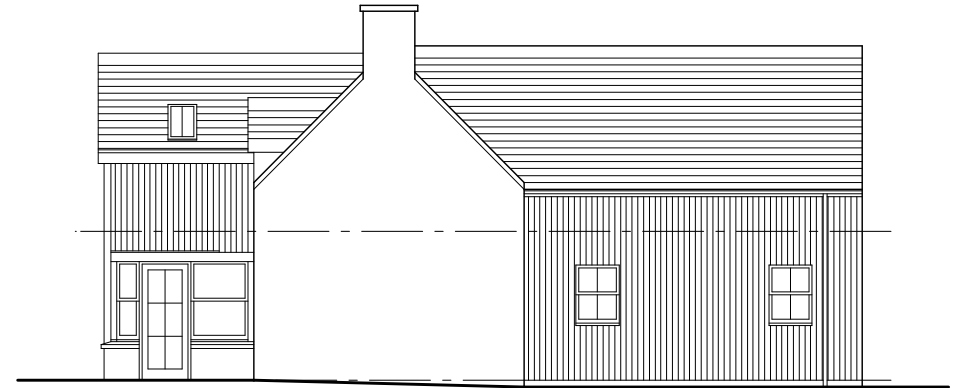
First Floor Plan.

Proposed Elevations

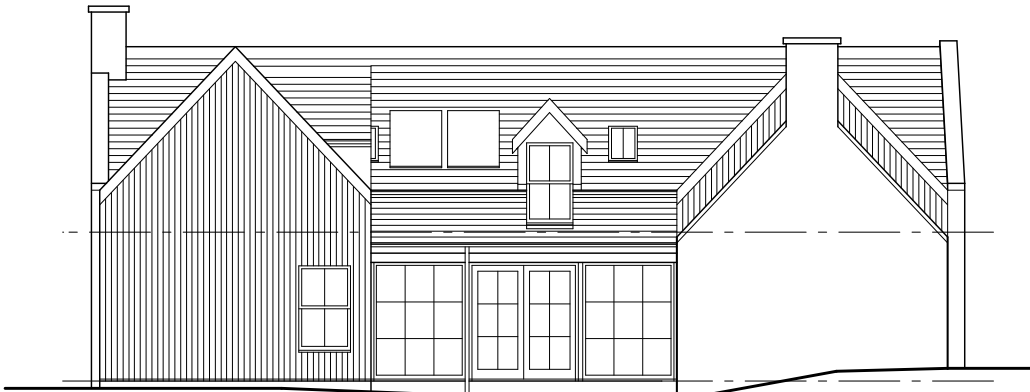
1 – 3 Proposed Development



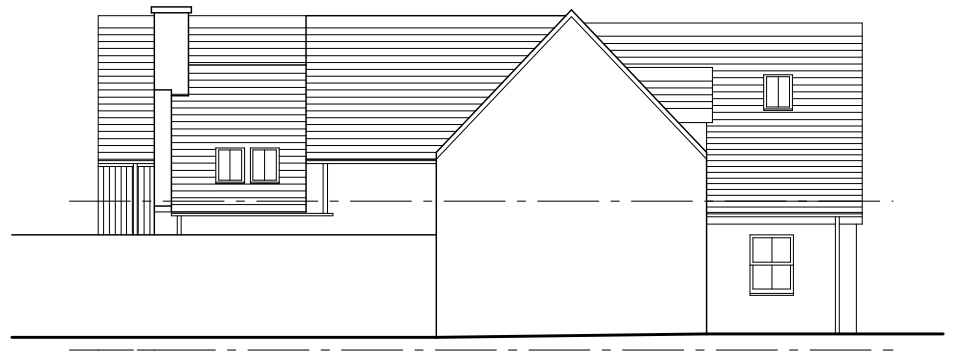
North Elevation.



West Elevation.

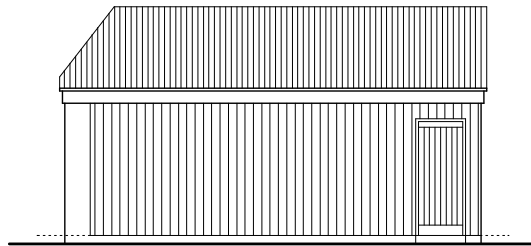


South Elevation.

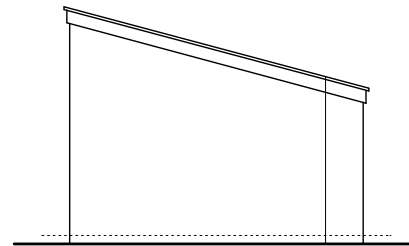


East Elevation.

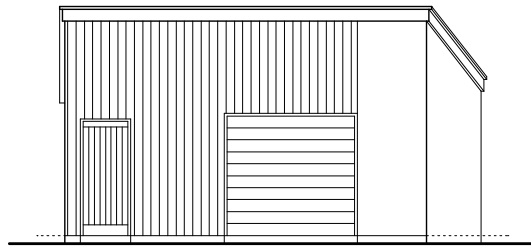
Proposed Garage Elevations



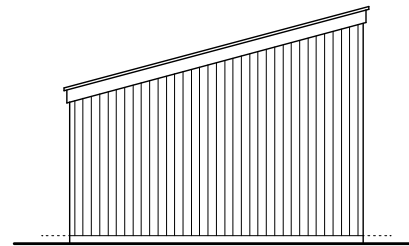
North Elevation.



East Elevation.



South Elevation.



West Elevation.