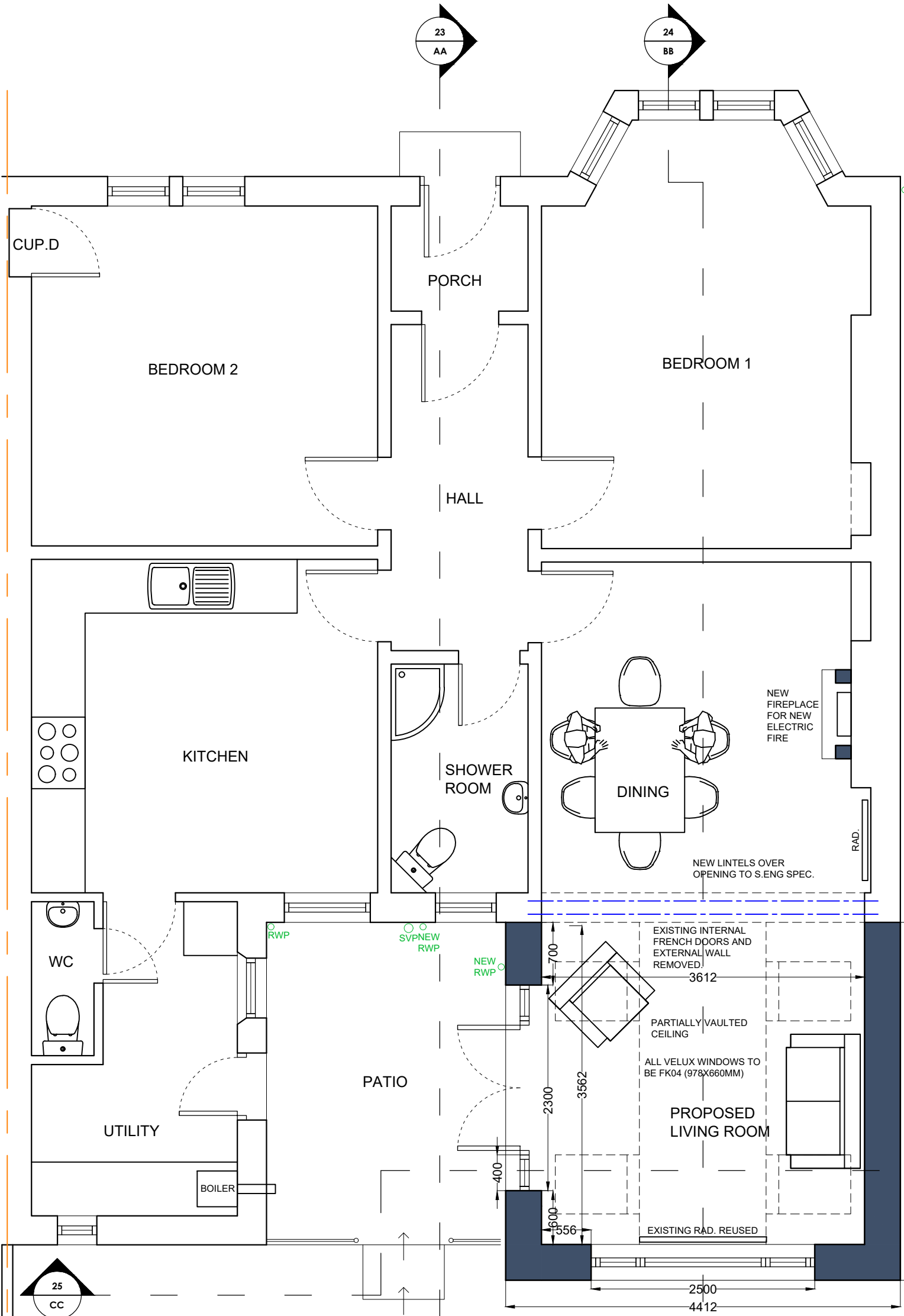


COPYRIGHT
 THIS DRAWING IS THE PROPERTY OF DONALD HUNTER ARCHITECTS. COPYRIGHT IS RESERVED BY THEM AND THIS DRAWING MUST NOT BE COPIED, REPRODUCED, RETAINED OR DISCLOSED TO ANY UNAUTHORISED PERSON, EITHER WHOLLY OR IN PART WITHOUT CONSENT IN WRITING OF DONALD HUNTER ARCHITECTS.

THIS DRAWING HAS BEEN PRODUCED AND IS SUBMITTED AS PART OF A PLANNING APPLICATION AND IS NOT INTENDED FOR USE BY ANY OTHER PERSON OR FOR ANY OTHER PURPOSE.

DO NOT SCALE FROM THIS DRAWING, USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO WORKS COMMENCING AND ANY DISCREPANCIES ARE TO BE REPORTED.

DRAWING STATUS:
 PLANNING APPLICATION



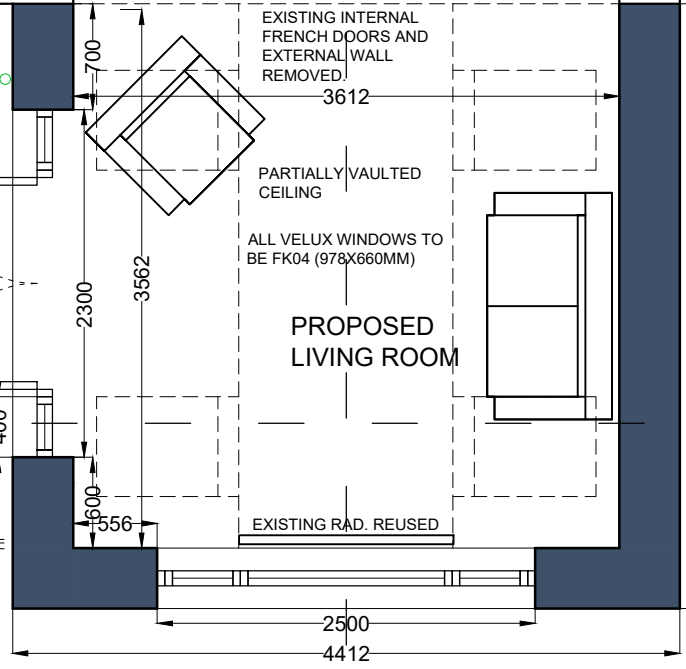
VENTILATION
 IN ORDER TO BE CONSIDERED ONE ROOM THE OPENINGS BETWEEN THEM NEED TO AMOUNT TO A MINIMUM OF TEN PERCENT OF THE COMBINED FLOOR AREA IN ACCORDANCE WITH SECTION 3.14.11.

DINING ROOM INT FLOOR AREA = 13.06M²
 EXTENSION INT FLOOR AREA = 14.51M²
 TOTAL COMBINED FLOOR AREA = 27.57M²
 MINIMUM OPENING SIZE NEEDED = 2.76M²
 ACTUAL OPENING BETWEEN ROOMS = 9.3M²

MINIMUM TOTAL AREA FOR VENTILATION OPENINGS FOR EXTENSION TO BE 1/20TH OF COMBINED FLOOR AREA.
 MINIMUM OPENING AREA = 1.38M²
 AREA OF VENTILATION OPENINGS INCLUDING VELUX WINDOWS = 7.98M²
 AREA OF VENTILATION OPENINGS EXCLUDING VELUX WINDOWS = 5.34M²

NATURAL LIGHT PROVISION
 IN ORDER TO BE CONSIDERED ONE ROOM THE OPENINGS BETWEEN THEM NEED TO AMOUNT TO A MINIMUM OF TEN PERCENT OF THE COMBINED FLOOR AREA IN ACCORDANCE WITH SECTION 3.16.3. THIS IS DEMONSTRATED IN THE VENTILATION NOTE. IN ORDER TO ENSURE THE NATURAL DAYLIGHT TO THE EXISTING ROOM IS MAINTAINED, THE AREA OF TRANSLUCENT GLAZING IN THE EXTENSION MUST BE AT LEAST 1/15TH OF THE TOTAL COMBINED FLOOR AREA.

DINING ROOM INT FLOOR AREA = 13.06M²
 EXTENSION INT FLOOR AREA = 14.51M²
 TOTAL COMBINED FLOOR AREA = 27.57M²
 MINIMUM GLAZING AREA NEEDED = 1.84M²
 GLAZING AREA IN EXTENSION = 9.52M²



PROPOSED GARDEN STORE
 PROPOSED NEW TIMBER CLAD GARDEN STORE BUILDING TO REPLACE EXISTING TIMBER GARAGE. BUILDING DESIGN FALLS UNDER PERMITTED DEVELOPMENT.

REVISIONS:



DONALD HUNTER ARCHITECTS

w. www.donaldhunterarchitects.co.uk
 e. info@donaldhunterarchitects.co.uk
 a. 41a Beresford Terrace, Ayr, KA7 2HD
 t. 01292 502223

CLIENT: Mrs Senga Erskine

PROJECT TITLE:
 Proposed Alterations and Extension
 30 Bellevale Avenue,
 Ayr.
 KA7 2RP

DRAWING TITLE:
 Proposed Ground Floor Plan

DRAWING NUMBER: 23014/20
 SCALE: 1:50 at A3
 DATE: Dec 2023

