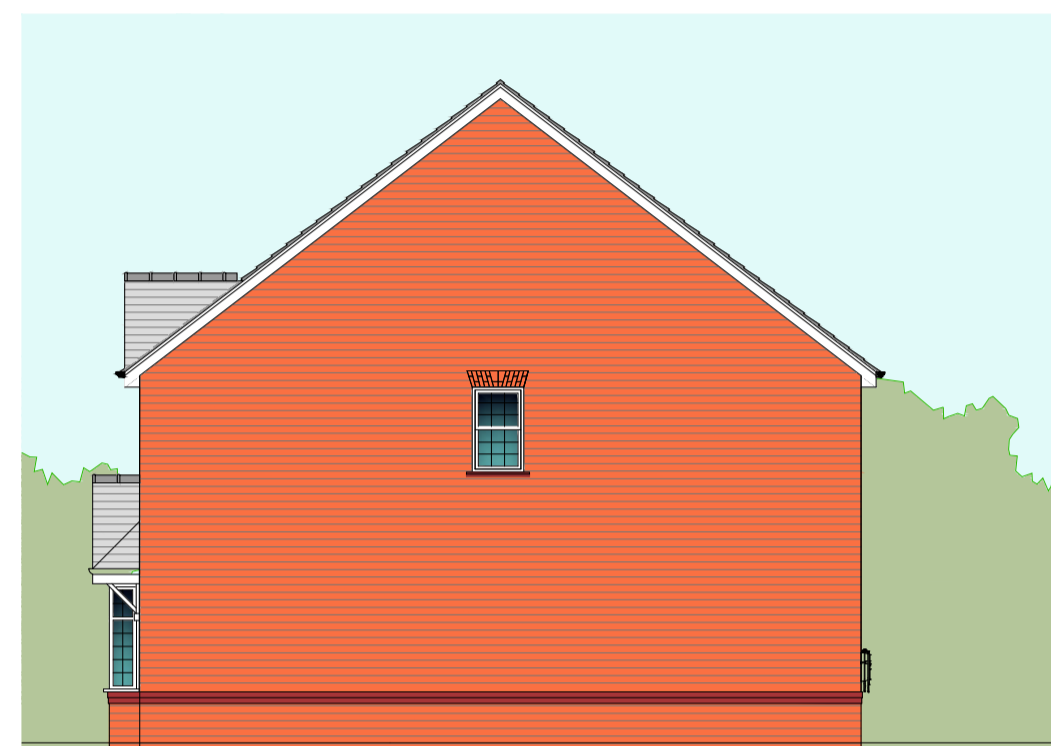




SIDE ELEVATION 1:100

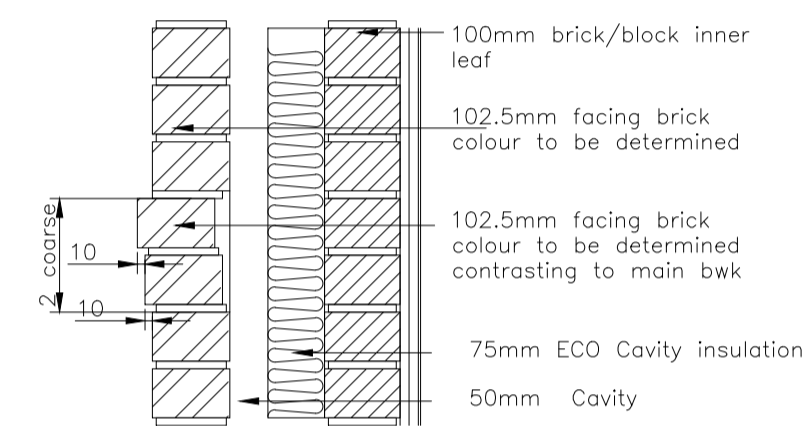
REAR ELEVATION 1:100



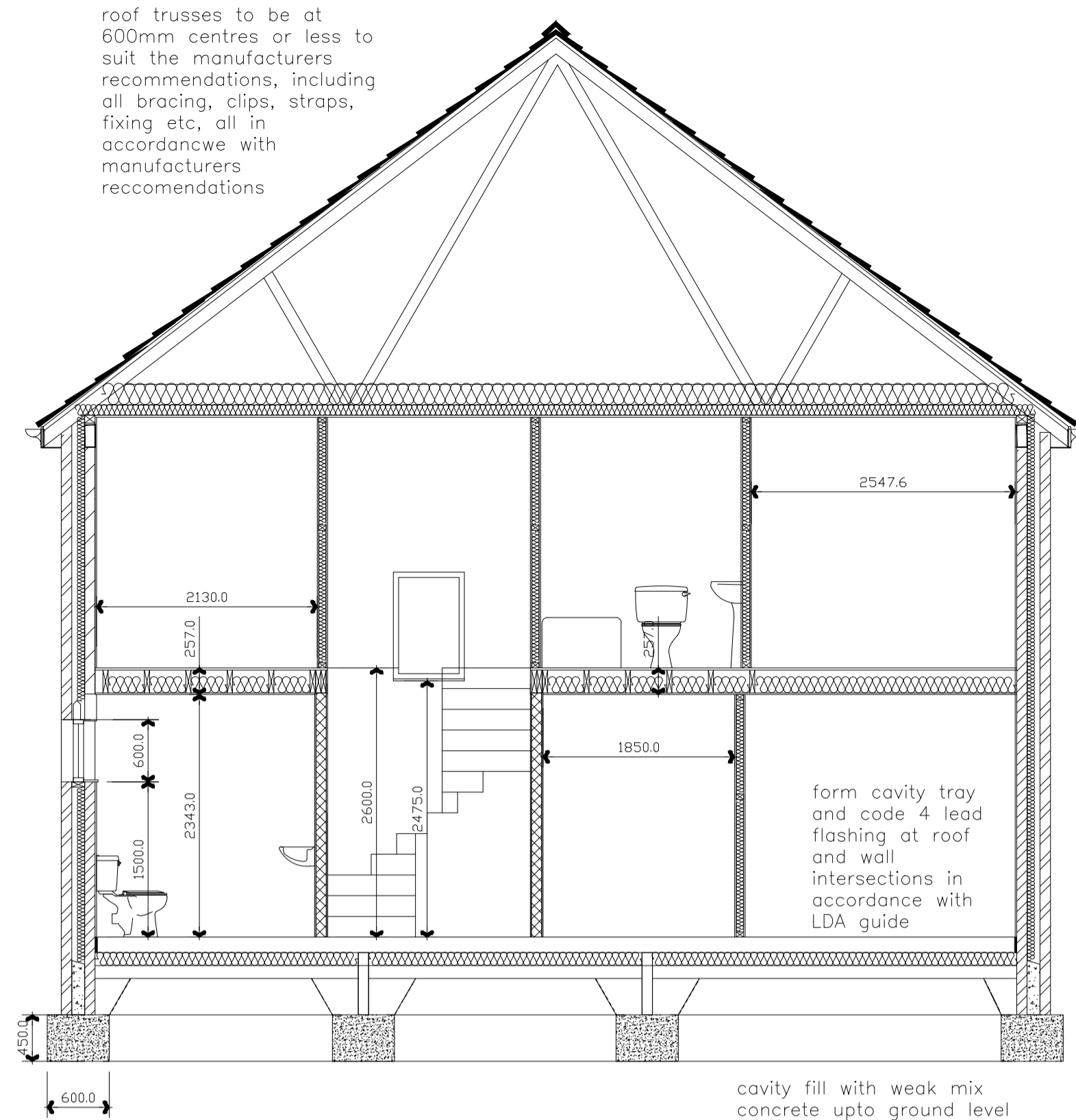
SIDE ELEVATION 1:100



FRONT ELEVATION 1:50



band detail 1:10



where internal wall is a party wall this is to be built as a cavity wall and be fire stopped at the top using quelfire or equal approved.  
 proprietary eaves and soffit vents. soffit of eaves to have a continuous 25mm air strip along eaves by glidvale or similar approved.  
 weep holes to brickwork above lintels  
 slate to close cavities at the eaves location  
 22mm thick water resistant t+g chipboard decking grade 11/111 with 12.5mm plasterb'd and skim ceiling finish  
 150mm thick insulation between joists  
 d.p.c. min 150mm above g.l. 1200 d.p.m. sealed to d.p.c.  
 see site plan for drainage layout  
 all window and door reveals are to have Thermabate cavity closers or similar approved  
 all glazing to be Pilkington Ageon type throughout and be 24mm thick units with glazing generally to be safety toughened throughout  
 foundation depth and design to suit ground conditions and to be local authority approval.

roof trusses to be at 600mm centres or less to suit the manufacturers recommendations, including all bracing, clips, straps, fixing etc, all in accordance with manufacturers recommendations

roof trusses to be at 600mm centres or less to suit the mwallplate to be 100x75mm thick s.w. treated and bolted down onto inner leaf of cavity wall

roof insulation in ceiling to be 450mm thick overall built up as follows :-  
 100mm thick glassfibre in between the ceiling rafters then 2 layers of 175mm laid at 90 degrees to the first layer and maintaining min 50 air gap between the felt and insulation, roof to provide 0.15w/mk or greater  
 stub wall in same construction

roof covering as general spec. Trusses to be 100x50mm thick SC4 at 600mm centres, supported by 100x75mm wallplate bolted on.

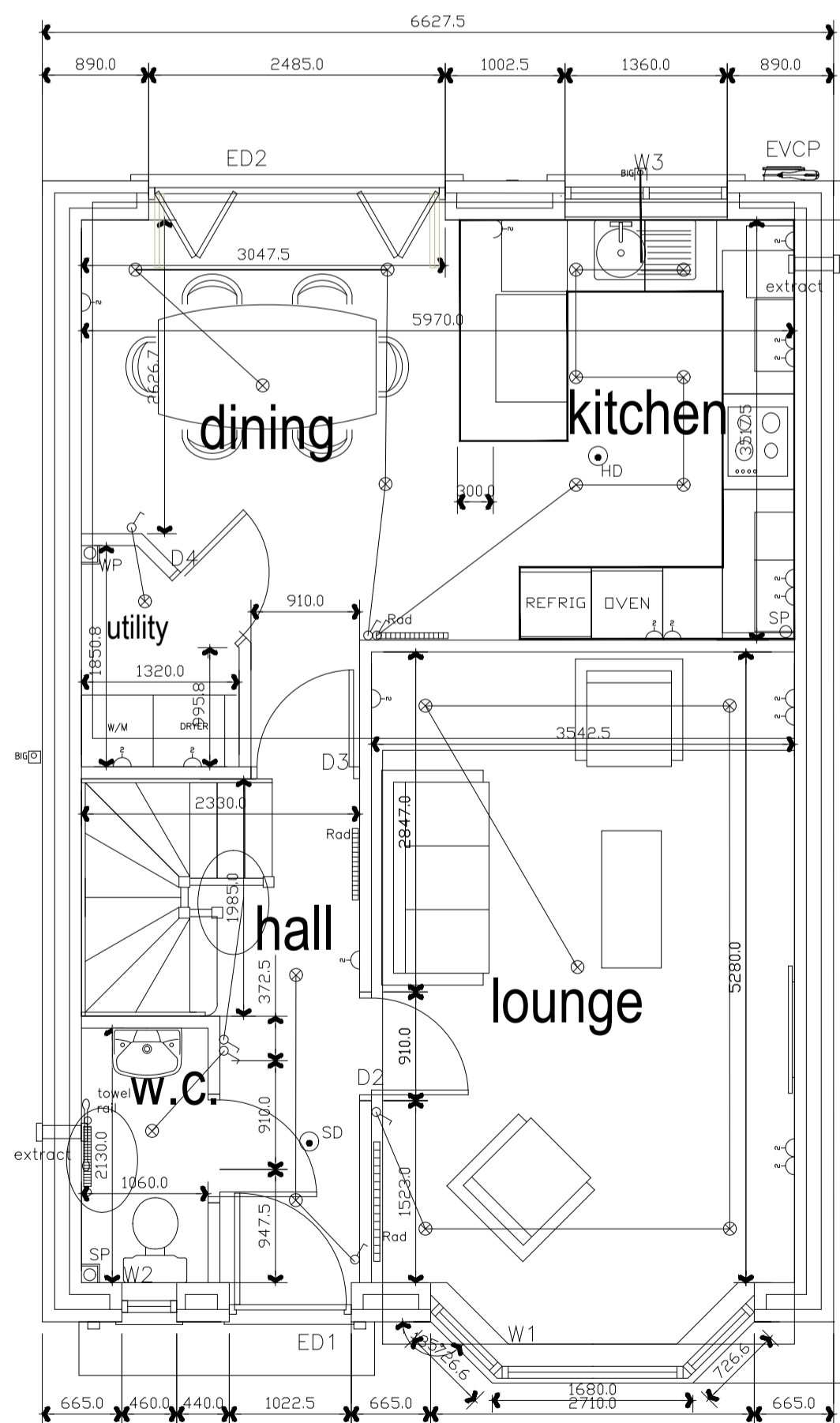
pipework generally to be insulated throughout and located under insulation and insulated where it rises to the tank.  
 12.5mm thick plasterboard and skim ceilings finish to all ceilings

external wall construction 102.5mm thick facing brick. 100-125mm cavity 100mm dense concrete block 7N/mm sq.

cavity fill with weak mix concrete upto ground level approx. 150mm below dpc level.

all elements of the structure are to have 1/2 hour fire resistance

Section 1:50



GROUND FLOOR PLAN 1:50

door to patio area to have proprietary vent over, to provide 10,000 sq. mm

all internal wall and floor construction is to be minimum 1/2 hour fire resistant

all windows to habitable rooms to have opening lights min. 1/20th of the floor area. with a 8000mm sq. mm vent over.

opening lights to provide a min 1/20th floor area with glidvale vent over to provide 8000sq. mm

entrance door to principal entrance to have a 950mm wide door set, and have a level threshold max step down from the house floor level to the paved access entrance and paving to be at a max. 1:15 gradient. door approach to be head-on

maximum step between outside ground level and principle entrance door to be 16mm, pavings on each side graded, and landing formed outside door to be 900 wide x 1200mm long

balustrading to be between 900 and 1000mm at landing location

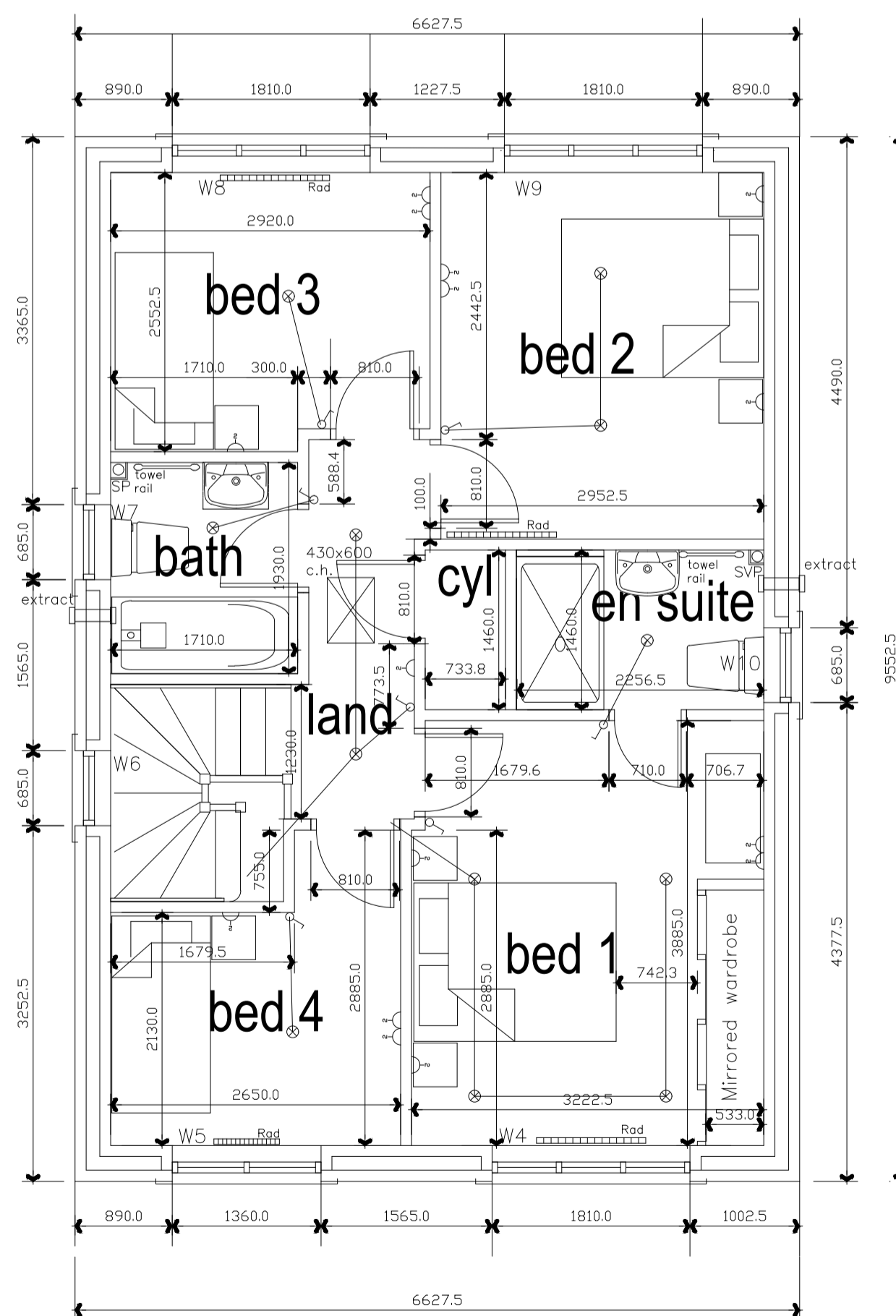
all partitions encasing the stairwell area are to be min half hour fire resistance construction

all internal wall and floor construction is to be minimum 1/2 hour fire resistant

all towel rails need to be 6ft tall  
 All showers must be Rino branded and Camden style with a square shower head measuring at 9inch by 9inch.

where showers are located against partitions or dry lined walls these are to have 12.5mm thick tile backer board in lieu of plasterboard

all new staircases where winders are apparent are to have a minimum going at the narrowest tread position of minimum 50mm going, and all stairs are to be manufactured from onsite dimensions, and to BS 585--1:1989



FIRST FLOOR PLAN 1:50

200x50mm SC4 s.w. floor joists at max. (C16's)400mm centres.

floor joists to be strapped at 2m centres back across wall where parallel.

floor joists to be strapped at 2m centres over 3 members where joists are parallel to the wall

where floor joists are on hangers these are to be JHR type by Cullins and fit over the wall construction

smoke detectors fitted on landing and hallway and linked into mains

bathrooms and en-suites bathrooms to have mechanical extract min. rate 15 litres/sec.

2No. of 200x75mm thick trimmers bolted together with M12 bolts at 900mm centres

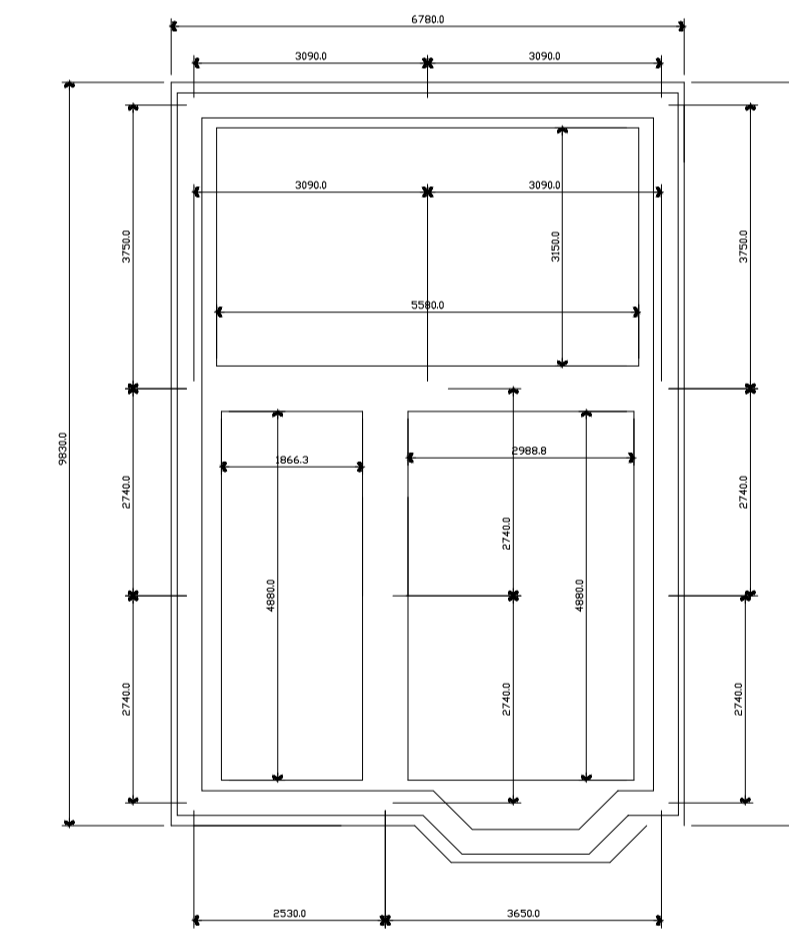
all windows to habitable rooms to have opening lights min. 1/20th of the floor area. with a 8000mm sq. mm vent over.

22mm thick water resistant t+g chipboard decking grade 11/111 with 12.5mm plasterb'd and skim ceiling finish

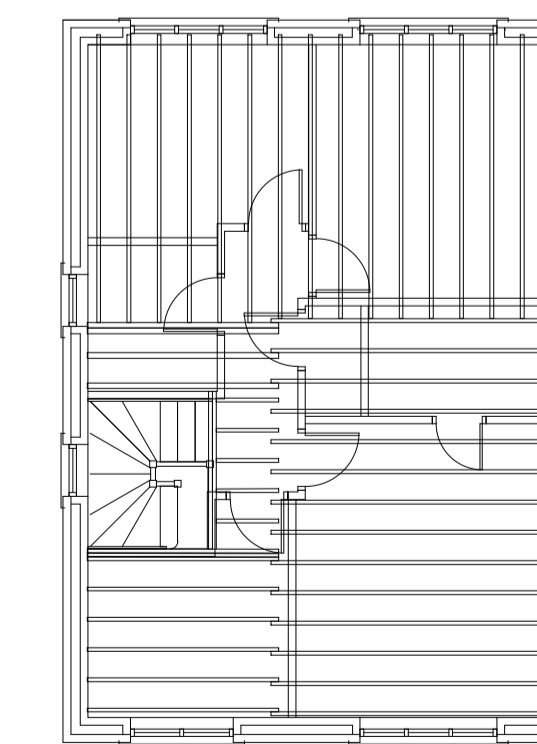
KEY TO MASONRY SCHEDULE	
	Facing Brickwork 102.5mm thick by PB Edenhall or equal approved
	Mastercrete blockwork 7N solid dense medium 100mm thick
	Stud partitions ex.75x50 studs at 400 centres with plasterboard and skim

OPENING SCHEDULE			
opening ref	opening size	lintel ref	lintel size
W1	2710x1350	L5/110	3000
W2	460x600	**SEE ED1 FOR LINTEL**	
W3	1360x1050	L1/S110	1650
W4	1810x1200	L1/S110	2100
W5	1360x1125	L1/S110	1650
W6	685x1125	L1/S110	1050
W7	685x1125	L1/S110	1050
W8	1810x1200	L1/S110	2100
W9	1810x1200	L1/S110	2100
W10	685x1125	L1/S110	1050
ED1	1022.5x2100	L1/S110	2700
ED2	2485.0x2100	L5/110	3000
D1	910x2100	Box 100	1200
D2	910x2100	Box 100	1200
D3	910x2100	Box 100	1200
D4	810x2100	Box 100	1150

intel references as IG Lintels Ltd



Foundation 1:100



Joist layout 1:100

Rev X w.c., and bath and e.s. whb amended to suit client changes and kitchen updated to 'Moore's' drawing dated 05.03.21  
 Rev Y Update for Planning Consultant  
 Rev Z two way hall switch added  
 Rev Z(1)EVCP added  
 Rev U floor joists amended and roof insulation to suit traditional roof  
 Rev V lintels and cills amended on elevation, and staircase dirns added and band detail oits 02-03-21  
 Rev W dms added to elevations for window heights etc 11-05-21  
 Rev N Utility added to kitchen 08-08-17  
 Rev P bay window lengths added  
 Rev R oits to utility and kit. road 04-09-19  
 Rev S piling omitted 20-08-20  
 Rev T bathroom flipped 19-10-20  
 Rev J Gable end window of landing lowered and box step added for bed 4 window. 19-04-17  
 Rev K Mirrored wardrobe to bed 1 added 25-04-17  
 Rev L Rads amended in first floor after discussion with DHB 02.05.17  
 Rev M Bed 1 window moved over 112.5mm 08-08-17

House Type: <b>MR</b>	Sites: <b>TBA</b>	Drawing Title: <b>WORKING DRAWING</b>	Site Ref: <b>MR</b>	Drwg.No: <b>1</b>	Rev: <b>REV Z(1)</b>
			Drawn: <b>SB</b>	Checked: <b>DB</b>	Scale: <b>**VARIES**</b>
			Date: <b>12.01.22</b>		
<p>Address: 45 Preston New Road, Broomfield, Loughton, Essex, SSA 2 6AF          Tel: 01204 244444          Fax: 01204 244445          Email: mullberryhomes@gmail.com</p>					

