

DESIGN AND ACCESS STATEMENT

Application for proposed redevelopment of land within the site boundary of 41 Aldenham Road, Bushey, Hertfordshire.

Demolition of existing property to provide 2 no. two bedroom dwellings and 7 no. one bedroom dwellings with associated landscaping.



at

41 ALDENHAM ROAD

WATFORD

BUSHEY

WD23 2NB

1.0 The Site

- 1.1 The Site is 41 Aldenham Road, Watford, Bushey, WD23 2NB within Watford Borough Council (WBC) boundaries.
- 1.2 The site contains a two-storey building located in the north-west quadrant of the site, with five bedrooms, two kitchens and two bathrooms. The building sits on generous plot with significant open space surrounding the building. Much of this open space is made up of hardstanding with a small tree line at the south-western edge and some bushy overgrowth in the south-eastern quadrant.
- 1.3 The land to the south borders the Bushey Baptist Church, whose car park lies at a slightly higher level than the site and is bounded by a low wall and fence. The eastern boundary faces the Bushey and Oxhey Infant school, which is separated from the site by a fence. The front of the site faces Aldenham Road, which is a Hertfordshire County Council (HCC) operated road.

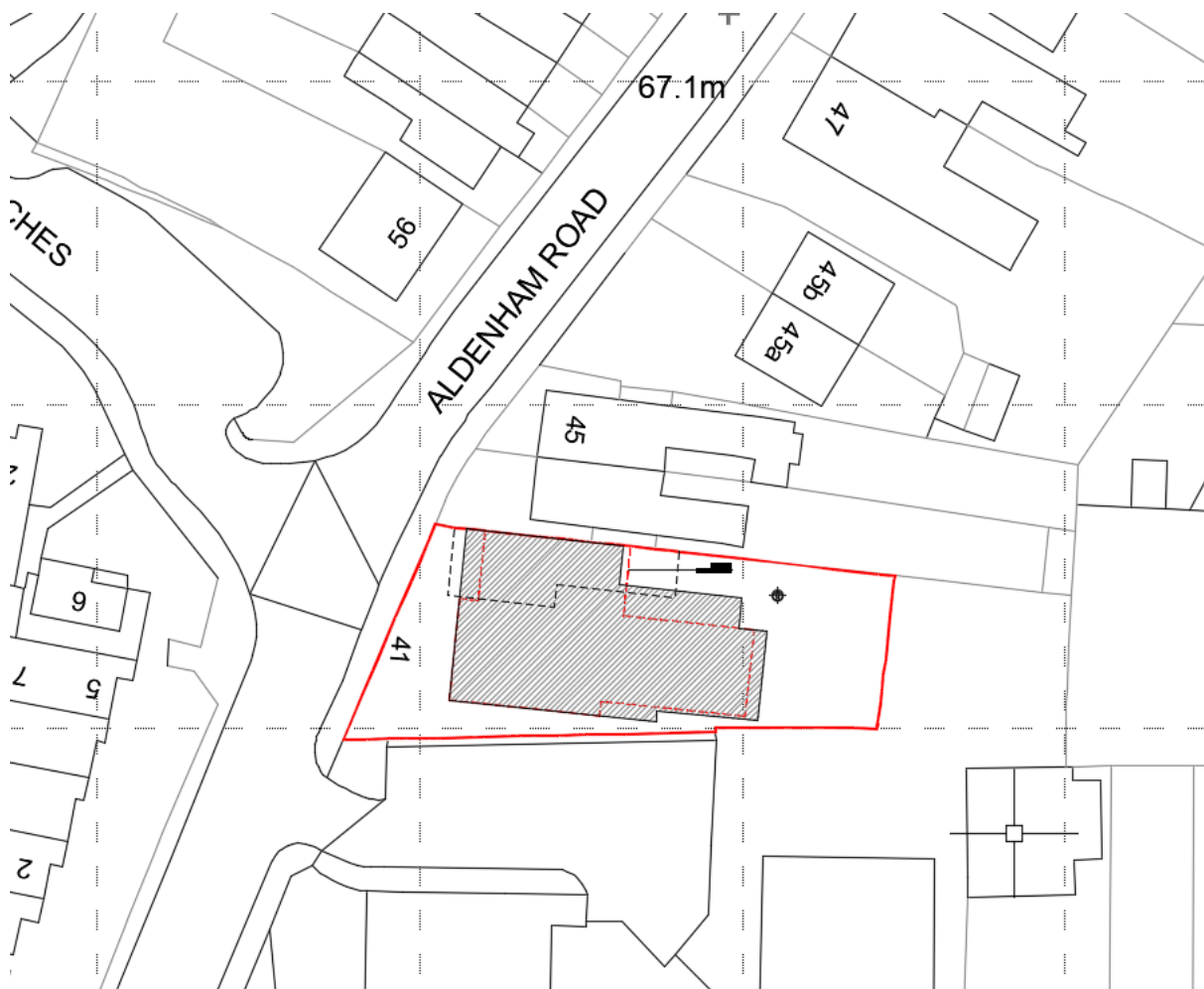


Fig. 1: Site Location Plan

- 1.4. The site is not within a conservation area and there is no listed building or structure on its land. However, the church neighbouring the southern boundary of the site is designated as a “locally Listed Building”.
- 1.5. The building has last been used as a hostel for homeless with a warden flat, however, it is currently vacant.
- 1.6. Part of Aldenham Road is subject to Residential Parking Control and other parking restriction.
- 1.7. The site is located in Flood Risk Zone 1, meaning it has very low risk of flooding.
- 1.8. The existing building lacks any design merit and appears to be in poor condition. Further the application site benefits from a large plot and its current form it is rather under-utilised.
- 1.9. The site is in a sustainable location, within a short distance of Bushey Station and various bus stops and within walking distance of local facilities on Aldenham Road, Chalk Hill and Villiers Road.

2.0 Planning History

- 2.1. Planning permission (Ref; 23/00102/FUL) was granted on 19 May 2023 for the demolition of existing property and construction of part two storey and part three storey building to provide 3 no. two bedroom dwellings and 3 no. one bedroom dwellings with associated landscaping.
- 2.2. Planning permission (Ref; 80/00456/FUL) was granted on 10th October 1980 for the change of use of the building into a hostel for the homeless, including wardens flat.
- 2.3. The Council has carried out a study for the redevelopment of the site; Stage 1 Report (Bell Phillips Architects). The following guidance was given with respect to any potential development of the site:
 - 2.3.1. Existing building lacks any design merit and appears to be in poor condition. Therefore, there is no objection for the demolition of the existing building and to redevelop the entire site to benefit from its full development potential.
 - 2.3.2. In land use terms the most appropriate development will be the provision of a residential scheme. The provision of flats will be acceptable so long as the scheme provides an acceptable range of unit sizes, with particular reference to larger family size units which is particularly needed in the area.
 - 2.3.3. Any new scheme would be required to address amenity of adjoining and nearby neighbours and the locally listed building and complement the existing built form of the area.
 - 2.3.4. Any development will have to respect the general scale, bulk and massing of the buildings in the area as well as the established existing building lines both the front and to the rear. However, given the position of the site, subject to an acceptable design and articulation, potentially a maximum of three storey building may be acceptable here. The council would normally encourage modern design and will, offer, great weight to outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.
 - 2.3.5. Whilst the application site benefits from a deep rear garden, the council is not likely to support a separate dwelling to the rear of the site. Such scheme would fail to respect the pattern of development in the area, would fail to be respect the legibility criteria enshrined in the planning policies and could potentially result in loss of privacy for existing and future occupiers.
 - 2.3.6. Refuse and recycling storage space as well as secure cycle parking provision should be on site in appropriate locations and satisfactorily integrated with any development scheme.

- 2.3.7 The Council has adopted the national space standards with respect to size of the dwelling units and will expect the scheme to respect the national space standards. The dwelling units should benefit from sufficient daylight and outlook. Communal amenity space, in accordance with the council space standards as set out in the Council's adopted residential guidance should be provided.
- 2.3.8 There are no significant trees on site. Any development proposal will be required to include an appropriate and effective landscaping scheme. Any scheme should take a proactive approach to mitigating and adapting to climate change, taking into account the long-term implications for biodiversity by incorporating appropriate mitigating measures.
- 2.3.9 The site is located in a sustainable location. Part of Aldenham Road is subject to residential control parking. However, the application site is located in a relatively sustainable location so the car parking issue could be overcome through a car free scheme. This would be achieved through a unilateral undertaking preventing future occupiers from applying for a parking permit. Having no on-site parking would allow considerable landscaping to the front of the Watford Borough Council site.
- 2.3.10 It is considered that the site is capable of providing a flatted development, subject to appropriate bulk, scale and design. However, the site is also suitable for a large single detached or a semi-detached development or possibility of the provision of three town houses.

3.0 Opportunities and Constraints

Opportunities:

- To replace the existing HMO semi-detached hostel with a scheme of 9 units;
- To improve the outlook to existing residents and neighbours;
- To make best use of a redundant and semi-derelict piece of land;
- The line of mature trees to the east of the site create a positive outlook and provide privacy between the site and the infant school play area;
- To align the proposal with its neighbour to the north
- To improve the daylight and sunlight to the front rooms of the neighbouring property to the north.

Constraints:

- The site has a limited width which restricts vehicle access through the site limiting development and service locations to the western boundary;
- The properties to the south are large in scale but have a number of windows that face the site presenting possible daylight/sunlight issues;

4.0 The Proposed Development – Design, Scale and Layout

4.1 The application is to demolish the existing building and construct a part two storey, part 3 storey building to accommodate 2 no. 2 bedroom dwellings (family sized) and 7 no. 1 bedroom dwellings.

4.2 The previously approved scheme has been redesigned to incorporate additional units to make the scheme viable and of interest to the market. The scheme adds little volume to the building and still retains the scale and mass similar to that of the approved scheme.

4.3 Proposed accommodation Schedule:

FLAT NO.	NO. OF BEDROOMS	NO. OF PERSONS	GIA m ²	BUILT IN STORAGE m ²	PRIVATE AMENITY
1	1	2	51	1.5	6
2	1	2	51	1.5	6
3	1	2	52	1.5	15
4	1	2	51	1.5	6
5	1	2	50	1.5	6
6	1	2	51	1.5	6
7	1	2	52	1.5	6.3
8	2	3	74	2.0	7
9	2	3	65	2.0	7

4.4 The proposed homes will meet the nationally described internal space standard in accordance with Policy HO3.10. The housing will be designed and built to comply with M4(2) of the building regulations.

4.5 All units will have access to private outdoor space in accordance with the nationally described internal space standards. Additional communal amenity space will be provided to the rear of the site which will be landscaped to provide enhanced biodiversity.

4.5 In the Council's advice, demolition of the existing building and replacement with a three storey contemporary building has been supported.

4.6 *Scale and design*

4.6.1 As can be seen on the elevations, the proposed building is of a modern design promoting high levels of sustainability. With solar panels and use of an air source heat pump, the building has been designed to make use of renewable energy.

4.6.2



With brick facades, inset balconies and large glazed windows, the building will offer a different architectural style to Aldenham Road.

4.6.3 *Impact on surrounding areas*

The proposed dwelling is part two storey (facing no. 43) and three storey facing the rear of the no. 1-35 (south) and will sit back in line with the neighbouring property. The reduced mass on no. 43 side will reduce the impact on this property. The three storey element is set over 6m from no. 43 flank wall and does not create any overshadowing to the adjacent building. Whilst the building is closer to the road, this is not unusual for the road as many other properties are similarly located on their plots.

Most of the windows on the northern elevation provide glazing to bathrooms, hallways or provide additional light to the living/dining areas, however it should be noted that these can be obscure glazed to prevent any loss of amenity. Windows to the southern elevation

4.6.4 *Parking*

The proposal would be a car free scheme. The applicant will enter into a unilateral undertaking for exclusion from the CPZ scheme subject to planning consent.

4.6.5 *Refuse collection*

A covered refuse store has been provided to the front of the site (undercroft area). It is easily accessible by the building users as well as the refuse collectors. The following bins will be provided. These have been indicated on the plans.

2 x 1100 litre bin for non-recyclable waste, 1 x 1100 litre bin for recycling, 2 x 140 litre bin for food waste and 2 x 240 litre bin for garden waste

4.6.6 *Landscaping*

A hard and soft landscaping plan will be provided setting out details of the proposed planting species and numbers/density of planting.

Materials for landscaping, paving and fencing can be dealt with as a planning condition.

5.0 **Fire Strategy**

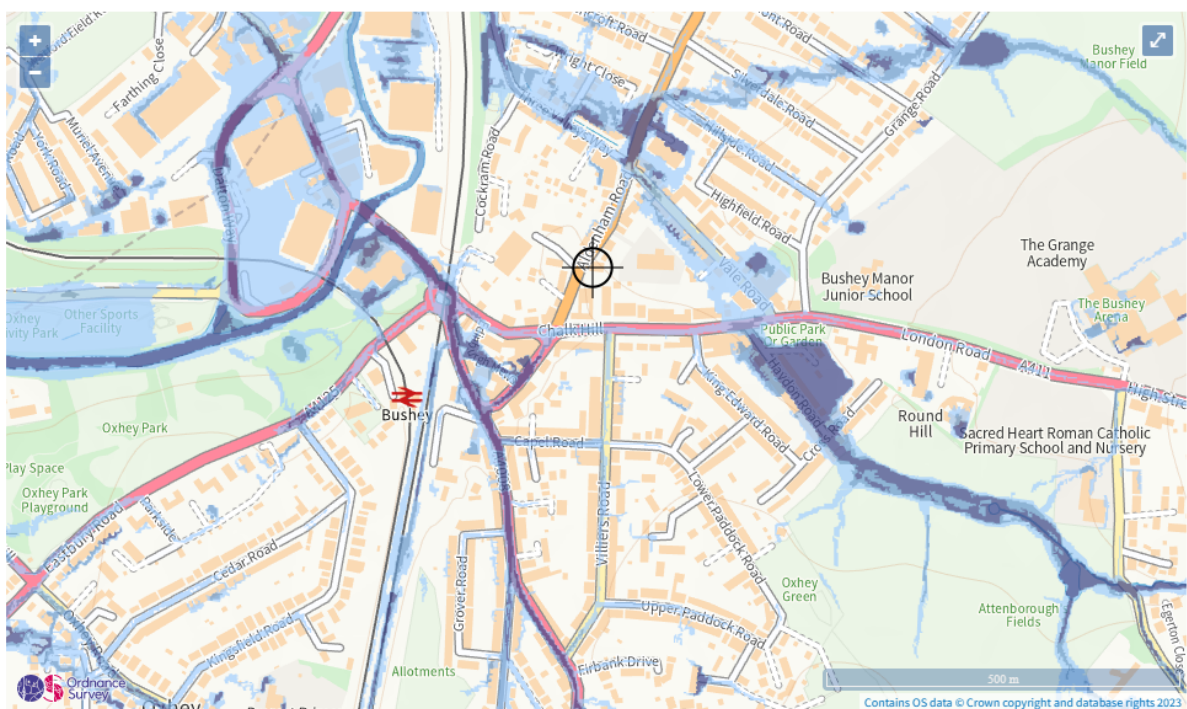
5.1 A fire statement form has been completed and accompanies this application.

The following technical features have been included in the design to comply with Approved Document B1.

- Stair to discharge to outside by way of a protected route that does not have flat doors opening onto it. The stair lobby achieves this requirement.
- Dry riser main provided, inlet provided at ground floor externally within 18m and visible from fire tender pump appliance access.
- BS7671 (Electrical Regulations) may not allow cable distribution via ceiling void above common corridor unless contained within fire rated construction.

6.0 Flood risk

The Environmental Agency data states that the site has very low risk of flooding from rivers and the sea and very low risk of flooding from surface water.



Extent of flooding from surface water

● High
 ● Medium
 ● Low
 Very low
 ⊕ Location you selected

Rivers and the sea

Very low risk

▶ [What this information means](#)

The Environment Agency is responsible for managing the flood risk from rivers and the sea.

[View a map of the risk of flooding from rivers and the sea](#)

Surface water

Very low risk

▶ [What this information means](#)

Surface water flooding, sometimes known as flash flooding:

- happens when heavy rain cannot drain away
- is difficult to predict as it depends on rainfall volume and location
- can happen up hills and away from rivers and other bodies of water
- is more widespread in areas with harder surfaces like concrete

Lead local flood authorities (LLFA) are responsible for managing the flood risk from surface water and may hold more detailed information.

Your LLFA is **Hertfordshire council**.