



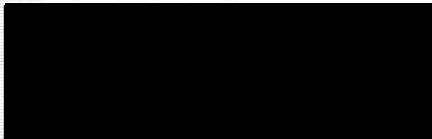
Royal Borough of Kingston upon Thames

Director of Planning
M.W. Gilks, BA(Hons)M.Soc.Sc.MRTPI

Guildhall
Kingston upon Thames
Surrey. KT1 1EU

My Ref: R.31358
Your Ref:

Telephone: 01-546 2121
Extension: 4011



30th July 1986

Dear Sir,

TOWN AND COUNTRY PLANNING ACT, 1971
ADDRESS: 24 Keswick Avenue, Kingston Vale, Surrey
DEVELOPMENT: Erection of house + garage + formation of crossover

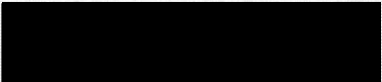
Under the provision of part III of the Act the Council hereby GRANTS PERMISSION for the development described in your application dated 29.04.86 (your drawing No. 126.2) subject to the following:-

Conditions

1. The development hereby permitted shall be commenced within 5 years from the date of this decision.
2. The facing materials to be used on the exterior shall only be such as match those of the existing building or such other material as shall have been approved in writing by the Local Planning Authority before development is commenced.
3. No fence wall or other obstruction to visibility greater than 1.0m in height shall be permitted in a triangle with a base of 6.6m along the front boundary, centred on the centre line of each vehicular access, and a depth of 2.8m measured along the centre of that access.
4. The drives shall be constructed from hard, bound, dust free materials.
5. A parking space shall be constructed in the front garden of No. 24 Keswick Avenue in accordance with the approved plan.
6. The garage shall be used for the accommodation of private cars only and not for the accommodation of commercial vehicles or for any repair work other than the routine maintenance of the cars normally accommodated there.

Reasons for the imposition of conditions:-

1. As required by Sec. 41 of the Act.
2. To ensure the satisfactory appearance of the development.
3. In order to create safe pedestrian/vehicular intervisibility.
4. to protect the amenity of surrounding residents.
5. To ensure sufficient off street parking provision for the residents of 24 Keswick Avenue.
6. To safeguard the residential character of the neighbourhood.



Signature of Director of Planning/Authorised Officer

-5 AUG 1986

Your attention is drawn to your rights of appeal (attached) and to the fact that this decision relates only to the Town & Country Planning Acts and to no other enactment or The Building Regulations.

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