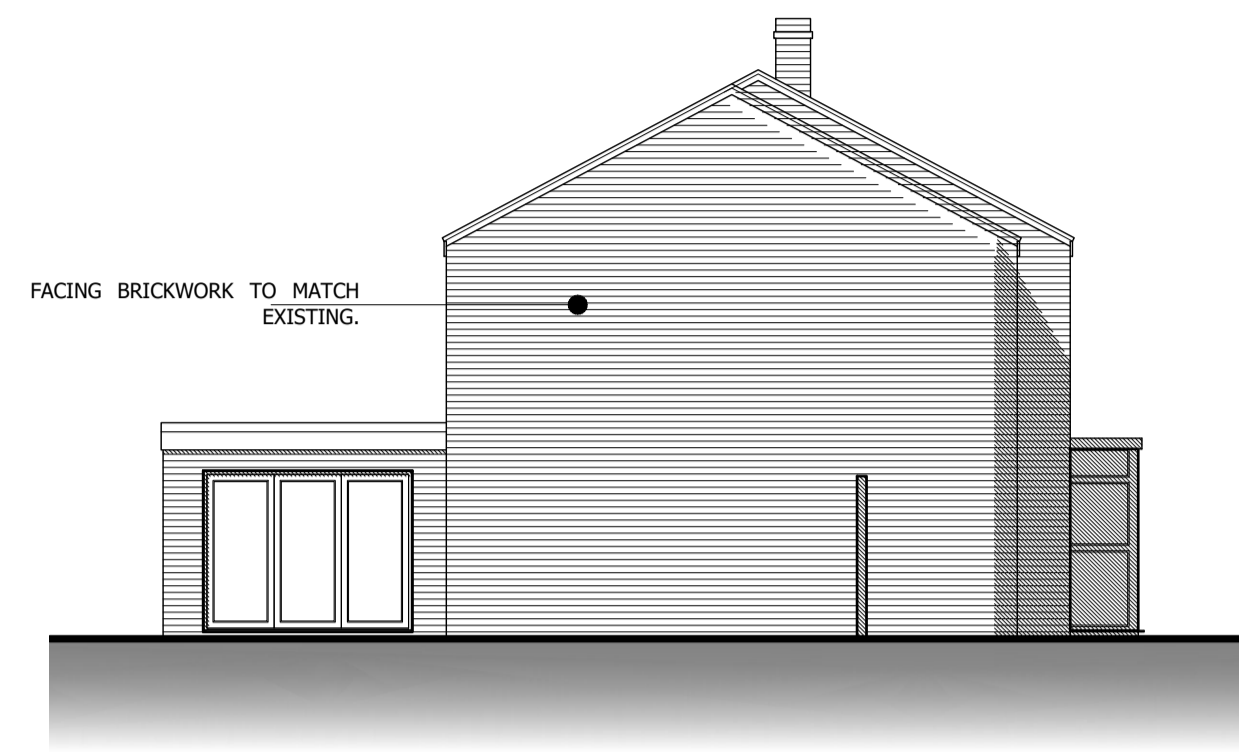


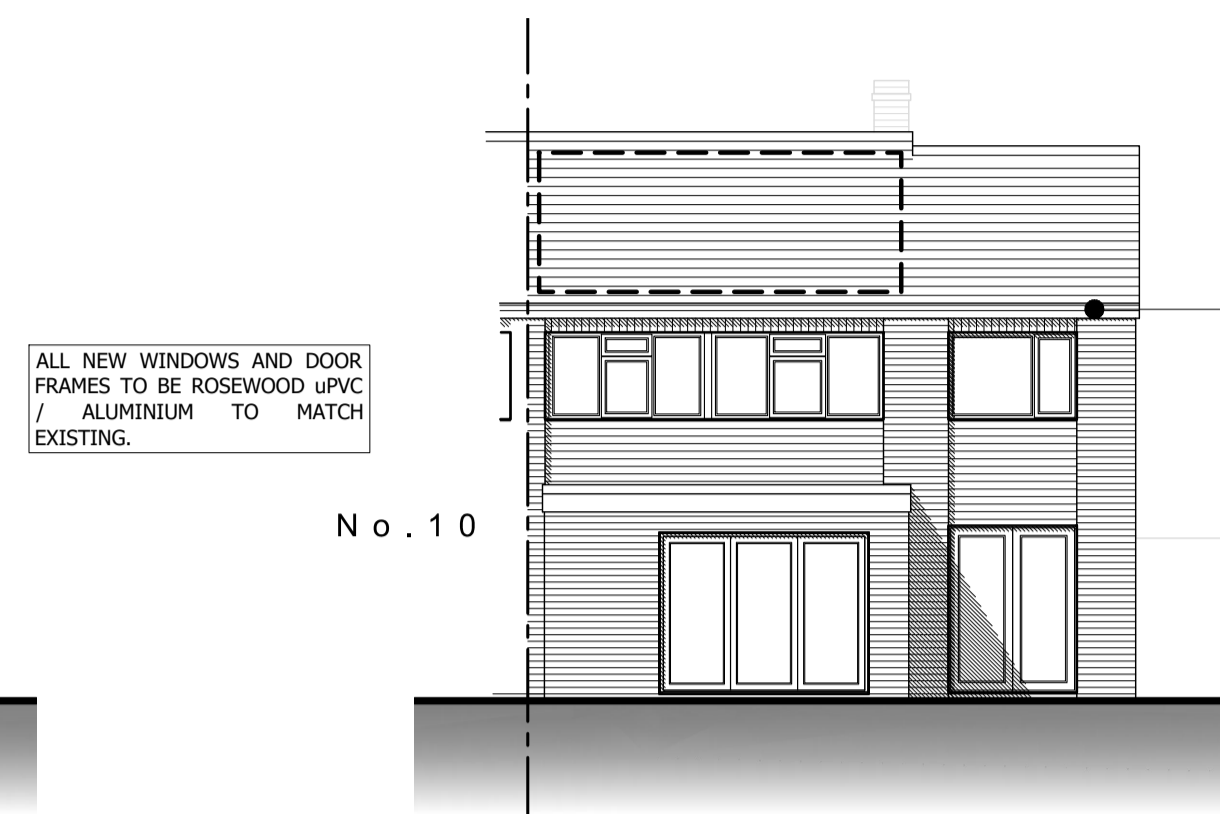
Proposal subject to planning approval.
 Drawings for planning purposes only, all dimensions to be checked and verified by the contractor prior to work commencing on site.
 Contractor to ensure all materials are to Local Authority approval and to take into account everything necessary for the proper execution of the works.



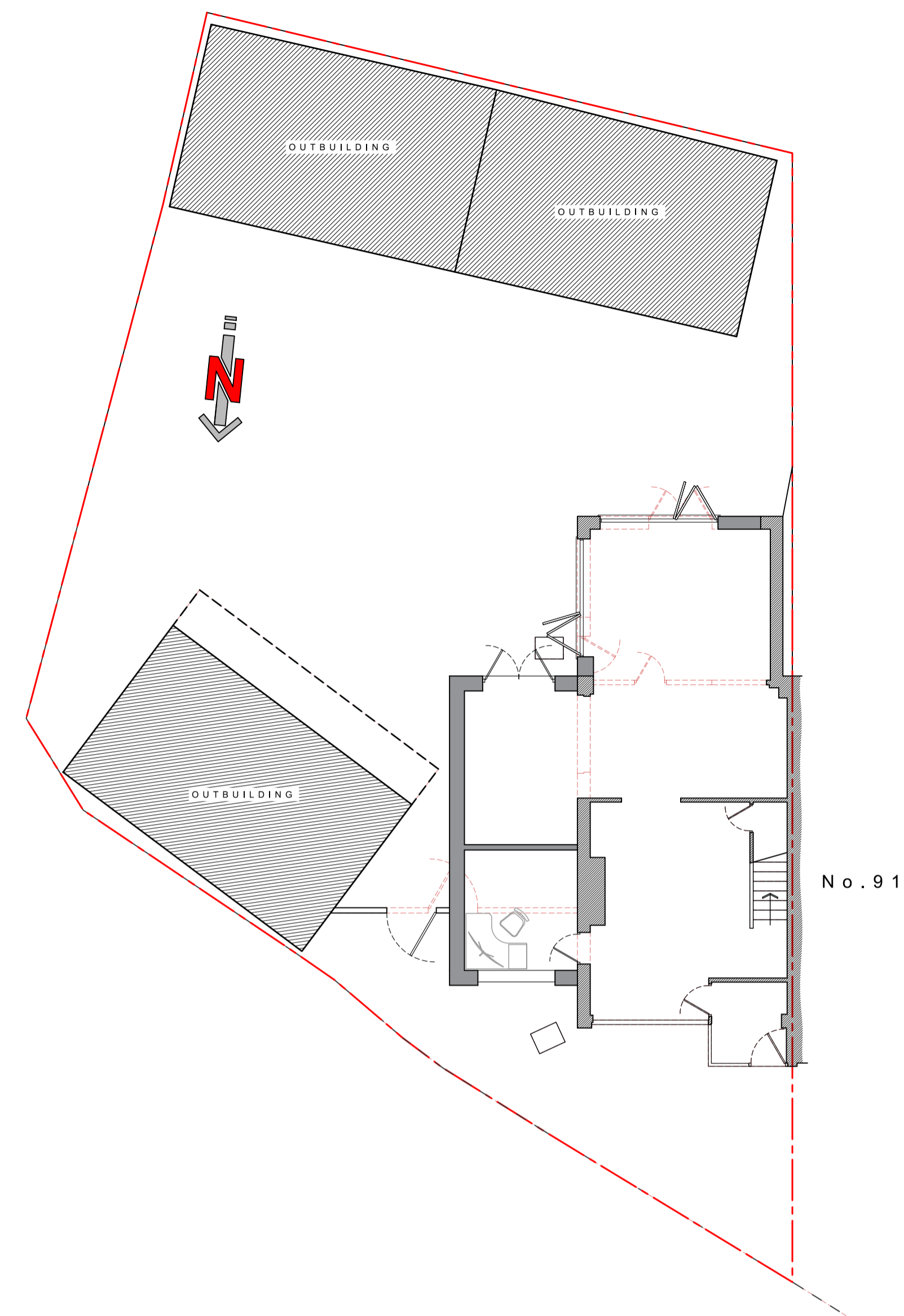
PROPOSED FRONT
(NORTH) ELEVATION
1:100



PROPOSED SIDE
(EAST) ELEVATION
1:100

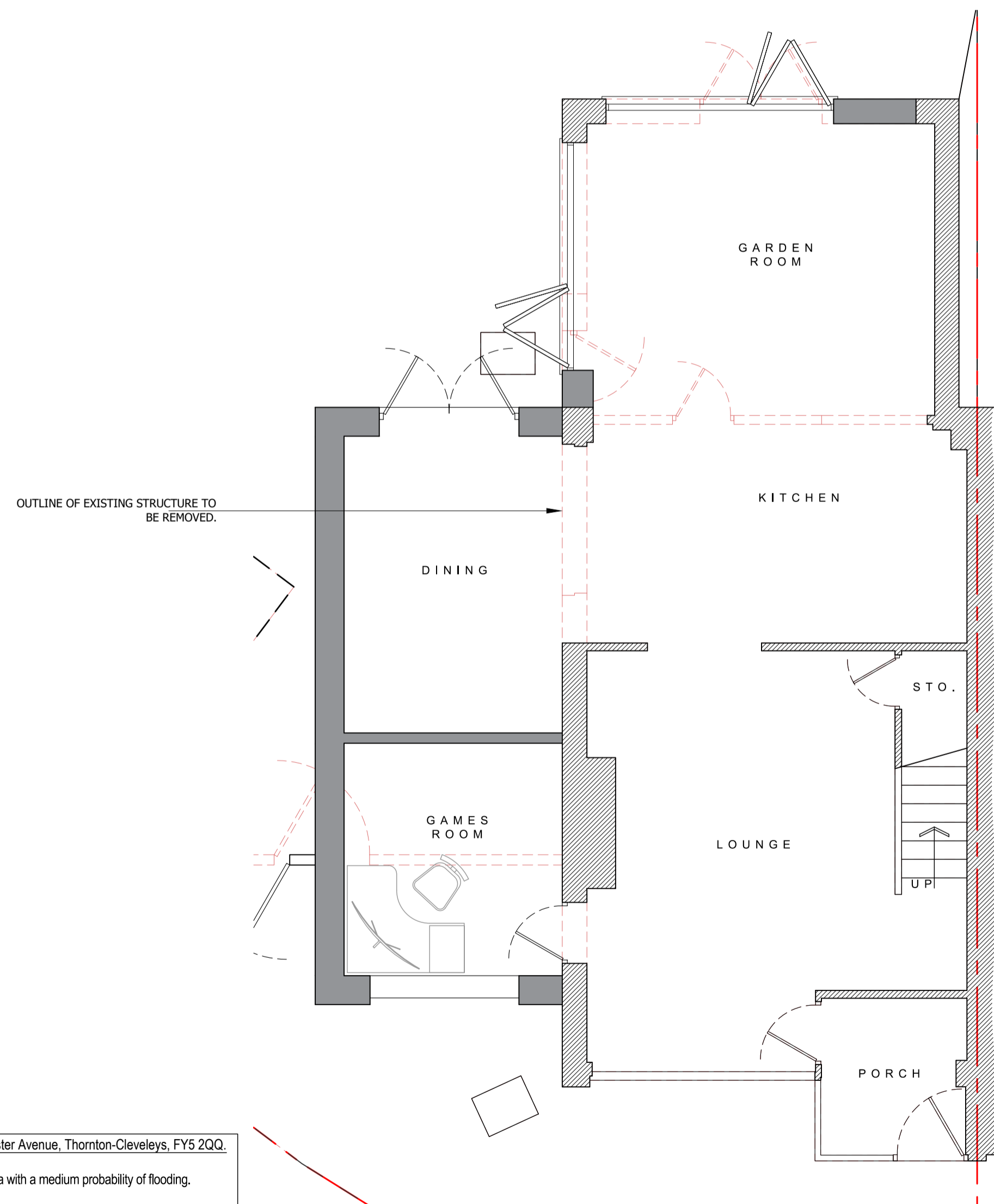


PROPOSED REAR
(SOUTH) ELEVATION
1:100

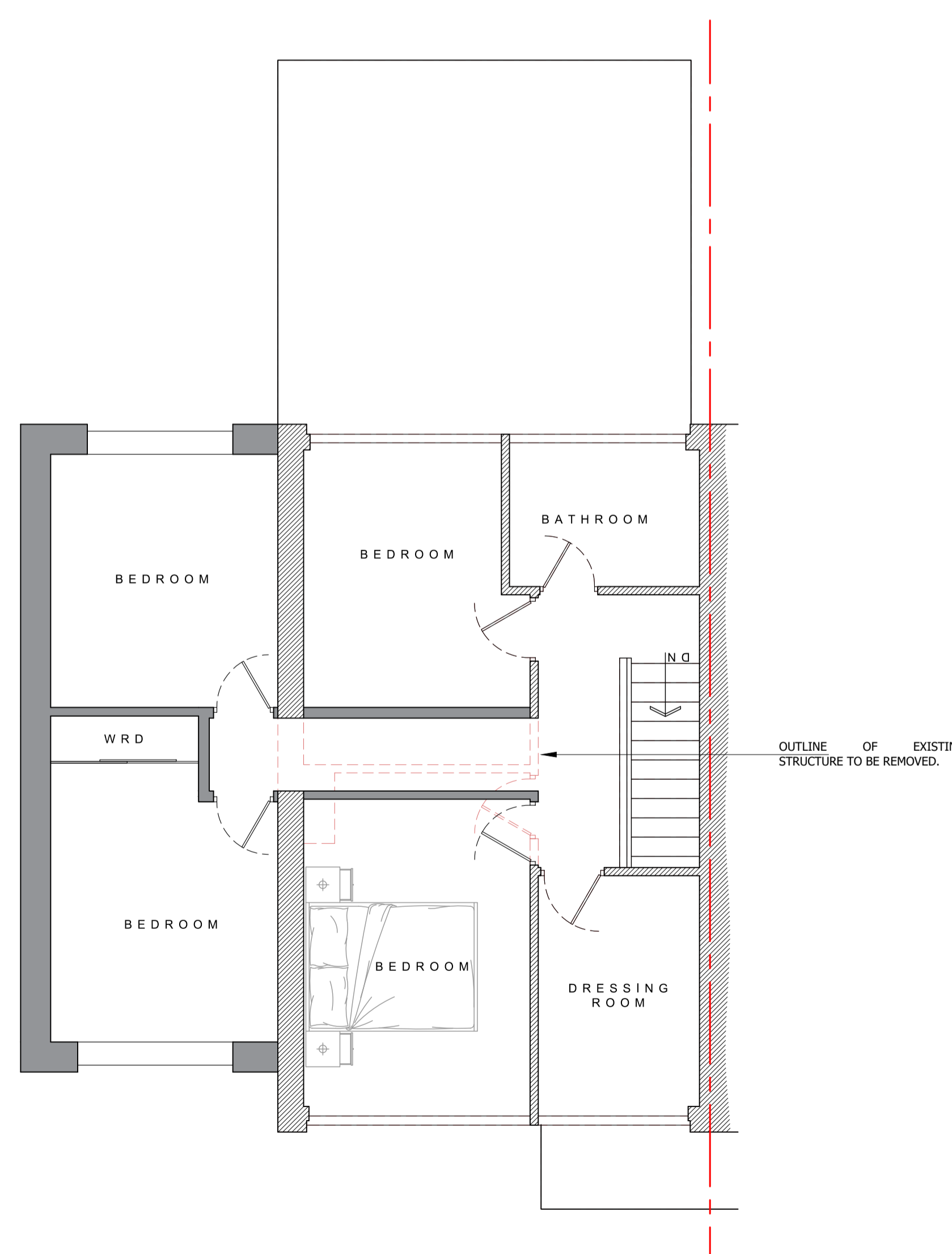


PROPOSED SITE PLAN
1:100

ROCHESTER AVENUE



PROPOSED GROUND-FLOOR PLAN
1:50



PROPOSED FIRST-FLOOR PLAN
1:50

FLOOD RISK ASSESSMENT- No. 9 Rochester Avenue, Thornton-Cleveleys, FY5 2QQ.

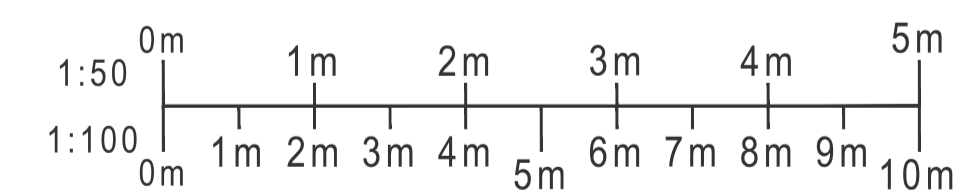
The site is located within Flood Zone 2 - an area with a medium probability of flooding.

Flood risk has been considered and incorporated within the design, the floor level to the proposed extension is the same or higher than that of the existing house and that the following flood proofing measures will be implemented as part of the scheme

- Electrical services, wiring and switches/outlets will be positioned at a minimum height of 400mm above the finished floor levels. Incoming main services are to be terminated at a minimum of 400mm above floor level.
- Where practicable ovens and other electrical appliances will be positioned on raised floor levels or individual plinths.
- Ground floors should be of a solid construction with a screed finish.
- All manhole covers shall be lockable.

KEY:

- PROPOSED NEW STRUCTURE
- ▨ EXISTING STRUCTURE TO REMAIN
- - - - - EXISTING STRUCTURE TO BE REMOVED



PROJECT
9 ROCHESTER AVENUE,
THORNTON-CLEVELEYS,
FY5 2QQ

DRAWING
PROPOSED PLANS & ELEVATIONS

DRAWING NO. 23157_110	REV. A 06/02/24	DRAWN J. A-H
DATE 04/01/2024	SCALE 1:50/100 @ A1	
W abbotthull.co.uk	T 01253 846420	
E info@abbotthull.co.uk	M 07725 005247	